

<p>TCP/11/16(258) Planning Application 13/00457/FLL - Formation of a dormer at 7 Carrington Terrace, Crieff, PH7 4DY</p>
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INDEX

- (a) Papers submitted by the Applicant (***Pages 359-372***)
- (b) Decision Notice (***Pages 375-376***)
 - Report of Handling (***Pages 377-382***)
 - Reference Documents (***Pages 367-370***)

TCP/11/16(258)

**Planning Application 13/00457/FLL - Formation of a dormer
at 7 Carrington Terrace, Crieff, PH7 4DY**

**PAPERS SUBMITTED
BY THE
APPLICANT**

17 JUN 2013

NOTICE OF REVIEW

RECEIVED

UNDER SECTION 43A(8) OF THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED) IN
RESPECT OF DECISIONS ON LOCAL DEVELOPMENTSTHE TOWN AND COUNTRY PLANNING (SCHEMES OF DELEGATION AND LOCAL REVIEW PROCEDURE)
(SCOTLAND) REGULATIONS 2008

THE TOWN AND COUNTRY PLANNING (APPEALS) (SCOTLAND) REGULATIONS 2008

IMPORTANT: Please read and follow the guidance notes provided when completing this form.
Failure to supply all the relevant information could invalidate your notice of review.Use **BLOCK CAPITALS** if completing in manuscript**Applicant(s)**Name MS TANYA BOWMER-BOWENAddress 7, CARRINGTON TERR.
CRIFF
PERTHSHIREPostcode PH7 4DYContact Telephone 1 Contact Telephone 2 Fax No E-mail* **Agent (if any)**Name HANNAH McLAREN ARCHITECTSAddress 1 GLASDALE COTTAGE
COMBE
CRIFF
PERTHSHIREPostcode PH6 2SXContact Telephone 1 01764 670270Contact Telephone 2 Fax No E-mail* info@hannahmclarenarchitects.comMark this box to confirm all contact should be
through this representative: ☒

* Do you agree to correspondence regarding your review being sent by e-mail?

Yes ☒ No ☐

Planning authority

PERTH & KINROSS COUNCIL

Planning authority's application reference number

13/00457/FLL

Site address

ATTIC OF 7, CARRINGTON TERRACE.Description of proposed
developmentATTIC CONVERSION,

Date of application

7th MARCH 2013

Date of decision (if any)

30th APRIL 2013**Note.** This notice must be served on the planning authority within three months of the date of the decision
notice or from the date of expiry of the period allowed for determining the application.

Nature of application

1. Application for planning permission (including householder application) ☒
2. Application for planning permission in principle ☐
3. Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission; and/or modification, variation or removal of a planning condition) ☐
4. Application for approval of matters specified in conditions ☐

Reasons for seeking review

1. Refusal of application by appointed officer ☒
2. Failure by appointed officer to determine the application within the period allowed for determination of the application ☐
3. Conditions imposed on consent by appointed officer ☐

Review procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures.

1. Further written submissions ☐
2. One or more hearing sessions ☐
3. Site inspection ☒
4. Assessment of review documents only, with no further procedure ☒

If you have marked box 1 or 2, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing are necessary:

Site inspection

In the event that the Local Review Body decides to inspect the review site, in your opinion:

- | | Yes | No |
|--|-------------------------------------|--------------------------|
| 1. Can the site be viewed entirely from public land? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Is it possible for the site to be accessed safely, and without barriers to entry? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here:

Statement

You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. Note: you may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

SGG AGRUED SUGGEST

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made?

Yes ☒ No ☐

If yes, you should explain in the box below, why you are raising new material, why it was not raised with the appointed officer before your application was determined and why you consider it should now be considered in your review.

THE CLIENT WAS NOT AWARE THAT PERSONAL CIRCUMSTANCES MAY BE A PLANNING ISSUE. FURTHER, THE PRESENT FAMILY CIRCUMSTANCES ARE AN ONGOING & DEVELOPING SITUATION.

List of documents and evidence

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review.

COPY OF PLANNING DRAWINGS.
STATEMENT OF PROPOSED WORK FROM CANNINGTON TOWNSHIP.
PHOTOGRAPHS OF OTHER PERMITS.

Note. The planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

Checklist

Please mark the appropriate boxes to confirm you have provided all supporting documents and evidence relevant to your review:

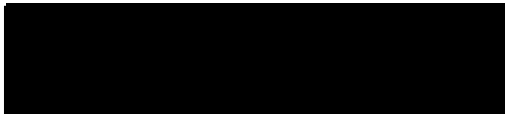
- ☒ Full completion of all parts of this form
- ☒ Statement of your reasons for requiring a review
- ☒ All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

Note. Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

Declaration

I the applicant/agent [delete as appropriate] hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents.

Signed



Date

12th JUNE 2013

My client wishes to seek a Review of their Planning Refusal. They wish to contest the decision that their proposal to extend into their attic with a dormer has sufficient impact to affect the visual character or be out of keeping with their home, the terrace or the conservation area as a whole.

They do not believe that the dormer is a bulky, boxy or bad design.

The house and the terrace were never designed to be viewed in the round but were intended to have a clear front or principle elevation and a rear or practical elevation.

The proposal is located on the latter alongside the soil pipes, toilet windows and an ad hoc collection of roof lights.

The proposal offers minimum visual impact to the area with only a momentary view available from the Terrace road due to the proximity of trees on the old railway cutting and the form of number 5 Carrington Terrace.

The dormer is designed to sit within the expanse of the roof area with reasonable margins of slate either side, and not dominate the roof's proportions as would a bulky dormer.

There is a prejudice against flat roof dormers due to their use in unsympathetic 60's and 70's extensions. A well executed dormer has overhanging eaves articulated with soffit details, details around the windows and good proportions; all of which we feel we have included in our design.

The Building Regulations demand minimum dimensions for head height and access around beds. The dormer's location and overall form are determined by these criteria and the height offered by the existing structure.

It is wrong to see the proposed dormer creating an undesirable precedent as the Council make a point of viewing each application on its own merits.

The client feels that the proposal addresses the concerns raised during pre application discussions with the Conservation Department with the dimensions reduced to the minimum stated above without making the design meaningless or apologetic from a visual or functional point of view.

There is limited scope to extend the property elsewhere due to the topography to the rear and the general internal layout. The attic is the most obvious location to extend.

Finally, the client wishes to record their need for further accommodation. At present there are two double bedrooms and a further bedroom with just enough space for a single bed.

There is insufficient space for the visiting extended family comprising the client's daughters step mother and twin step brothers. The daughter's father is now terminally ill and she is keen to maintain the close bond with and provide support to her family with regular visits to and from them.



Do not use scaled dimensions from this drawing for construction purposes. All dimensions are to be verified and checked on site by the Main Contractor before the commencement of any shop drawings or work.

All discrepancies are to be reported to the architect immediately.

This drawing is to be read in conjunction with all related Architects, Engineer's and Specialist drawings and relevant information.

This drawing is copyright of Hamay McLaren Architects.

Revisions:

rev a 12-2-13 corner reduced in site

P:\01_2006_120_7_english\arch\logo.jpg

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Project Name:

Attic Conversion,
7 Carrington Terr
Cliffe

Client:

Ms T Bowyer Bower

Drawing Title:

Plans
as Existing and Proposed

Scale:

1:50

Drawing No.

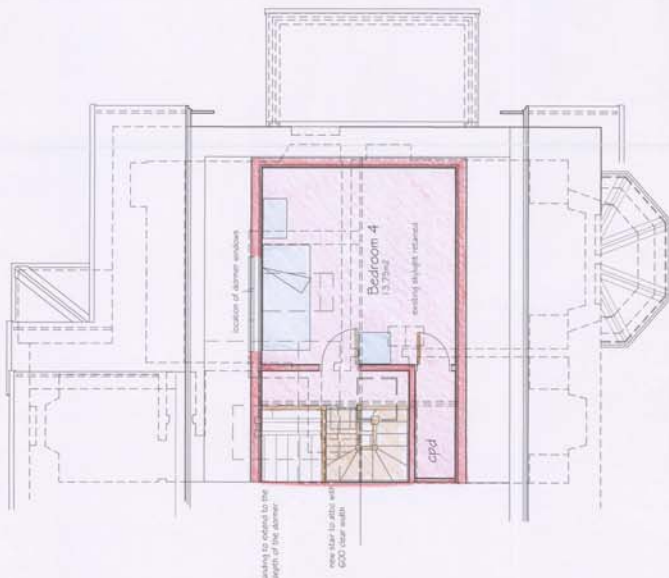
1225.01a

Date:

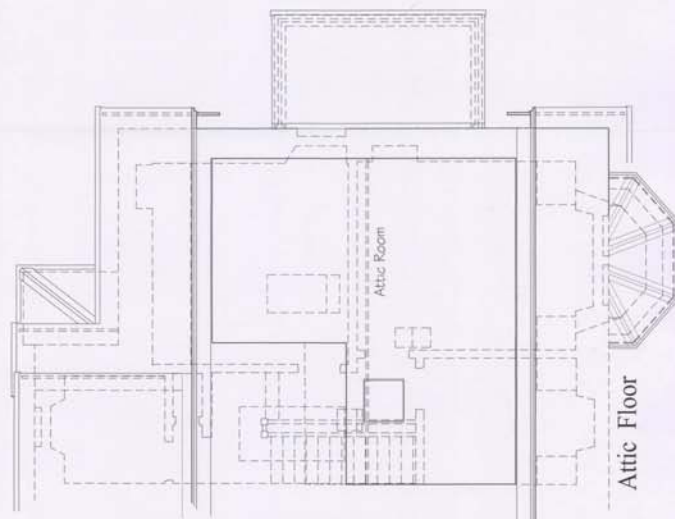
10-12-12

Drawn by:

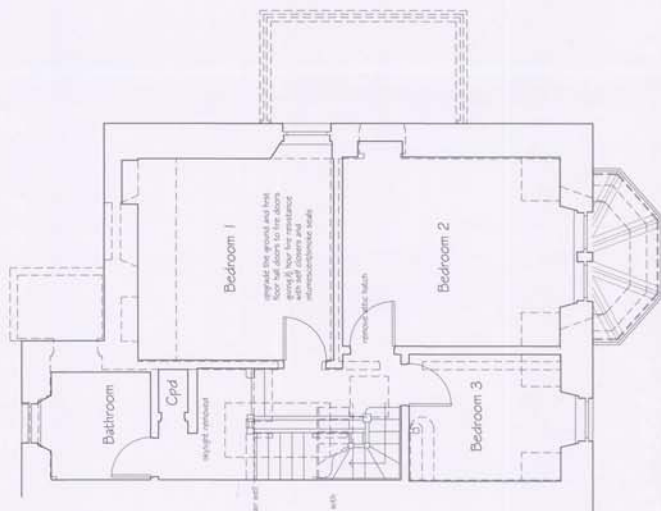
JH



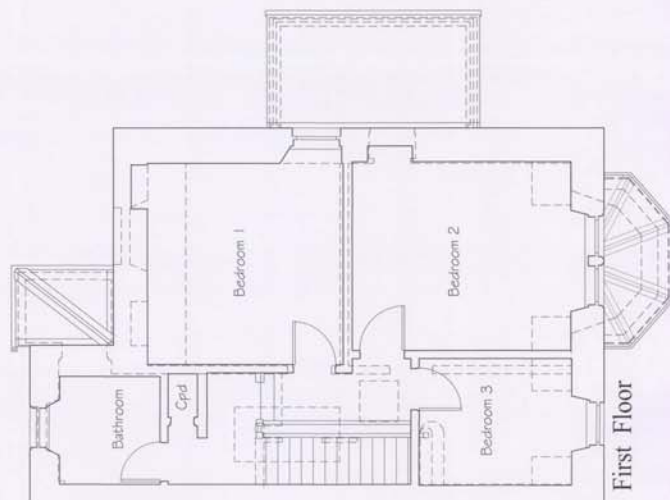
Attic Floor As Proposed



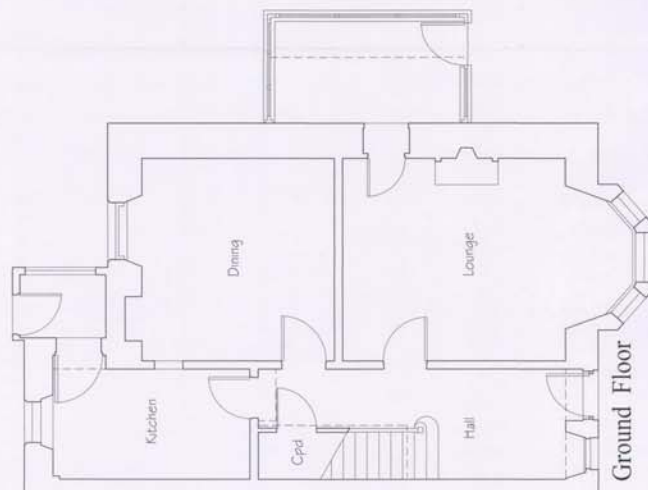
Attic Floor



First Floor As Proposed



First Floor



Ground Floor



Do not use scaled dimensions from this drawing for construction purposes. All dimensions are to be verified and checked on site by the Main Contractor before the commencement of any shop drawings or work.

All discrepancies are to be reported to the architect immediately.

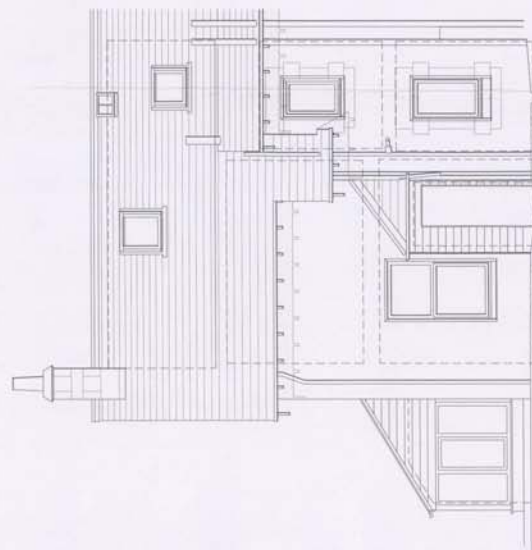
This drawing is to be read in conjunction with all related Architects, Engineer's and Specialist drawings and relevant information.

This drawing is copyright of Hanney McLaren Architects.

Revisions:

South East Elevation

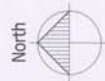
Section A-A



North East Elevation



Location Plan 1:1250



FIN 01_1004_003_Templeton_Village_010

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Project Name:
Attic Conversion,
7 Carrington Terr
Crieff

Client:
Ms T Bowyer Bower

Drawing Title:
Location Plan and Elevations
as Existing

Scale: 1:50, 1:250
Drawing No. 1225.02

Date: 10-12-12
Drawn by: JH

Do not use scaled dimensions from this drawing for construction purposes. All dimensions are to be verified and checked on site by the Main Contractor before the commencement of any shop drawings or work.

All discrepancies are to be reported to the architect immediately.

This drawing is to be read in conjunction with all related Architects, Engineer's and Specialist drawings and relevant information.

This drawing is copyright of Hannay McLaren Architects.

Revisions:
rev a 12-2-13 dorm

view a 12-2-13 dormer reduced in size

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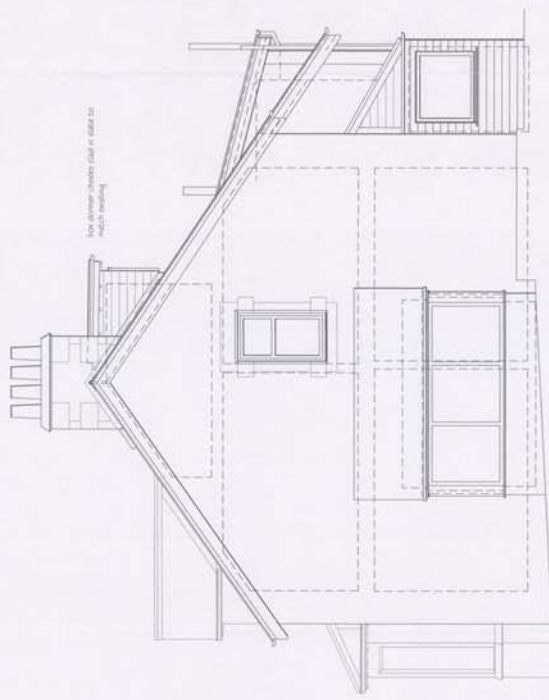
Project Name: Attic Conversion,
7 Carrington Terr
Cneff

Client: Ms T Bowyer Bower

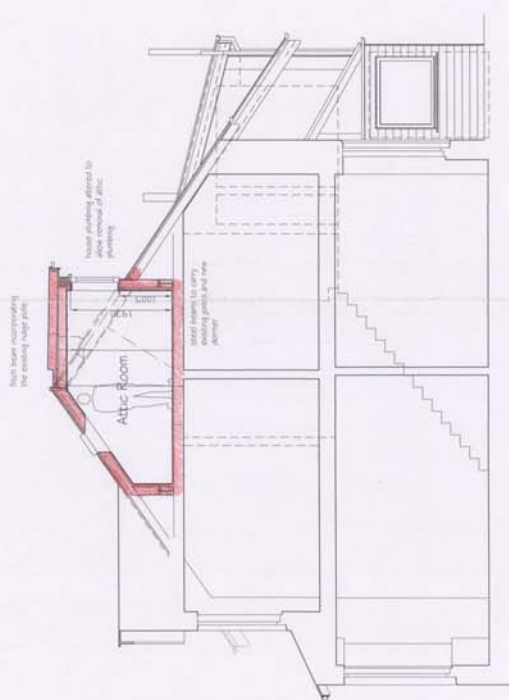
Drawing Title:
Site Plan and Elevations
as Proposed

Scale: 1:50, 200
Drawing No. 1225.03a

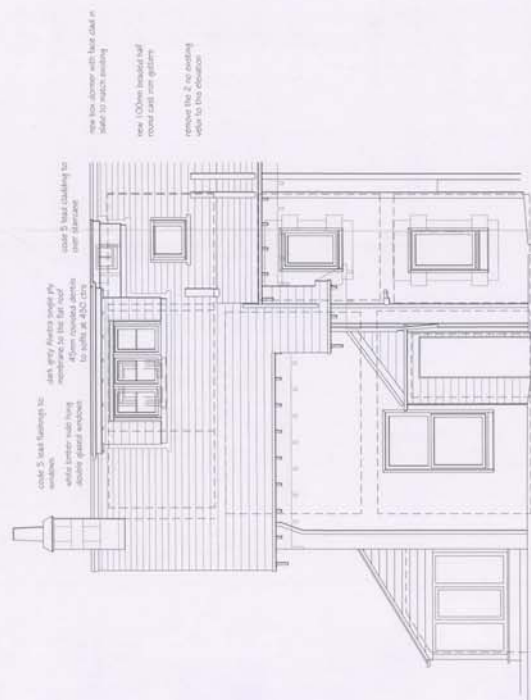
Date: 0-12-12 Drawn by: JH



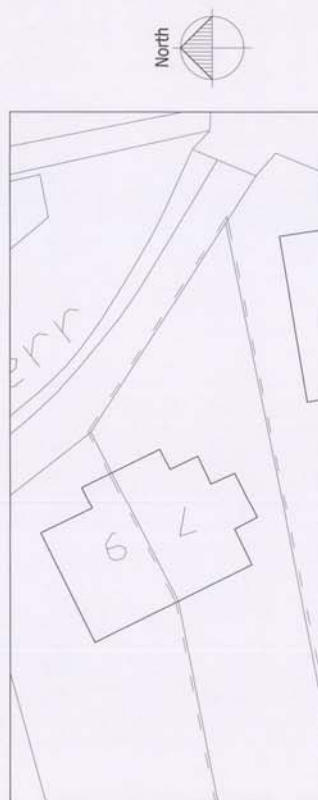
South East Elevation



Section A-A



North East Elevation

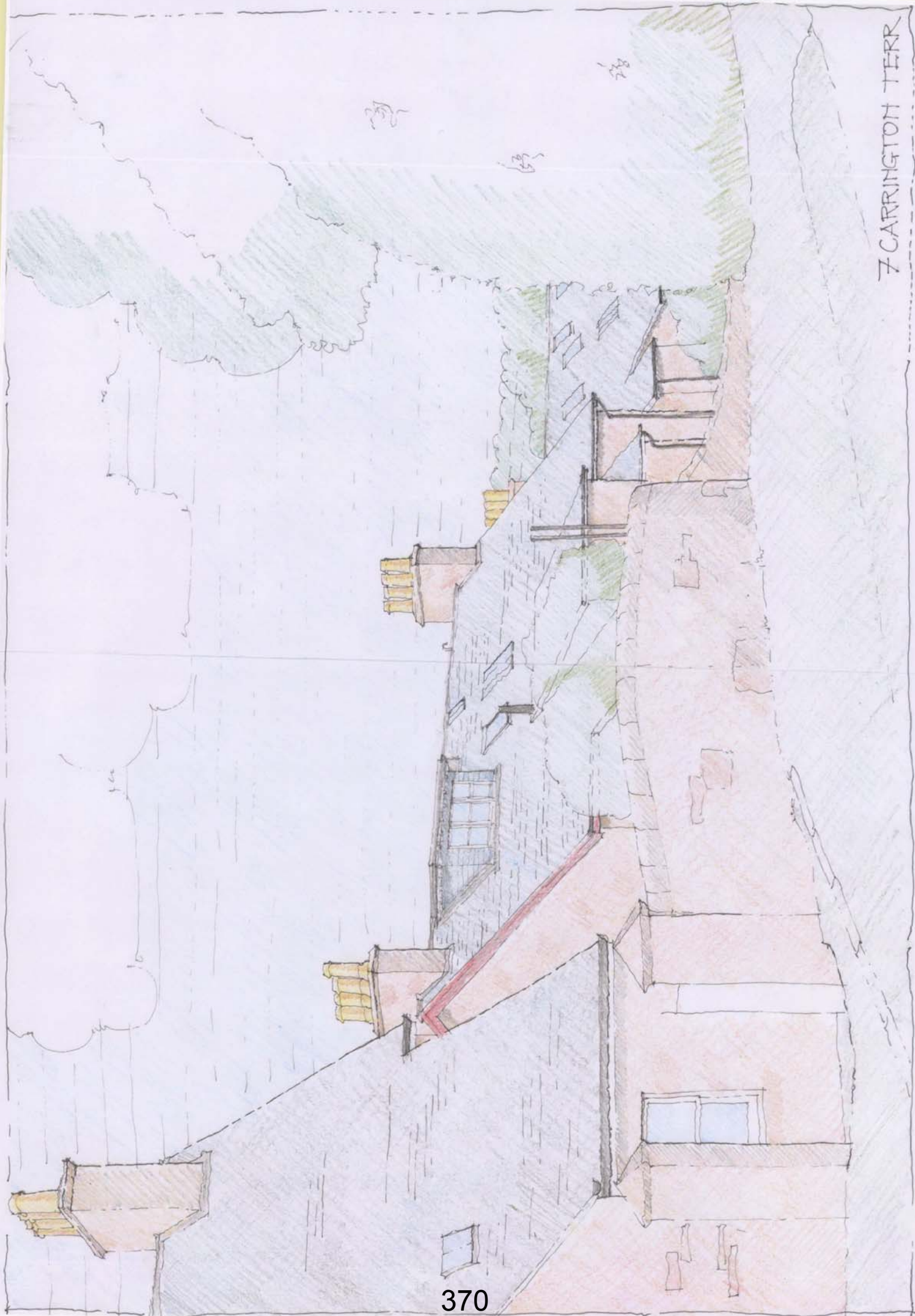


Site Plan 1:200



0 10 50

7 CARRINGTON TERR



4th March 2013

Dept of Planning
Perth & Kinross Council
35 Kinnoull Street
Perth
PH1 5GD

Dear Sirs

PROPOSED ALTERATIONS, 7 CARRINGTON TERRACE, CRIEFF

Please find enclosed a submission for Planning Consent for the above project, comprising the following,

- 1 Completed application form.
- 2 The completed Land Ownership Certificate.
- 3 Two copies of the following drawings:
1225.01a Plans as existing and proposed
1225.02 Location plans and elevations as existing
1225.03a Site Plan and elevations as proposed
- 4 A cheque for £160 in respect of your fee and a cheque for £61.10 to cover the advertisement fee.

The client wishes to create a second floor study/bedroom by building a dormer and continuing the staircase.

The dormer has been drawn to the minimum size required to meet the Building Regulations for head height over the stair and bed space. The main elevation has been stepped back to a lead detail over the stair and the dormer height has been limited to that required to obtain a suitably proportioned window with a lintol over.

The dormer has been designed with slate cladding to match the existing roof, and white timber windows of the same proportions as the house windows. The Sarnafil roof cladding will be dark grey in order that the visible downstand matches any leadwork. The soffit has been given timber dentils to mimic the existing exposed rafter ends.

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The proposed extension is viewed only momentarily, at an angle, from the public road. The elevation view is obscured by trees to the lane and redundant railway cutting. In relation to the overall roof height and area, the proposed dormer sits within the roofscape rather than dominating it. Visually, it is suitably distanced from the chimney, verge and perceived party line.

I trust you find the above in order and look forward to hearing from you in due course.

Yours faithfully

John Hannay
Architect

enc

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TCP/11/16(258)

**Planning Application 13/00457/FLL - Formation of a dormer
at 7 Carrington Terrace, Crieff, PH7 4DY**

PLANNING DECISION NOTICE

REPORT OF HANDLING

REFERENCE DOCUMENTS

PERTH AND KINROSS COUNCIL

Ms Tanya Bowyer-Bower
c/o Hannay McLaren Architects
John Hannay
1 Glasdale Cottage
Comrie
Crieff
PH6 2JX

Pullar House
35 Kinnoull Street
PERTH
PH1 5GD

Date 30th April 2013

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT

Application Number: **13/00457/FLL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to refuse your application registered on 7th March 2013 for permission for **Formation of a dormer 7 Carrington Terrace Crieff PH7 4DY** for the reasons undernoted.

Development Quality Manager

Reasons for Refusal

1. The proposal is contrary to Policy 2 of the Strathearn Area Local Plan 2001 as the proposed dormer extension represents an incongruous and unsympathetic addition which will adversely affect the visual character of the host building, the adjoining terrace and the surrounding area.
2. The proposal is contrary to Strathearn Area Local Plan 2001 Policy 5: Design as the design of the proposed dormer is not in keeping with the host building and the development does not fit its surroundings.
3. The proposal is contrary to Policy HE3A: Conservation Areas of the Proposed Local Development Plan 2012 in that it does not preserve or enhance the character or appearance of the Conservation Area by virtue of its bulky box style design and its siting directly off the roof ridge.
4. The proposal is contrary to the Scottish Government's policy statement Designing Places (2008) which seeks to ensure good design at all scales of development. The proposed dormer extension would create an undesirable precedent for similar extensions that could lead to an erosion of the character of the Conservation Area.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan

Notes

The plans relating to this decision are listed below and are displayed on Perth and Kinross Council's website at www.pkc.gov.uk "Online Planning Applications" page

Plan Reference

13/00457/1

13/00457/2

13/00457/3

13/00457/4

REPORT OF HANDLING

DELEGATED REPORT

Ref No	13/00457/FLL
Ward No	N6- Strathearn

PROPOSAL: Formation of a dormer

LOCATION: 7 Carrington Terrace Crieff PH7 4DY

APPLICANT: Ms Tanya Bowyer-Bower

RECOMMENDATION: REFUSE THE APPLICATION

SITE INSPECTION: 25 March 2013



OFFICERS REPORT:

Full planning permission is sought for the formation of a dormer extension at 7 Carrington Terrace, Crieff an unlisted building within the Crieff Conservation Area. Sections 25 and 37(2) of the Town and Country Planning (Scotland) Act 1997 as amended by Planning Etc (Scotland) Act 2006 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The determining issues in this case are whether the proposal complies with development plan policy, or if there are any other material

considerations which justify a departure from policy. The most relevant policies of the Strathearn Area Local Plan (2001) in this instance are Policies 2 and 5.

7 Carrington Terrace is an unlisted semi-detached property located on a lane just off the main part of Carrington Terrace.

The proposed dormer is around 3 metres wide by 1.5 metres in height with an additional adjacent extension to cover the staircase measuring approximately 1m wide x 0.6m in height. The main dormer extension would be located centrally on the north east roof elevation. In order to get minimum head room the dormer has had to be sited at the top of the roof plane in line with the roof ridge. From the drawings it also appears as if part of the dormer roof may be slightly proud of the roof ridge. The dormer would be clad in slate to the sides and front with timber windows and a flat, Sarnafil clad, dark grey coloured, roof.

Assessment

3, 5, 7 and 9 Carrington Terrace are readily visible from the Conservation Area, and reasonably prominent as the topography and orientation mean the rear roofs are effectively at eye level when viewed from the public realm in Carrington Terrace.

Two of the existing roof windows would be removed when the dormer is installed. Although the range and type of roof windows in the area does cause some amount of visual clutter the formation of another style of window, in this case a box-type dormer built directly off the existing ridge line, is not considered to be appropriate and will add to the disorder and visual clutter. There are no similar extensions in the immediate area and granting consent for this could create an undesirable precedent for similar style dormer extensions. The proposed bulky box style of dormer would be out of keeping with the character and appearance of the area and would not preserve or enhance the Conservation Area or the host building. It is therefore contrary to the Development Plan and I recommend that the application be refused.

DEVELOPMENT PLAN

TayPlan 2012

Policy 3: Managing TAYplan's Assets

This recognises the importance of historic buildings and townscapes and identifies the importance of only allowing development where it does not adversely impact upon or preferably enhances these assets.

S_002 Strathearn Development Criteria

All developments will also be judged against the following criteria:

- (a) The sites should have a landscape framework capable of absorbing or, if necessary, screening the development and where required opportunities for landscape enhancement will be sought;
- (b) In the case of built development, regard should be had to the scale, form, colour, and density of existing development within the locality;
- (c) The development should be compatible with its surroundings in land use terms and should not result in a significant loss of amenity to the local community;
- (d) The road network should be capable of absorbing the additional traffic generated by the development and a satisfactory access onto that network provided;
- (e) Where applicable, there should be sufficient spare capacity in drainage, water and education services to cater for the new development;

- (f) The site should be large enough to accommodate the development satisfactorily in site planning terms;
- (g) Buildings and layouts of new developments should be designed so as to be energy efficient;
- (h) Built developments should where possible be built within those settlements that are the subject of inset maps.

S_005 Strathearn Design

The Council will require high standards of design for all development in the Strathearn Area. In particular encouragement will be given to:

- a) The use of appropriate high quality materials;
- b) Innovate modern design incorporating energy efficient technology and materials;
- c) Avoiding the use of extensive under-building on steeply sloping sites;
- d) Ensuring that the proportions of any building are in keeping with its surroundings;
- e) Ensuring that the development fits its location.

The design principles set out in the Council's "Guidance and Design of Houses in Rural Areas" will be used as a guide for all development in the Strathearn Area.

OTHER POLICIES

PKC Local Development Plan, Jan 2012 Proposed Plan

This is the Council's most recent policy statement and is a consideration. The Plan has yet to be adopted.

Policy PMA1: Placemaking requires that all development must contribute positively to the quality of the surrounding built and natural environment. All development should be planned and designed with reference to climate change, mitigation and adaption. The design and siting of development should respect the character and amenity of the place and should create and improve links within and, where practical, beyond the site. Proposals should also incorporate new landscape and planting works where appropriate to the local context and the scale and nature of the development.

Policy RD1: Residential Areas

Encourages uses compatible with a residential area.

Policy HE3: Conservation Areas

Policy HE3A: New Development

There is a presumption in favour of development within a Conservation Area that preserves or enhances its character or appearance. The design, materials, scale and siting of new development within a conservation area, and development outwith an area that will impact upon its special qualities should be appropriate to its appearance, character and setting.

Where a Conservation Area Appraisal has been undertaken for the area, the details contained in that appraisal should be used to guide the form and design of new development proposals.

Applications for Planning Permission in Principle in Conservation Areas will not be considered acceptable without detailed plans, including elevations, which show the development in its setting.

In addition the following documents are a material consideration in the determination of the application;

Scottish Planning Policy - A statement of the Scottish Government's policy on nationally important land use planning matters;

Historic Scotland's Scottish Historic Environment Policy (SHEP);

Designing Places – Scottish Government, 2008; and

Crieff Conservation Area Appraisal.

SITE HISTORY

None.

CONSULTATIONS/COMMENTS

Scottish Water

No objection.

TARGET DATE: 7 May 2013

REPRESENTATIONS RECEIVED:

Number Received: 0

Summary of issues raised by objectors: n/a

Response to issues raised by objectors: n/a

Additional Statements Received:

Environment Statement	Not required
Screening Opinion	Not required
Environmental Impact Assessment	Not required
Appropriate Assessment	Not required
Design Statement / Design and Access Statement	Covering letter.
Report on Impact or Potential Impact	None submitted.

Legal Agreement Required: Not required.

Direction by Scottish Ministers – n/a

Reasons:-

- 1 The proposal is contrary to Policy 2 of the Strathearn Area Local Plan 2001 as the proposed dormer extension represents an incongruous and unsympathetic addition which will adversely affect the visual character of the host building, the adjoining terrace and the surrounding area.

- 2 The proposal is contrary to Strathearn Area Local Plan 2001 Policy 5: Design as the design of the proposed dormer is not in keeping with the host building and the development does not fit its surroundings.
- 3 The proposal is contrary to Policy HE3A: Conservation Areas of the Proposed Local Development Plan 2012 in that it does not preserve or enhance the character or appearance of the Conservation Area by virtue of its bulky box style design and its siting directly off the roof ridge.
- 4 The proposal is contrary to the Scottish Government's policy statement Designing Places (2008) which seeks to ensure good design at all scales of development. The proposed dormer extension would create an undesirable precedent for similar extensions that could lead to an erosion of the character of the Conservation Area.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

Notes

None.

