

TCP/11/16(212)

Planning Application 12/00842/FLL – Change of use of existing clubhouse to dwellinghouse at Whitemoss Golf Club, Dunning, PH2 0QX

**PAPERS SUBMITTED
BY THE
APPLICANT**



Pullar House 35 Kinnoull Street Perth PH1 5GD

Tel: 01738 475300

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Planning Department

Applications cannot be validated until all necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 000049340-001

The online ref number is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the Planning Authority about this application.

Applicant or Agent Details

Are you an applicant, or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:

MBM Planning & Development

Ref. Number:

First Name: *

Mark

Last Name: *

Myles

Telephone Number: *

01738 450506

Extension Number:

Mobile Number:

Fax Number:

01738 450507

Email Address: *

mm@mbmplanning.co.uk

You must enter a Building Name or Number, or both:*

Building Name:

Algo Business Centre

Building Number:

Address 1 (Street): *

Glenearn Road

Address 2:

Town/City: *

Perth

Country: *

UK

Postcode: *

PH2 0NJ

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title: *	<input type="text" value="Mr"/>
Other Title:	<input type="text"/>
First Name: *	<input type="text" value="G V"/>
Last Name: *	<input type="text" value="Westwood"/>
Company/Organisation:	<input type="text"/>
Telephone Number:	<input type="text"/>
Extension Number:	<input type="text"/>
Mobile Number:	<input type="text"/>
Fax Number:	<input type="text"/>
Email Address:	<input type="text"/>

You must enter a Building Name or Number, or both:*

Building Name:	<input type="text" value="Mosshead Farm"/>
Building Number:	<input type="text"/>
Address 1 (Street): *	<input type="text" value="Dunning"/>
Address 2:	<input type="text"/>
Town/City: *	<input type="text" value="Perthshire"/>
Country: *	<input type="text" value="Scotland"/>
Postcode: *	<input type="text" value="PH2 0QX"/>

Site Address Details

Full postal address of the site (including postcode where available):

Address 1:	<input type="text" value="Mosshead Farm"/>	Address 5:	<input type="text"/>
Address 2:	<input type="text" value="Dunning"/>	Town/City/Settlement:	<input type="text" value="Perth"/>
Address 3:	<input type="text"/>	Post Code:	<input type="text" value="PH2 0QX"/>
Address 4:	<input type="text"/>		

Please identify/describe the location of the site or sites.

Northing	<input type="text" value="714445"/>	Easting	<input type="text" value="298965"/>
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Description of the Proposal

Please provide a description of the proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *

(Max 500 characters)

Change of use of former clubhouse to dwellinghouse

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time of expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

See separate statement attached to Notice of Review

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made? *

☐ Yes ☒ No

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Planning application forms, refused plans, Report of Handling, Decision notice and Statement that addresses the reason the refusal

Application Details

Please provide details of the application and decision.

What is the application reference number? *

12/00842/FLL

What date was the application submitted to the planning authority? *

15/05/12

Has a decision been made by the planning authority? *

☒ Yes ☐ No

What date was the decision issued by the planning authority? *

13/07/12

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☒ Yes ☐ No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☒ Yes ☐ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

Checklist - Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant? *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare - Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mark Myles

Declaration Date: 28/09/2012

Submission Date: 28/09/2012

1. Introduction

- 1.1 This statement should be read in conjunction with the Notice of Review appeal submitted on 28th September 2012 on behalf of Mr G V Westwood, for the change of use of former clubhouse to dwellinghouse at Mosshead Farm, by Dunning. The planning application (12/00842/FLL) (copy attached - MBM1) was refused by PKC on 13th July 2012 (decision notice attached – MBM2).
- 1.2 The proposal requires to be considered under the terms of the development plan policy (in particular Policies 1 and 32 of the Perth Area Local Plan) but also the revised Housing in the Countryside Policy (HICP) that was approved by the council in August 2009.

2. Assessment of Development Plan Policy & PKC Reason for Refusal

- 2.1 As highlighted above the planning application was refused on 13th July 2012 on the basis that the proposal was deemed to be contrary to the HICP 2009, as insufficient information had been provided to demonstrate that was no other viable alternative use for the premises. The reason for refusal is unreasonable and clearly does not fit with the officer's Report of Handling dated 12th July (attached as MBM3) which as you will see actually recommended approval of the application. As such no explanation or reasoned justification is provided that supports the reason for refusal of the application.
- 2.2 In terms of the general background policies, Policy 1 in the Perth Area Local Plan includes reference to a number of detailed criteria which all developments are required to be assessed against. These include sites having the need for a landscape framework capable of absorbing the development, regard being paid to the scale, form and density of developments within the locality, development being compatible with its surrounding land uses, development having no loss to the amenity or character of the area and suitable access and services being achievable.
- 2.3 Given that the building already exists and would have been considered under the terms of this policy when originally approved, there are not considered to be any issues raised or conflicts with these criteria. The planning application was not refused as being contrary to Policy 1 of the local plan.
- 2.4 Any normal assessment of a housing in the countryside type application, would point the decision maker to focus on that particular subject policy within the development plan, which in this case is Policy 32. The council officer's Report of Handling confirms that Policy 32 is applicable in this case. Category e) of Policy 32 refers specifically to conversion of non-domestic buildings which would apply in this case and it's clear that the proposed change of use can comply with each of the criteria listed under category e) i.e.
- The building makes a positive contribution to the landscape and its retention is considered beneficial to its surroundings;
 - The building is capable of conversion to residential use without requiring extensions or alterations to its external appearance;
 - The building is structurally sound and is in good repair;
 - Access and services already exist;
 - A satisfactory residential environment can be created and will not impact on any other adjacent agricultural activity.

- 2.5 So it is evident that the proposed change of use is in accordance with the Development Plan i.e. policies 1 and 32 which is further supported by the justification statement contained within the Report of Handling.
- 2.6 In contrast the council's decision notice is inconsistent and contradictory. Under the heading justification on the decision notice there is a statement that says that the proposal is not in accordance with the development plan and there are no material reasons which justify departing from the development plan. This statement is clearly incorrect and even inconsistent with the actual reason for refusal of the application which makes no reference whatsoever to the proposal being contrary to any policy in the development plan.
- 2.7 Turning to the actual reason for refusal; it states that the proposal is contrary to the council's HICP 2009 without actually stating which category the proposal is alleged to contravene. The only category that this proposal can be assessed under is category 5, where conversion or replacement of redundant non domestic buildings is permitted.
- 2.8 As noted in the Report of Handling (MBM3) the former clubhouse has now lain vacant for a year. At the start of 2012 the applicant had displayed a private advertising board at the road end advertising that the building was available for sale but no interest was received. Since May 2012 the property has been advertised via agents (Your Move) but no interest in alternative non-residential uses has been shown.
- 2.9 Notwithstanding the fact that no other interest has been shown in the property, category 5 of the housing in the countryside policy 2009 does not require any evidence to be submitted in this regard prior to the determination of an application for conversion of a non domestic building.
- 2.10 The council's reason for refusal is therefore not valid as the proposal does not conflict with the HICP 2009. In fact the HICP 2009 actually provides strong support for the proposed change of use and where there is no requirement to provide further information about alternative proposals or uses
- 2.11 The council's reason for refusal of this application was therefore seriously flawed and this application should have been approved as being in accordance with the development plan and also consistent with the other main material consideration, which in this case is the council's HICP 2009. We therefore agree entirely with the Report of Handling which provides an accurate assessment of the application and a full reasoned justification. In contrast the reason for refusal has been provided without any justification, is not supported by development plan policy or the council's HICP which it purports.

3 Conclusions

- 3.1 This Notice of Review appeal should not have been necessary as the application should have been approved in accordance with the recommendation set out by the officer in the Report of Handling.
- 3.2 Contrary to the view expressed in the reason for refusal the proposal is not contrary to the council's HICP 2009 and category 5 of that policy does not require applicants to provide information to demonstrate that there are no other viable uses for the premises. If a proposal is supported by HICP category 5 then it should be approved on that basis.
- 3.3 We therefore respectfully request that this Notice of Review is approved as it is consistent with the terms of Category 5 of the Housing in the Countryside Policy – August 2009 as well as being in conformity with Policies 1 and 32 of the Perth Area Local Plan, subject to any conditions that may be considered necessary by the Local Review Body.

PERTH AND KINROSS COUNCIL

Mr G V Westwood
Mosshead Farm
Dunning
Perth
PH2 0QX

Pullar House
35 Kinnoull Street
PERTH
PH1 5GD

Date 13th July 2012

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT

Application Number: **12/00842/FLL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to refuse your application registered on 15th May 2012 for permission for **Change of use of existing clubhouse to dwellinghouse Whitemoss Golf Club Dunning Perth PH2 0QX** for the reasons undernoted.

Development Quality Manager

Reasons for Refusal

1. The proposal is contrary to the Housing in the Countryside Policy 2009 as the applicant has not provided sufficient information to clearly demonstrate that there is no viable alternative use for the premises other than housing.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan

Notes

The plans relating to this decision are listed below and are displayed on Perth and Kinross Council's website at www.pkc.gov.uk "Online Planning Applications" page

Plan Reference

12/00842/1

12/00842/2

12/00842/3

12/00842/4

12/00842/5

12/00842/6

12/00842/7

12/00842/8

12/00842/9

REPORT OF HANDLING

DELEGATED REPORT

Ref No	12/00842/FLL
Ward No	N7- Strathallan

PROPOSAL: Change of use of existing clubhouse to dwellinghouse

LOCATION: Whitemoss Golf Club Dunning Perth PH2 0QX

APPLICANT: Mr G V Westwood

RECOMMENDATION: APPROVE THE APPLICATION

SITE INSPECTION: 25 June 2012

OFFICERS REPORT:

Brief Description

The application site is the former Whitemoss Golf Clubhouse and associated area of ground around it amounting to a site area of 0.56ha, situated on the south side of the public road approximately 1km south east of Aberuthven.

This application is for the change of use of the former clubhouse to a single dwellinghouse with associated garden ground.

This application falls to be assessed under the Council's Housing in the Countryside Policy 2009 under category 5 where consent will be granted for the conversion of redundant non domestic buildings to form houses. The clubhouse and golf course have been redundant for approximately a year following the closure of Whitemoss Golf Club.

The clubhouse scale and design lends itself comfortably to conversion to a single dwellinghouse. There is an ample amount of garden ground being provided. The proposed change of use will not have any adverse impact on any neighbouring residential property. Drainage will be as existing. Vehicular access will be via an existing access. The local primary school is nearing capacity and an education contribution is required. There are no objections from the main consultees.

The proposal is acceptable.

DEVELOPMENT PLAN

Perth Area Local Plan 1995 Incorporating Alteration No 1 Housing Land 2000

The application site is within the Landward Area of the local plan.

Policy 1: Development Criteria

Policy 32: Housing in the Countryside

Policy 40A: Private Drainage

Other Policies:

Perth and Kinross Council's Housing in the Countryside Policy 2009

Perth and Kinross Council's Planning Guidance Note: Primary Education and New Housing Development May 2009

SITE HISTORY

05/01395/OUT Erection of holiday/shared ownership residential development (in outline) 30 November 2005 Application Permitted

07/00403/FUL Erection of Holiday/Shared Ownership Residential Development. 19 September 2007 Application Permitted

CONSULTATIONS/COMMENTS

Environmental Health	No objections
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Education And Children's Services	No objections
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Transport Scotland	No objections
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TARGET DATE: 15 July 2012

REPRESENTATIONS RECEIVED:

Number Received: 0

Additional Statements Received:

Environment Statement

Not required

Screening Opinion

Not required

Environmental Impact Assessment

Not required

Appropriate Assessment

Not required

Design Statement or Design and Access Statement

Not required

Report on Impact or Potential Impact eg Flood Risk Assessment

Not required

Legal Agreement Required:

Possibly for deferral of education contribution

Direction by Scottish Ministers

Under the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2008, regulations 30 – 32 there have been no directions by the Scottish Government in respect of an Environmental Impact Assessment screening opinion, call in or notification relating to this application

Conditions:-

- 1 The proposed development must be carried out in accordance with the approved drawings and documents, unless otherwise provided for by conditions imposed on the planning consent.

Reasons:-

- 1 To ensure that the development is carried out in accordance with the plans approved.

Justification

- 2 The proposal is in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan

Notes

- 1 This planning permission will last only for three years from the date of this decision notice, unless the development has been started within that period. (See section 58(1) of the Town and Country Planning (Scotland) Act 1997 (as amended).
- 2 Under section 27A of the Town and Country Planning (Scotland) Act 1997 (as amended) the person undertaking the development is required to give the planning authority prior written notification of the date on which it is intended to commence the development. A failure to comply with this statutory requirement would constitute a breach of planning control under section 123(1) of that Act, which may result in enforcement action being taken.
- 3 As soon as practicable after the development is complete, the person who completes the development is obliged by section 27B of the Town and Country Planning (Scotland) Act 1997 (as amended) to give the planning authority written notice of that position.
- 4 No work shall be commenced until an application for building warrant has been submitted and approved.
- 5 Prior to issue of consent the applicant shall make a financial contribution of £6395 towards improving accommodation at Aberuthven Primary School. Deferral of this payment may be possible through the completion of a suitable legal agreement with the Council.

£319 cheq
8/5/12
MB 33868

RECEIVED

- 9 MAY 2012

£61.10 cheq
8/5/12
MB 33869

CUSTOMER SERVICE
POINT
- 8 MAY 2012

APPLICATION FOR PLANNING PERMISSION

Town and Country Planning (Scotland) Act 1997
The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2008

Please refer to the accompanying Guidance Notes when completing this application
PLEASE NOTE IT IS FASTER AND SIMPLER TO SUBMIT PLANNING APPLICATIONS
ELECTRONICALLY VIA <https://eplanning.scotland.gov.uk>

1. Applicant's Details		2. Agent's Details (if any)	
Title	MR	Ref No.	
Forename	GEORGE VICTOR	Forename	
Surname	NESTWOOD	Surname	
Company Name		Company Name	
Building No./Name		Building No./Name	
Address Line 1	MOSSHEAD FARM	Address Line 1	
Address Line 2	DUNNING, PERTH	Address Line 2	
Town/City	PERTHSHIRE	Town/City	
Postcode	PH2 0QX	Postcode	
Telephone		Telephone	
Mobile		Mobile	
Fax		Fax	
Email		Email	

3. Postal Address or Location of Proposed Development (please include postcode)
WHITEMOSS GOLF CLUB THE CLUBHOUSE DUNNING, PERTH, PH2 0QX

NB. If you do not have a full site address please identify the location of the site(s) in your accompanying documentation.

4. Type of Application
What is the application for? Please select one of the following:
Planning Permission <input checked="" type="checkbox"/>
Planning Permission in Principle <input type="checkbox"/>
Further Application* <input type="checkbox"/>
Application for Approval of Matters Specified in Conditions* <input type="checkbox"/>
Application for Mineral Works** <input type="checkbox"/>

NB. A 'further application' may be e.g. development that has not yet commenced and where a time limit has been imposed a renewal of planning permission or a modification, variation or removal of a planning condition.

*Please provide a reference number of the previous application and date when permission was granted:

Reference No: Date:

**Please note that if you are applying for planning permission for mineral works your planning authority may have a separate form or require additional information.

5. Description of the Proposal

Please describe the proposal including any change of use:

CONVERTING THE EXISTING CLUBHOUSE BUILDING INTO ONE RESIDENTIAL DWELLING AND THE EXISTING CAR PARK INTO DRIVEWAY AND A GARDEN. NO FURTHER HARDSTANDING AREAS PROPOSED (EXISTING CAR PARK IS HARDCORE TYPE 1) EXISTING CARPARK TO BE USED.

Is this a temporary permission?

Yes ☐ No ☒

If yes, please state how long permission is required for and why:

Have the works already been started or completed?

Yes ☐ No ☒

If yes, please state date of completion, or if not completed, the start date:

Date started:

Date completed:

If yes, please explain why work has already taken place in advance of making this application

6. Pre-Application Discussion

Have you received any advice from the planning authority in relation to this proposal?

Yes ☒ No ☐

If yes, please provide details about the advice below:

In what format was the advice given?

Meeting ☐ Telephone call ☐ Letter ☐ Email ☒

Have you agreed or are you discussing a Processing Agreement with the planning authority? Yes ☐ No ☒

Please provide a description of the advice you were given and who you received the advice from:

Name:

Date:

Ref No.:

HIGHLIGHTED PLANNING APPLICATION REQUIRED FOR CONVERSION OF CLUBHOUSE TO A DWELLING AND AS GROUND REDUNDANT UNLIKELY TO BE OBSTACLE IN PRINCIPLE THIS CHANGE.

7. Site Area

Please state the site area in either hectares or square metres:

Hectares (ha):

Square Metre (sq.m.)

8. Existing Use

Please describe the current or most recent use:

THE BUILDING WAS THE CLUB HOUSE FOR THE ADJACENT GOLF COURSE (INCLUDES A BAR, RESTAURANT, KITCHEN, OFFICE + CHANGING FACILITIES AS WELL AS CAR PARK FOR 100 CARS). THE GOLF COURSE CLOSED IN OCTOBER 2011 DUE TO ECONOMIC CLIMATE AND RETIREMENT OF OWNER. EXISTING CAR PARK IS HARDCORE TYPE 1

9. Access and Parking

Are you proposing a new altered vehicle access to or from a public road? Yes ☐ No ☒

If yes, please show in your drawings the position of any existing, altered or new access and explain the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any changes to public paths, public rights of way or affecting any public rights of access? Yes ☐ No ☒

If yes, please show on your drawings the position of any affected areas and explain the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application site?

100

How many vehicle parking spaces (garaging and open parking) do you propose on the site? (i.e. the total number of existing spaces plus any new spaces)

POTENTIAL TO CONVERT EXISTING CAR PARK TO GARDEN/ AND DRIVEWAY.

Please show on your drawings the position of existing and proposed parking spaces and specify if these are to be allocated for particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, etc.)

10. Water Supply and Drainage Arrangements

Will your proposals require new or altered water supply or drainage arrangements? Yes ☐ No ☒

Are you proposing to connect to the public drainage network (e.g. to an existing sewer?)

N/A.

WILL CONTINUE TO USE EXISTING MAINS

Yes, connecting to a public drainage network

No, proposing to make private drainage arrangements

Not applicable – only arrangement for water supply required

☐ WATER SUPPLY
☐ AND EXISTING
☐ SEPTIC TANK.

What private arrangements are you proposing for the new/altered septic tank?

Discharge to land via soakaway

Discharge to watercourse(s) (including partial soakaway)

Discharge to coastal waters

☐
☐
☐

Please show more details on your plans and supporting information

What private arrangements are you proposing?

Treatment/Additional treatment (relates to package sewer treatment plants, or passive sewage treatment such as a reed bed)

Other private drainage arrangement (such as a chemical toilets or composting toilets)

☐
☐

Please show more details on your plans and supporting information.

Do your proposals make provision for sustainable drainage of surface water? Yes ☐ No ☐

Note:- Please include details of SUDS arrangements on your plans

ALREADY USING EXISTING MAIN WATER SUPPLY TO CONSTITUTE

Are you proposing to connect to the public water supply network?

Yes ☐ No ☐

If no, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site)

11. Assessment of Flood Risk

Is the site within an area of known risk of flooding?

Yes ☐ No ☒

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your planning authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? Yes ☐ No ☒ Don't Know ☐

If yes, briefly describe how the risk of flooding might be increased elsewhere.

12. Trees

Are there any trees on or adjacent to the application site?

Yes ☒ No ☐

If yes, please show on drawings any trees (including known protected trees) and their canopy spread as they relate to the proposed site and indicate if any are to be cut back or felled. TREES WERE PLANTED WHEN GOLF COURSE CONSTRUCTED IN 1994.

13. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste? (including recycling)

Yes ☒ No ☐

If yes, please provide details and illustrate on plans.

If no, please provide details as to why no provision for refuse/recycling storage is being made:

SPACE EXIST BEHIND CLUB HOUSE FOR BINS APPROPRIATE AND ASSOCIATED WITH ONE RESIDENTIAL DWELLING.

14. Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats?

Yes ☒ No ☐

If yes how many units do you propose in total?

ONE

Please provide full details of the number and types of units on the plan. Additional information may be provided in a supporting statement.

ONE RESIDENTIAL DWELLING TO BE CREATED WITHIN THE EXISTING CLUBHOUSE BUILDING.

THE CURRENT / EXISTING ACCESS AND HIGHWAYS ARRANGEMENTS PROVIDE CAPACITY FOR APPROXIMATELY 80 CARS PER DAY.

15. For all types of non housing development – new floorspace proposed

Does your proposal alter or create non-residential floorspace?

Yes ☐ No ☒

If yes, please provide details below:

Use type:

If you are extending a building, please provide details of existing gross floorspace (sq.m):

Proposed gross floorspace (sq.m.):

Please provide details of internal floorspace(sq.m)

Net trading space:

Non-trading space:

Total net floorspace:

16. Schedule 3 Development

Does the proposal involve a class of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2008?

Yes ☐ No ☐ Don't Know ☒

If yes, your proposal will additionally have to be advertised in a newspaper circulating in your area. Your planning authority will do this on your behalf but may charge a fee. Please contact your planning authority for advice on planning fees.

17. Planning Service Employee/Elected Member Interest

Are you / the applicant / the applicant's spouse or partner, a member of staff within the planning service or an elected member of the planning authority?

Yes ☐ No ☒

Or, are you / the applicant / the applicant's spouse or partner a close relative of a member of staff in the planning service or elected member of the planning authority?

Yes ☐ No ☒

If you have answered yes please provide details:

DECLARATION

I, the applicant/agent certify that this is an application for planning permission. The accompanying plans/drawings and additional information are provided as part of this application. I hereby confirm that the information given in this form is true and accurate to the best of my knowledge.

I, the applicant/agent hereby certify that the attached Land Ownership Certificate has been completed



I, the applicant /agent hereby certify that requisite notice has been given to other land owners and /or agricultural tenants

Yes ☐ No ☐ N/A ☒Signature: 

Name:

GEORGE
VICTOR WESTWOOD

Date:

07/05/2012

Any personal data that you have been asked to provide on this form will be held and processed in accordance with the requirements of the 1998 Data Protection Act.

LAND OWNERSHIP CERTIFICATES

Town and Country Planning (Scotland) Act 1997
Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland)
Regulations 2008

CERTIFICATE A, B, C OR CERTIFICATE D MUST BE COMPLETED BY ALL APPLICANTS

CERTIFICATE A

Certificate A is for use where the applicant is the only owner of the land to which the application relates and none of the land is agricultural land.

I hereby certify that -

- (1) No person other than myself was owner of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the application. ☒
- (2) None of the land to which the application relates constitutes or forms part of agricultural land. ☒

Signed:

[Redacted Signature]

On behalf of:

GEORGE VICTOR WESTWOOD

Date:

07/05/2012

CERTIFICATE B

Certificate B is for use where the applicant is not the owner or sole owner of the land to which the application relates and/or where the land is agricultural land and where all owners/agricultural tenants have been identified.

I hereby certify that -

- (1) I have served notice on every person other than myself who, at the beginning of the period of 21 days ending with the date of the application was owner of any part of the land to which the application relates. These persons are: ☐

Name	Address	Date of Service of Notice

- (2) None of the land to which the application relates constitutes or forms part of agricultural land ☐

or

- (3) The land or part of the land to which the application relates constitutes or forms part of agricultural land and I have served notice on every person other than myself who, at the beginning of the period of 21 days ending with the date of the application was an agricultural tenant. These persons are: ☐

Name	Address	Date of Service of Notice

CERTIFICATE C

Certificate C is for use where the applicant is not the owner or sole owner of the land to which the application relates and/or where the land is agricultural land and where it has not been possible to identify ALL or ANY owners/agricultural tenants.

- (1) I have _____ been unable to serve notice on **every** person other than myself _____ who, at the beginning of the period of 21 days ending with the date of the application was owner of any part of the land to which the application relates.

or

- (2) I have _____ been unable to serve notice on **any** person other than myself _____ who, at the beginning of the period of 21 days ending with the date of the accompanying application, was owner of any part of the land to which the application relates.

- (3) None of the land to which the application relates constitutes or forms part of an agricultural holding.

or

- (4) The land or part of the land to which the application relates constitutes or forms part of an agricultural holding and I have _____ been unable to serve notice on any person other than myself _____ who, at the beginning of the period of 21 days ending with the date of the accompanying application was an agricultural tenant.

or

- (5) The land or part of the land to which the application relates constitutes or forms part of an agricultural holding I have _____ served notice on each of the following persons other than myself _____ who, at the beginning of the period of 21 days ending with the date of the application was an agricultural tenant. These persons are:

Name	Address	Date of Service of Notice

- (6) I have _____ taken reasonable steps, as listed below, to ascertain the names and addresses of all other owners or agricultural tenants and have _____ unable to do so.

Steps taken:

PERTH AND KINROSS COUNCIL

DRAWING REF: 12/00842/1



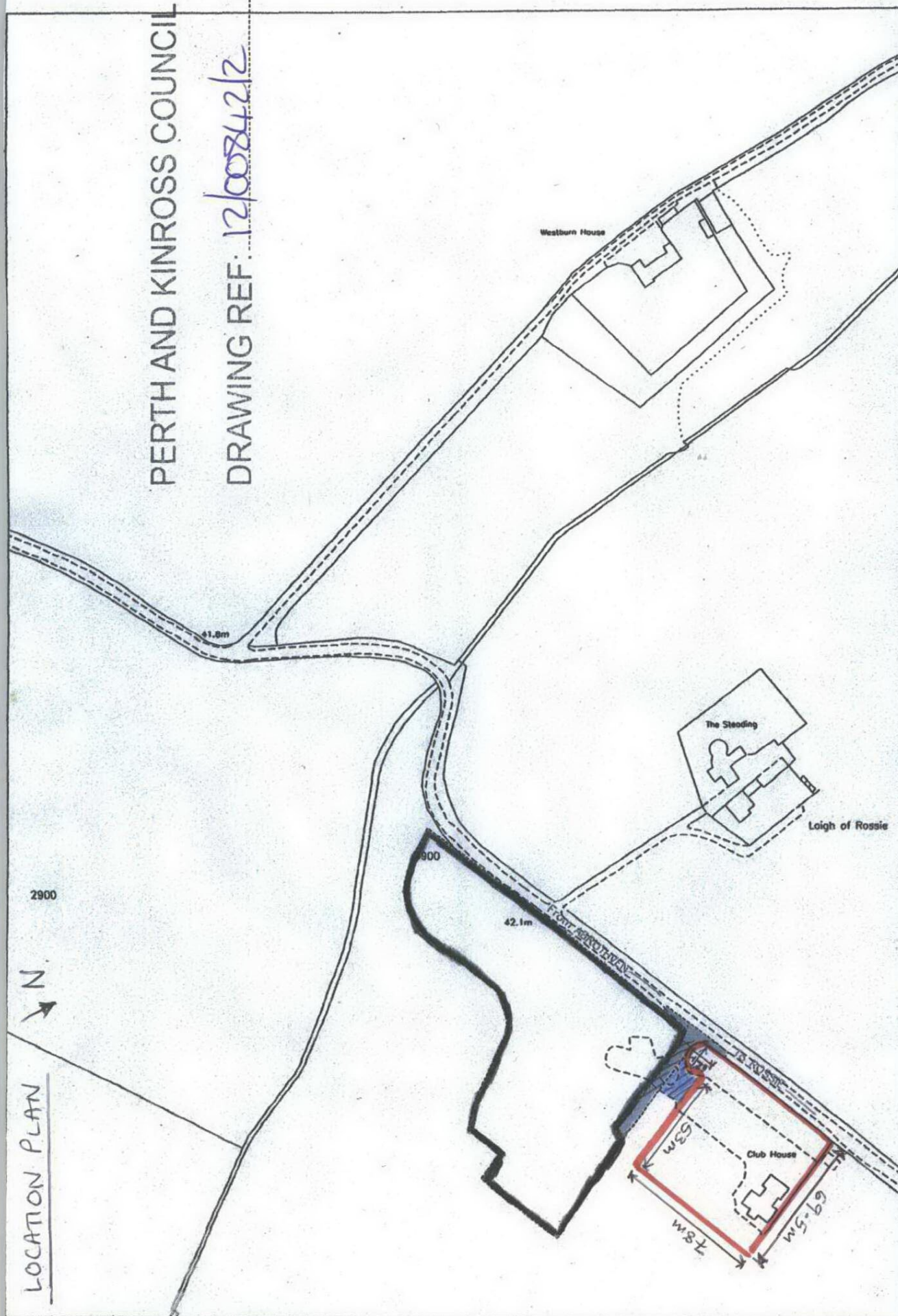
LOCATION PLAN

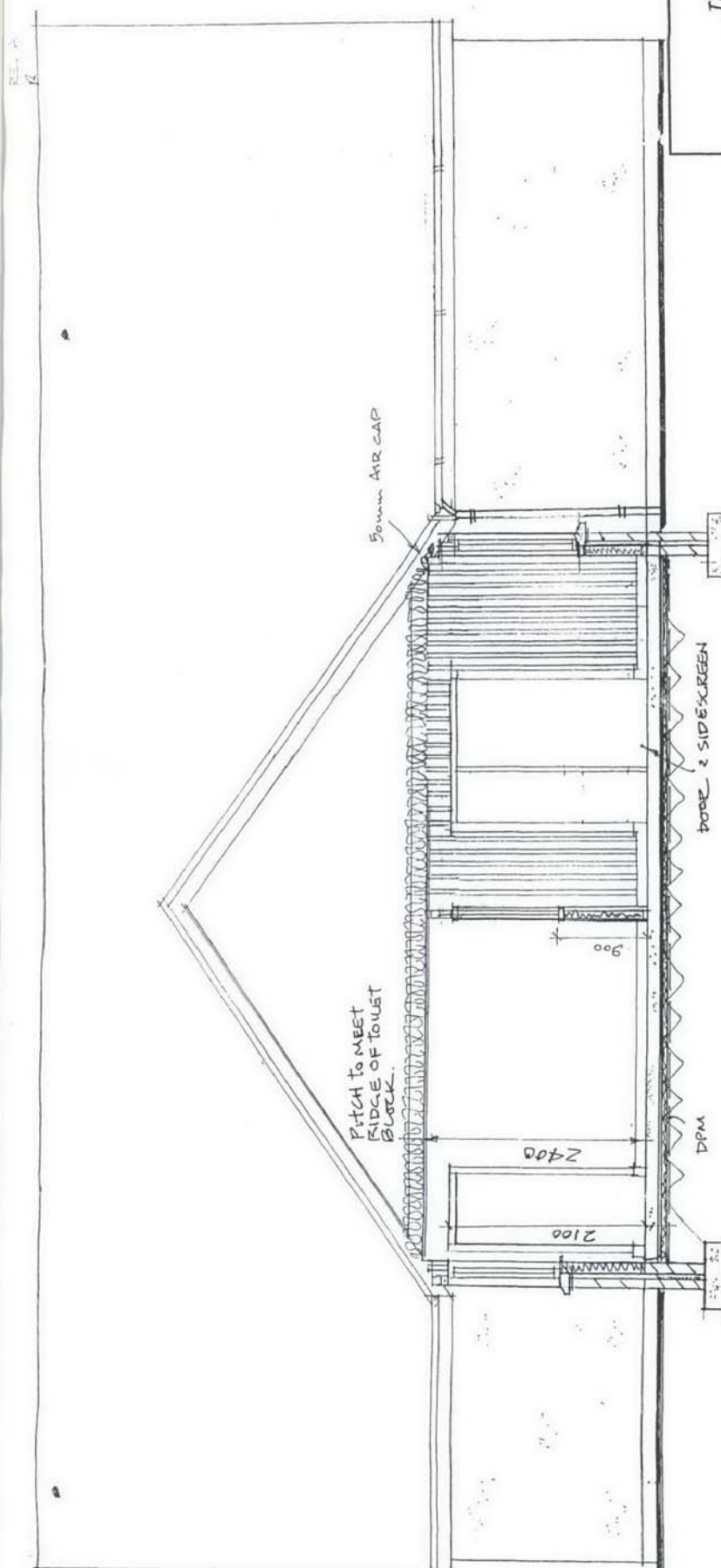


2900

PERTH AND KINROSS COUNCIL

DRAWING REF: 12/00842/2





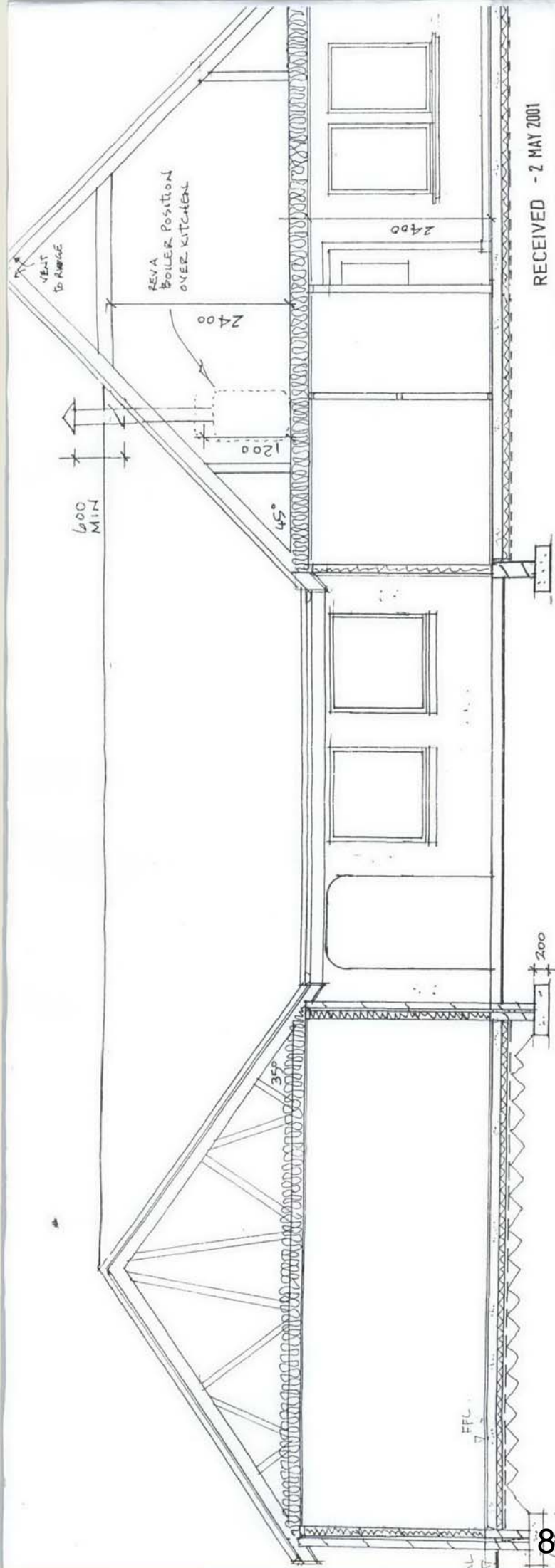
RECEIVED - 2 MAY 2001

JMP Design
23 VIEWSLANDS ROAD
PERTH PH1 1BL

Tel/Fax 01738 635118
John M Pearson Architect
Planning Supervisor
ARIAS Maps

CLIENT	Whitemoss Leisure Ltd
PROJECT	Proposed Clubhouse at Whitemoss Golf Course
DRAWING TITLE	Proposed Section A - A
Scale	1: 50
Drawn by	Checked
Drawing no.	0110 / 5
Date	March 2001
Revision	B

- ROOF - REDLAND SAKOAL (42) kg/m²**
on 38 x 25mm battens on 38 x 19mm counter battens on reinforced roofing felt on 9mm plywood sarking on prefabricated timber trusses at 600mm centres all as designed by engineer. Allow for ventilation with a ridge tile to give 5mm ventilation. Manufacturer to submit design certificate for trusses. Contractor to submit to Council. Lay 2 layers of 48mm Celotex double R general Application Board GA2048 insulation between rafters in comb and over lounge roof. Ensure there is a 50mm minimum gap above the insulation to allow for ventilation. Fix 25mm continuous eaves or soffit ventilation with insect gauze and 5mm ventilation along ridge tile. Allow for mastic seal to 15mm settlement gap between soffit and external leaf.
- DOORS AND FRAMES**
Internal doors generally flush plywood faced with clear satin finish as specified by Rob Roy. All glass in external doors to be toughened glass. Fit frames, stops, facings skirting blocks and skirtings. Fit ironmongery.
- GENERAL**
Lay 150mm mineral fibre quilt insulation between ceiling ties. Fix 12.7mm plasterboard to ground floor ceiling.
- TILING**
Lay 150 x 150 x 8mm Woolworth Multivertile tiles to toilet floor areas with slip resistant side upmost in the shower room. Allow for tiling in shower-subsoil and shower room to a height of 1800mm.
- EXCAVATION**
Excavate to required depths for foundations and drainage. Remove all topsoil and vegetable matter and infill with bottoming free from fine material and chemically inert. Cart away all surplus spoil from site.
- FOUNDATIONS AND UNDERBUILDING**
Form 600 x 200mm concrete strip foundations for cavity walls or 215mm hollow block. Cavity outer walls to have 3 x 38 x 1000mm galvanised anchor straps at centres specified by engineer to anchor timber structure to outer leaf. Infill cavity with weak cement mix up to ground level.
- STRUCTURAL TIMBER**
All structural timber treatment in accordance with BS 5268 Part 5 1977. Timber frame structural kit, roof trusses, bracing and holding-down to be designed by Structural Engineer and to comply with current BS and BSCP recommendations and all relevant sections of the Building Standards and to be covered by the Structural Design Certificate
- PLASTERBOARD**
Fix 12.7mm plasterboard with joints taped and filled in accordance with British Gypsum recommendations. Moisture resistant plasterboard to be used in areas that are to be tiled. Install 100mm sound deadening (RW3) to internal stud walls to toilets as shown.
- WINDOWS**
Redwood frames and opening sashes with double vacuum water repellent 'Protim' primed or treated with timber stain. All opening sashes fitted with neoprene draughtseal and all frame or sash heads fitted with 4000mm adjustable ventilator in toilets and 8000mm adjustable ventilator in all other rooms. All glazing to doors and windows to be double glazed with 12mm minimum airgap. All glass below 800mm above floor level to be toughened glass. Fit 25mm sills with aprons. Apply mastic seal between window jamb and inner reveal.
- LEADWORK**
All leadwork to be in accordance with the Lead Sheet Association recommendations. All valleys in code 5 lead with maximum length of 1500mm; soakers in code 4
- SCANNED**
- PERTH AND KINROSS COUNCIL**
- DRAWING REF: 120081218**



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Tel/Fax 01738 635118
John M Pearson Architect
Planning Supervisor
ARIAS Maps

CLIENT
Whitemoss Leisure Ltd

PROJECT
Proposed Clubhouse at
Whitemoss Golf Course

DRAWING TITLE
Proposed Section B - B

Scale 1: 50	Date March, 2001
Drawn by JP	Checked Revision
Drawing no. 0110 / 6	A

LINTOLS - build in precast concrete lintols and steel beams with minimum bearing of 150mm as specified by engineer.

GROUND FLOOR - 150mm concrete laid to smooth finish to receive carpet or tiles on 70mm JabliteHD insulation, on 120mm dpc, on 25mm blinding on 150mm hardcore. Include for expansion joints and mesh as specified by engineer.

Ensure 25mm insulation placed at edges to slab. Lay paving slabs on 25mm blinding on 150mm hardcore at a slope of 1:12 to form ramped access to main doorways. Form concrete plat at door to dining room and step to kitchen.

INTERNAL PARTITIONS

38mm x 90mm studs at 600mm centres maximum and 12.7mm plasterboard finish to both sides.

Kitchen - Form 75 x 50 mm stud wall at 600mm centres with 25mm gap between stud and wall complete with 75 mm glassfibre insulation. Fix 12.7mm Duplex plasterboard.

SCANNED

PERTH AND KINROSS COUNCIL

DRAWING REF: 12008229

PLUMBING & DRAINAGE

Light gauge copper or stainless steel hot and cold water service pipes. Plumber to size gas boiler, radiators and pipework and install where shown on the drawings. All pipework to be insulated and lagged.

GRAB RAILS

Provide and fix grab rails to disabled toilet.

DRAINAGE

Install 100mm upvc surface water and foul drains complete with rodding eyes to fall of 1:60. Lay underground drainage to above in upvc to fall of 1:60 in 100mm pea gravel with manholes and rodding eyes as required and connect to septic tank or soakaways. All rain water downpipes to discharge into trapped upvc gullies.

Rhones to be 112mm pvc with 68mm pvc downpipes. For manholes 1.5m or less upvc manhole to be 1050mm in diameter. For manholes from 1.5 - 2.7m depth 1.2m diameter required.

Install 100mm pvc complete with balloon and connect up we's, sinks, kitchen appliances, showers and basins with 50mm pvc waste pipes complete with pvc trapped gullies. Showers to have McAlpine or similar accessible shower trap.

A HAS COMBINATION BOILER TO BE LOCATED IN ROOF SPACE - ANY TIMBER TO BE 25mm MINIMUM FROM FLUE. LABEL TO BE STUCK ON BOILER PROVIDING DETAILS OF USE. INSTALL STAINLESS STEEL TWINNED WALL FLUE.

IP-849

EXTERNAL WALLS

Type A - 19mm render on 100mm dense concrete blocks with 12mm cement band 1:3 mix with 50mm cavity and 38 x 89mm studs at 600mm centres maximum. Build in dpc.

Type B, C and D - Build off foundation in 215mm concrete hollow block. Build in movement joints at a maximum of 6.0m centres.

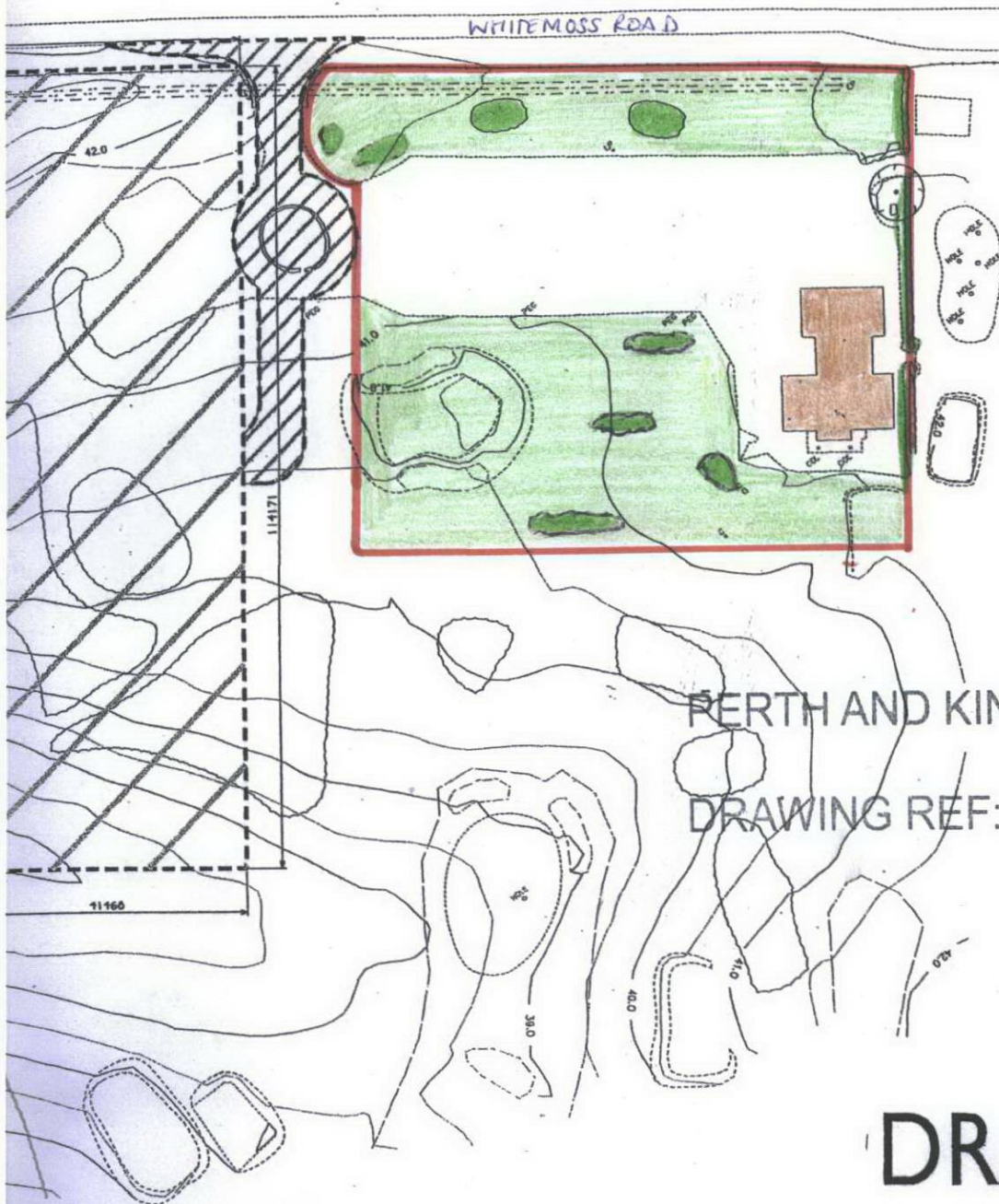
General - Headbinders 89 x 38mm minimum with 9mm sheathing grade plywood with breasting type building paper tied to external leaf with stainless steel wall ties at 600mm centres horizontally and 450mm centres vertically. Cavity ventilated to outside with perpendicular vents at 1200mm centres at top and bottom of external wall. Fit 50 x 50mm firestops with dpc nailed to external face at each corner, around openings and at top of external wall cavity. Fix 12.7mm duplex plasterboard. Install 100mm glassfibre insulation between studs. Build in sills wrapped in dpc.

Type B - 19mm render on 100mm dense concrete blocks 50mm cavity and 38 x 89mm studs at 600mm centres maximum. Build in dpc. As noted above in general section. Fix 19mm lining board on 50 x 25mm battens at 600mm centres.

Type C - 19mm Lining board on 50 x 25mm horizontal battens on 50 x 25mm vertical battens both at 600mm centres on breasting paper on 9mm plywood on 89 x 44mm frame at 600mm centres with 100mm glassfibre insulation between studs and 12.7mm plasterboard with vapour barrier.

Type D - 19mm lining board on 50 x 25mm battens at 600mm centres on 9mm plywood on 89 x 44mm frame at 600mm centres with 100mm glassfibre insulation between studs and 12.7mm plasterboard internal finish.

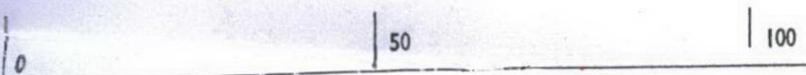
LANDSCAPE PLAN. (SHOWING EXISTING LAWNS, HEDGEROWS & TREES)



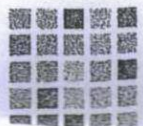
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DRAWING REF: 12/00842/3

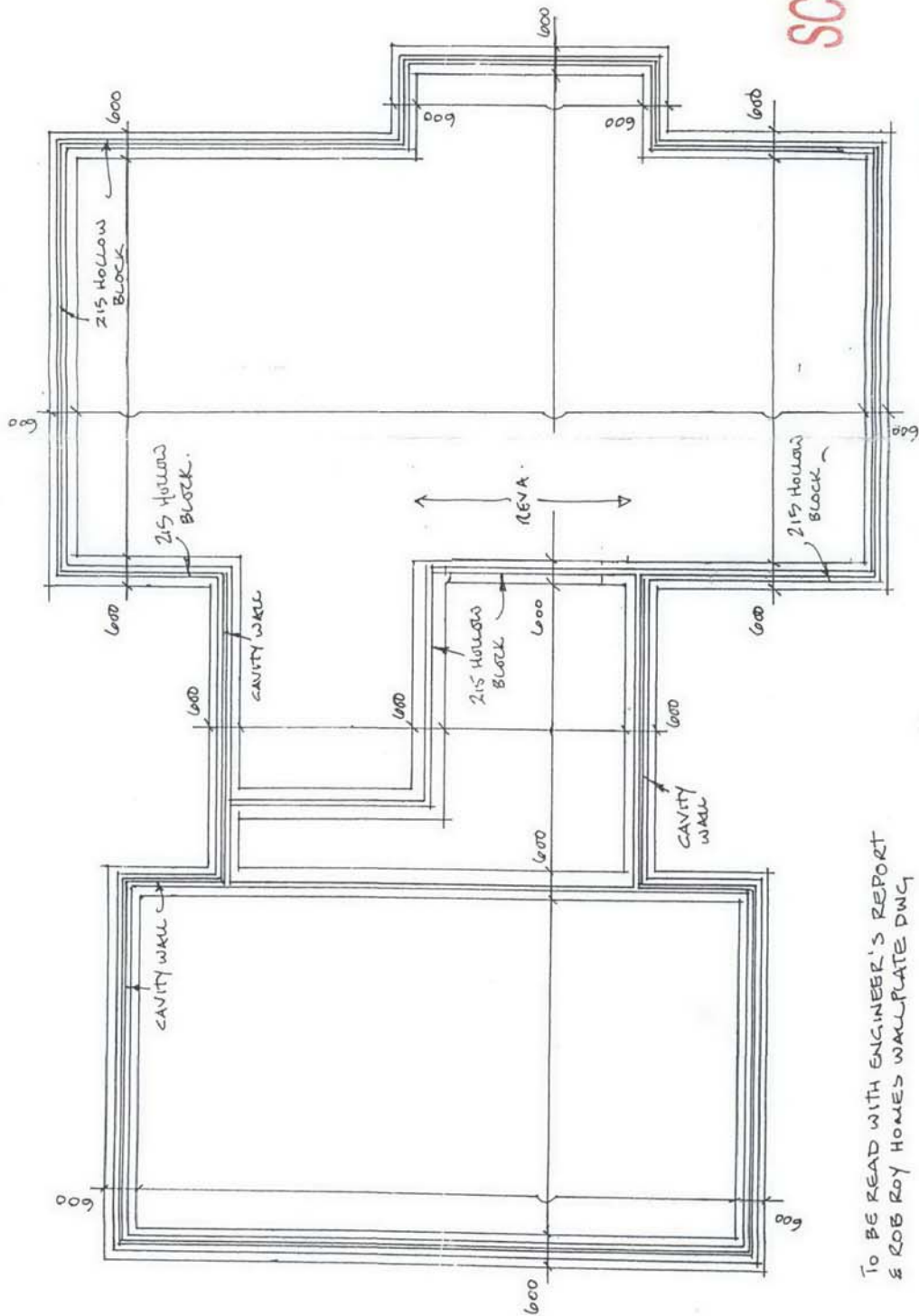
DRAFT



manmcallister



DO NOT SCALE OFF THIS DRAWING.



TO BE READ WITH ENGINEER'S REPORT
 & ROB ROY HOMES WALL PLATE DWG

FOUNDATIONS 600 WIDE x 200 THICK
 MASS CONCRETE STRIP FOUNDATIONS.
 ALL FOUNDATIONS TO BE FORMED ON
 MEDIUM DENSE SANDS OR GRAVELS
 AT A MINIMUM DEPTH OF 600 mm BELOW
 FINISHED EXTERNAL GROUND LEVEL.

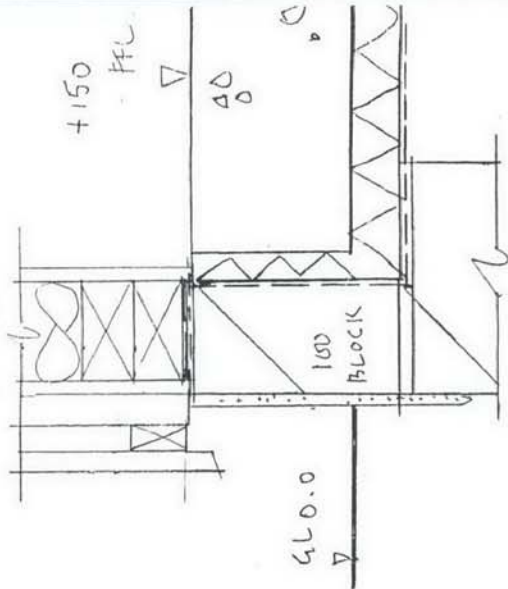
TF-849

PERTH AND KINROSS COUNCIL

DRAWING REF: 12/0084216

SCANNED

OUTSIDE OF SHEATHING
 1/ TO LINE UP WITH OUTSIDE
 OF 215 mm HOLLOW BLOCK.



EDGE DETAIL 1:5 RECEIVED -2

REV. B. Extend building line 26.4.01
 Amend found layout.
 REV. A. Add notes + detail. 21.5.01

JMP Design
 23 VIEWLANDS ROAD
 PERTH PH1 1BL

Tel/Fax 01738 635118

John M Pearson Architect
 Planning Supervisor
 ARIAS Maps

CLIENT
 Whittemoss Leisure Ltd

PROJECT
 Proposed Clubhouse at
 Whittemoss Golf Course, Dunning

DRAWING TITLE
 Proposed Foundation Plan

Scale
 1:100

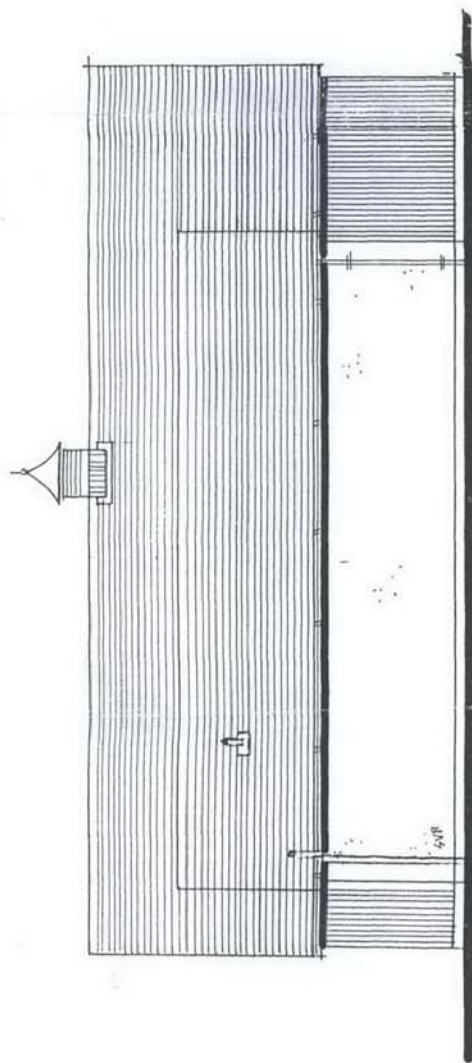
Date
 February, 2001

Drawn by
 Checked

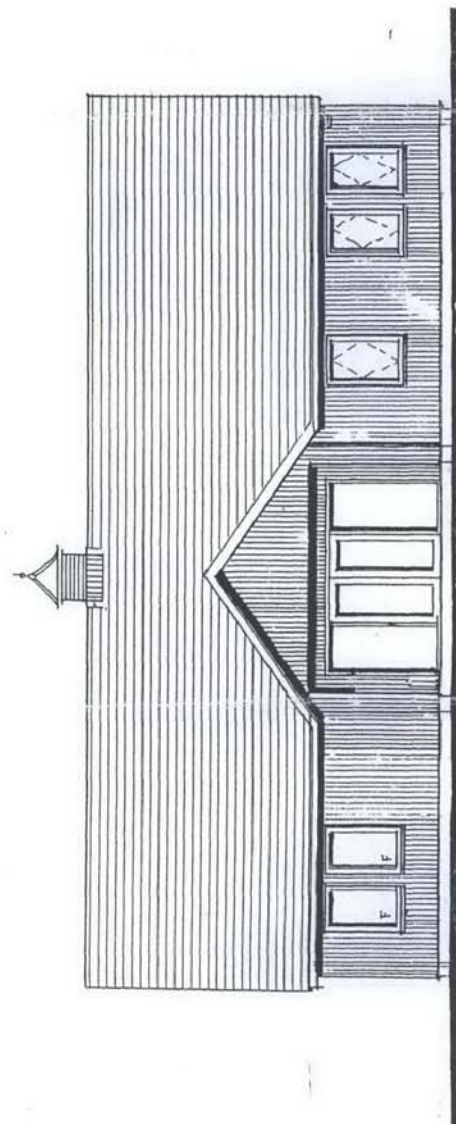
Drawing no.
 0110 / 2

Revision
 B

225V A. Amend South elevation & North elevation.



N O R T H



S O U T H

TF-849

SCANNED

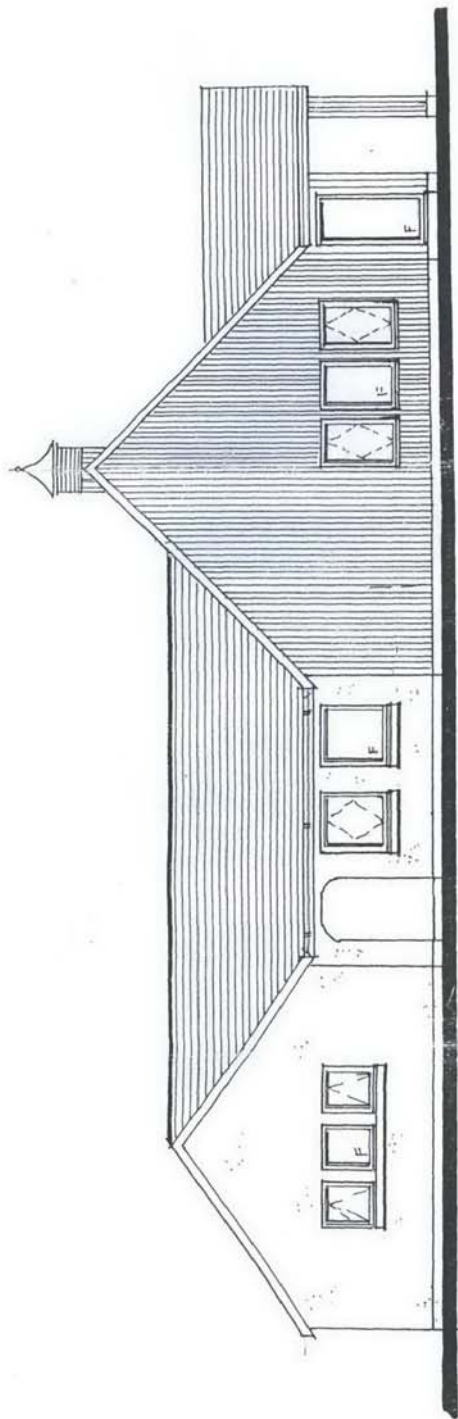
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DRAWING REF: 12/00842/4

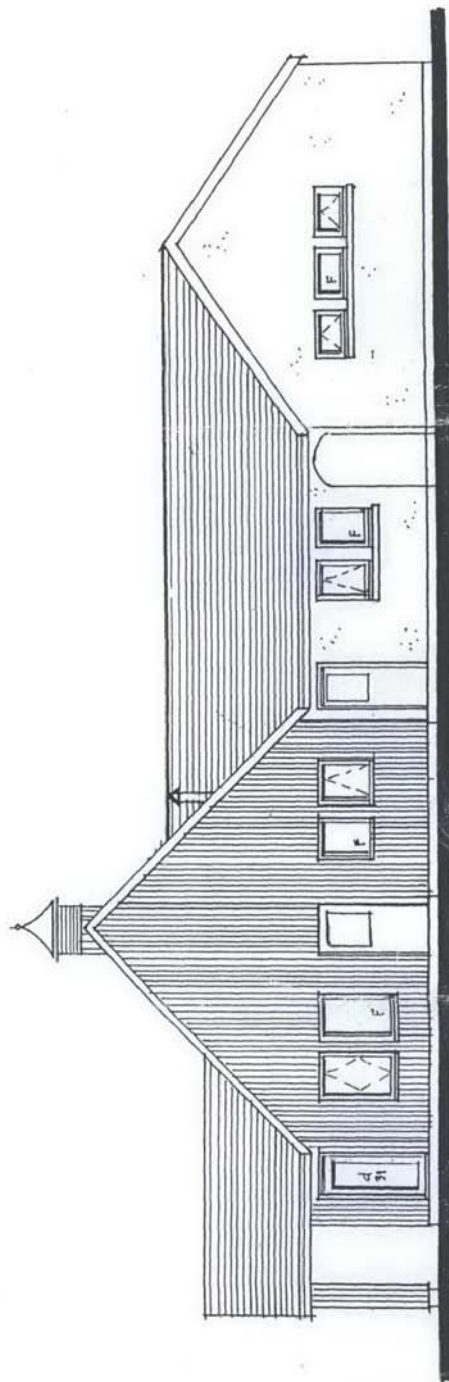
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JMP Design 23 VIEWLANDS ROAD PERTH PH1 1BL Tel/Fax 01738 635118 John M Pearson Architect Planning Supervisor ARIAS Maps	
CLIENT	Whitemoss Leisure Ltd
PROJECT	Proposed Clubhouse at Whitemoss Golf Course
DRAWING TITLE Proposed North & South Elevations	
Scale 1:100	Date March, 2001
Drawn by J	Checked
Drawing no. 0110 / 3	Revision A

REV. A: Gable windows in East Elev.
Add door
28



W E S T



E A S T

SCANNED

TF-849

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DRAWING REF: 12/00862/5

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PERTH PH1 1BL

Tel / Fax 01738 635118

John M Pearson Architect
Planning Supervisor
ARIAS Maps

CLIENT

Whitemoss Leisure Ltd

PROJECT

Proposed Clubhouse at
Whitemoss Golf Course

DRAWING TITLE

Proposed East & West Elevations

Scale

1:100

Drawn by

JP

Checked

Drawing no.

0110 / 4

Revision

A

Date

March, 2001

TCP/11/16(212)

Planning Application 12/00842/FLL – Change of use of existing clubhouse to dwellinghouse at Whitemoss Golf Club, Dunning, PH2 0QX

PLANNING DECISION NOTICE *(included in applicant's submission, see pages 861-862)*

REPORT OF HANDLING *(included in applicant's submission, see pages 863-866)*

REFERENCE DOCUMENTS *(included in applicant's submission, see pages 875-883)*

TCP/11/16(212)

Planning Application 12/00842/FLL – Change of use of existing clubhouse to dwellinghouse at Whitemoss Golf Club, Dunning, PH2 0QX

REPRESENTATIONS

- Representation from Education and Children's Services, dated 18 June 2012

Memorandum

To	Nick Brian Development Quality Manager	From	Gillian Reeves Assistant Asset Management Officer
Your ref	12/00842/FLL	Our ref	GR
Date	18 June 2012	Tel No	(4) 76395

Education & Children's Services

Pullar House, 35 Kinnoull Street, Perth PH1 5GD

Planning Application Ref No 12/00842/FLL

This development falls within the Aberuthven Primary School catchment area.

Based on current information this school will reach the 80% capacity threshold.

Approved capacity	46
Highest projected 7 year roll	41
Potential additional children from previously Approved applications	0.54
Possible roll	41.54
Potential % capacity	90.3%

Therefore I request that the Finalised Primary Education and New Housing Contributions Policy be applied to this application.

Please do not hesitate to contact me should you require any further information.

Support Services is committed to providing a high level of customer service designed to meet the needs and expectations of all who may come into contact with us. Should you have any comments or suggestions you feel may improve or enhance this service, please contact ecssupportservices@pkc.gov.uk

