

<p>LRB-2022-12 21/02213/FLL – Alterations and extension to dwellinghouse, An Tigh Sgoile, Ardtalnaig, Aberfeldy</p>

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LRB-2022-12
21/02213/FLL – Alterations and extension to
dwellingshouse, An Tigh Sgoile, Ardtalnaig, Aberfeldy

**PAPERS SUBMITTED
BY THE
APPLICANT**



Pullar House 35 Kinnoull Street Perth PH1 5GD Tel: 01738 475300 Fax: 01738 475310 Email: onlineapps@pkc.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100515495-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	CASA		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Colin	Building Name:	Treetops
Last Name: *	Smith	Building Number:	
Telephone Number: *	01887 820815	Address 1 (Street): *	Dull
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Aberfeldy
Fax Number:		Country: *	Perthshire
		Postcode: *	PH15 2JQ
Email Address: *	colin@casarchitect.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Other	You must enter a Building Name or Number, or both: *	
Other Title:	Mr and Mrs	Building Name:	An Tigh Sgoile
First Name: *	Chris and Carole	Building Number:	
Last Name: *	Walsh	Address 1 (Street): *	Ardtalnaig
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Aberfeldy
Extension Number:		Country: *	Perthshire
Mobile Number:		Postcode: *	PH15 2HX
Fax Number:			
Email Address: *	colin@casarchitect.co.uk		

Site Address Details

Planning Authority:	Perth and Kinross Council
Full postal address of the site (including postcode where available):	
Address 1:	AN TIGH SGOILE
Address 2:	ARDTALNAIG
Address 3:	
Address 4:	
Address 5:	
Town/City/Settlement:	ABERFELDY
Post Code:	PH15 2HX

Please identify/describe the location of the site or sites

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Northing	739152	Easting	270148
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Demolition of existing extensions and erection of new extension at An Tigh Sgoile, Ardtalnaig

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

See attached Supporting Statement

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Supporting Statement, and Appendix 1, 2, 3 and 4

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

21/02213/FLL

What date was the application submitted to the planning authority? *

20/01/2022

What date was the decision issued by the planning authority? *

18/02/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☐ Yes ☒ No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure *

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

To fully understand location of extension, view from public road and position of boundaries a site visit is essential.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☐ Yes ☒ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

If there are reasons why you think the local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Colin Smith

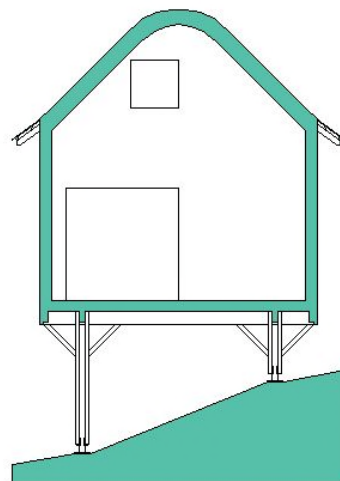
Declaration Date: 06/04/2022

**Alterations and Extension to dwellinghouse
AN TIGH SGOILE
Ardtalnaig
Aberfeldy
PH15 2HX**

For Mr and Mrs Chris and Carole Walsh

Planning Application Reference: 21/02213/FLL

**SUPPORTING STATEMENT to
NOTICE of REVIEW**



casa

colin . andrew . smith . architect
treetops . dull .
aberfeldy . perthshire . PH15 2JQ
01887 820815
colin@casarchitect.co.uk

1. INTRODUCTION

- 1.1. This statement should be read in conjunction with the Notice of Review submitted on behalf of Mr and Mrs Chris and Carole Walsh for the Alterations and Extension to dwellinghouse An Tigh Sgoile, Ardtalnaig, Aberfeldy, PH15 2HX. The planning application, 21/02213/FLL, was refused by Perth and Kinross Council on 18th February 2022.
- 1.2. The proposal sought Planning Permission to remove existing conservatory and dormer and replace with a new two storey extension.
- 1.3. We strongly contest the council's reasons for refusal of the planning application, as it is the applicant's opinion that it complies with Perth and Kinross Councils Local Development Plan 2019 and Placemaking Guide.

2. PERTH AND KINROSS COUNCILS REASON FOR REFUSAL

- 2.1. There are two reasons for refusal and this statement intends to deal with each reason one at a time.
- 2.2. The first reason for refusal states: ***'The proposal, by virtue of its unsympathetic design, excessive proportions and inappropriate massing, would be neither compatible nor complementary to the existing traditional dwellinghouse. Approval would therefore be contrary to the Perth & Kinross Placemaking Guide 2020 and Policies 1A and 1B(c) and (g) of the Perth and Kinross Local Development Plan 2 2019, which seek to ensure that developments contribute positively to the quality of the surrounding built environment in terms of design, proportions, massing and appearance in order to respect the character and amenity of the place.'***
- 2.3. It is the applicants opinion that the proposed design is compatible with the placemaking guide 2019 and LDP2 2019. Policy 1A states ***'Development must contribute positively to the quality of the surrounding built and natural environment. All development should be planned and designed with reference to climate change, mitigation and adaptation. The design, density and siting of development should respect the character and amenity of the place, and should create and improve links within and, where practical, beyond the site. Proposals should also incorporate new landscape and planting works appropriate to the local context and the scale and nature of the development.'***
- 2.4. Policy 1B(c) and (g) states: ***'All proposals should meet all the following placemaking criteria: 1B(c)The design and density should complement its surroundings in terms of appearance, height, scale, massing, materials, finishes and colours. and (g) Existing buildings, structures and natural features that contribute to the local townscape should be retained and sensitively integrated into proposals.'***
- 2.5. The proposals have been designed to primarily deal with the existing unsatisfactory four changes of levels within the house to make it more adaptable in use and safer and as a consequence remove the existing poor additions to the rear of the property. The aesthetic design of the proposals as demonstrated in **Appendix 1** is well considered respecting the existing environment with the re-use of the natural stone from down takings to help blend with the existing building and the neighbouring building. The colours used in the development are suitably recessive. The contrasting architectural form proposed gives good definition as to what is old and what is new allowing the character of the existing building to be highlighted. Improvements have been made to the status quo by removing an architecturally poor existing conservatory addition. The visual impact has been considered in the design and how it will be viewed from the public road with very little change from the existing

building as shown in **Appendix 2**. The proposals therefore contribute positively to the quality of the surrounding built environment and therefore complying with LDP2 Policies and the Placemaking guide.

- 2.6. Notwithstanding the above we would refute the use of LDP2 placemaking policy in determining an extension to an existing house. In close reading of policy 1A and 1B which is placed within section 3.1 of the local plan entitled '**A successful, Sustainable Place**' it is clearly written to regulate wider development issues and not a rear extension to a house. Page 49 to 51 of the Supplementary 2020 Placemaking Guide is more appropriate however as design guidance in section titled '**Householder Applications**'.
- 2.7. The introduction to this section on page 49 says '**An extension to a building can be conceived to either appear as an integral part of the original architecture or, alternatively, it may be of a contemporary or contrasting design. In the former, an extension may go unnoticed. In the latter case the extension would purposefully be different yet aim to be equally compatible and complementary. It is not often appreciated that the best extensions are architecturally attractive in their own right. Both approaches require particular skill and the Council recommends that you seek professional advice from someone trained and experienced in designing buildings. A well designed extension can enhance a property.**
- 2.8. The proposals wholly take account of this section with the design aesthetic being purposefully different to be complimentary as mentioned in paragraph 2.5 above and explained in **Appendix 1**. The extension in its own right has attractive architectural qualities and certainly not unsympathetic with its light floating flat roofs providing an elegant expression. It is different but the placemaking guide as quoted above encourages this solution to design. The applicants have also chosen an Architect with a long track record in well designed buildings. Indeed if you were to visit this site on the approach from Kenmore you will pass, The Boathouses at Achianich, Rock House at Achianich and the new house at Callelochan - between them they have been awarded eight architectural design awards all designed by CASA.
- 2.9. The second reason for refusal considers the Placemaking Guide 2020 specifically. Where it states: ***The proposal, by virtue of the window on the southwest elevation, would introduce unmitigated lines of sight across the neighbouring rear garden from a prominent vantage point, resulting in overlooking, loss of privacy and an adverse impact on residential amenity.*** Approval would therefore be contrary to the Perth & Kinross Placemaking Guide 2020, which states that **Windows should be located to avoid, or otherwise minimise, overlooking adjoining houses and private gardens.**
- 2.10. This reason for refusal clearly demonstrates that the drawings have been read incorrectly and the essential requirement to visit the site. The window in question as seen clearly on the South West elevation in fact overlooks land within the garden ground of the application site. The neighbours boundary which is both fenced and hedged is 7.5m from the window, this does not constitute overlooking. Although the placemaking guide suggests a general distance of 9m it also suggests that this can be reduced where there is adequate screening, as is the case in this application. The boundary screening could also be easily augmented if deemed necessary. Visiting the site would also highlight that the adjoining house has a window directly on the boundary and overlooking the applicants garden.
- 2.11. Looking now at the **Report of Handling** there are a number of statements which have been made which require to be refuted under the Appraisal section of the report.
- 2.12. On page 4 under the section **Design and layout** the report describes the proposals as an '**enlarged extension at ground floor level and an enlarged box dormer window at the upper level**'. This is a misunderstanding, the proposal is a two storey extension and should be considered

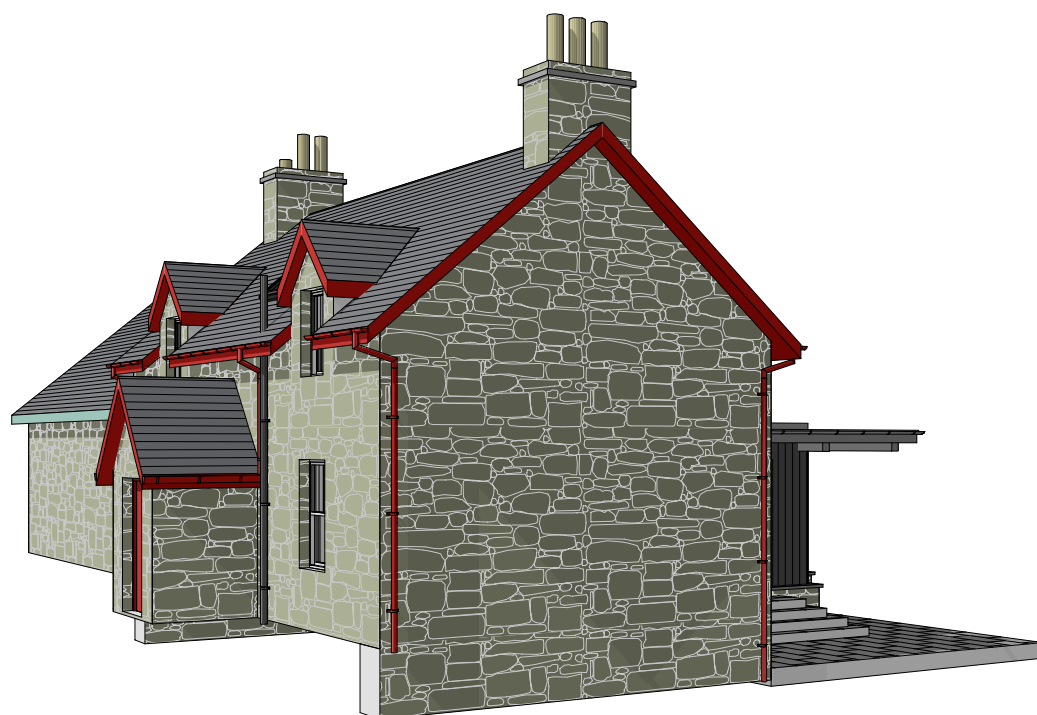
as such, as both upper and lower sections of the extension are inter related in detail and connected physically. This is important as the planning officer under the section '**visual amenity**' discusses in a lot of detail the merits of a dormer by quoting text from the **Placemaking Guide 2020** in particular Page 54 **Roof extensions and Alterations**. The extension should have been wholly considered as a rear two storey extension where it complies with the spirit of the guide as discussed in paragraph 2.8.

- 2.13. Again contrary to the **Placemaking Guide 2020** as quoted in paragraph 2.7 above, the planning officer is contradictory to the ethos of the policy by stating '**the ground floor extension has an appearance which is out of character and out of keeping with the host building**' Contrast between old and new is accepted as a suitable design solution in the **Placemaking Guide 2020**.
- 2.14. The Report then states that '**Whilst an alternative contemporary extension may be acceptable, it would be advisable to drop its floor level to remove the need for such a high under-build and to keep its roof beneath the roofline of the existing house, thereby better respecting the host building.**' As mentioned in paragraph 2.5 one of the driving factors of this design is to remove the four changes in level and make the house more accessible and safer. This has been achieved successfully. The host building is a semi detached house and the adjoining house at its North West Gable has a 1m underbuild exactly the same as the proposed extension due to the nature of the site sloping away from the roadside, the existing conservatory has an underbuild of 500mm. The eaves level of the application house is 1m higher than the ground floor section of the extension, notwithstanding that this requirement is not stated anywhere in design guidance. Indeed the guidance for permitted development allows for eaves lines to be broken for a one storey extension. The report of handling is therefore wrong in its assertions.
- 2.15. The applicants have considered an extension to comply with the Report of Handling suggestion as to an acceptable design solution as stated in 2.14 above, by lowering the extension to avoid any underbuild and not extending at first floor level to maintain the entire addition under the eaves level. Attached is **appendix 3 and 4** which demonstrates how this might look achieving similar accommodation. The proposal in fact complies with permitted development rights. It is the author of this statements opinion that this would be incongruous development with the extension completely enveloping the rear elevation, yet achievable without planning approval. This should be taken into consideration when the LRB determines this review. I hope it is agreed that the well thought through design of the planning proposal which makes the best of the dramatic views, allows for internal accessibility and is dynamic in its architectural expression is a more fitting design than that suggested by the Report of Handling.

3. CONCLUSIONS

- 3.1. The proposed application seeks to build an avant-garde extension to replace a historical architecturally poor conservatory and box dormer and provide the house with level accessible living accommodation.
- 3.2. The applicant is aggrieved that the planning authorities opinion on the design of the proposals is described as incongruous when it has been carefully considered to make the most of its location to the rear of the existing traditional house. It is believed that the Planning Authority has not properly considered the design objectively but simply refused it with a subjective opinion and trying then to make this opinion fit policy. Design is more important than style and the development as proposed is a good fit through the use of complementary contrasting form making, the conservation of the existing house, the considered use of compatible quality materials, the orientation for views out and light in, the consideration of where the extension will be viewed from, the internal spaces to suit modern living, the choice of colour and matching the scale and proportions of the existing building. These are all objective factors considered by the Architect, which combined results in good design. The planning authority is therefore wrong in refusing the application on design grounds.

3D VIEWS OF PROPOSED EXTENSION



View of Proposed Extension from Public Road



Ground storey level
is set back from corner
of host building to reduce
visual impact from public road

The underbuild which is necessary to make the house one level internally has been built in re-used stone to split the elevational material and blend with the host building.

The adjoining house also has underbuild

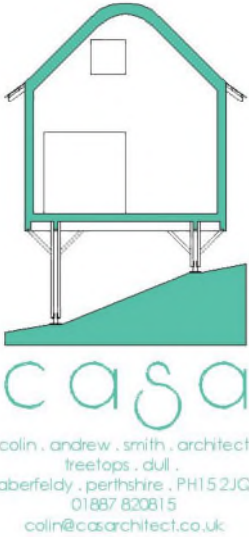
Amendments:

Alterations and Extension to
AN TIGH SGOILE
Ardtalnaig
Aberfeldy
PH15 2HX

for:	
status:	Chris and Carol Walsh
title:	Planning
drawing no:	3D views
scale:	nts @ A4
Date	April 2022

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APPENDIX 2
3D VIEW OF EXISTING CONSERVATORY



The visibility of the existing conservatory is very similar to the proposed extension when viewed from the public road.

VIEW FROM PUBLIC ROAD



View from neighbouring property boundary, note existing window overlooking application garden.



View towards neighbouring boundary fence and hedge.



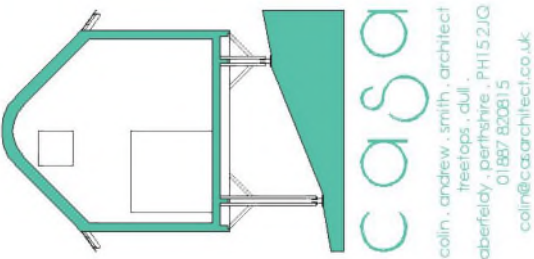
View From North West of existing house in context with neighbouring property

Amendments:

**Alterations and Extension to
AN TIGH SGOILE
Ardtnaig
Aberfeldy
PH15 2HX**

for: Chris and Carol Walsh
status: Survey
title: Existing 3D view
drawing no: 321-02S
scale: nts @ A2
Date: April 2022

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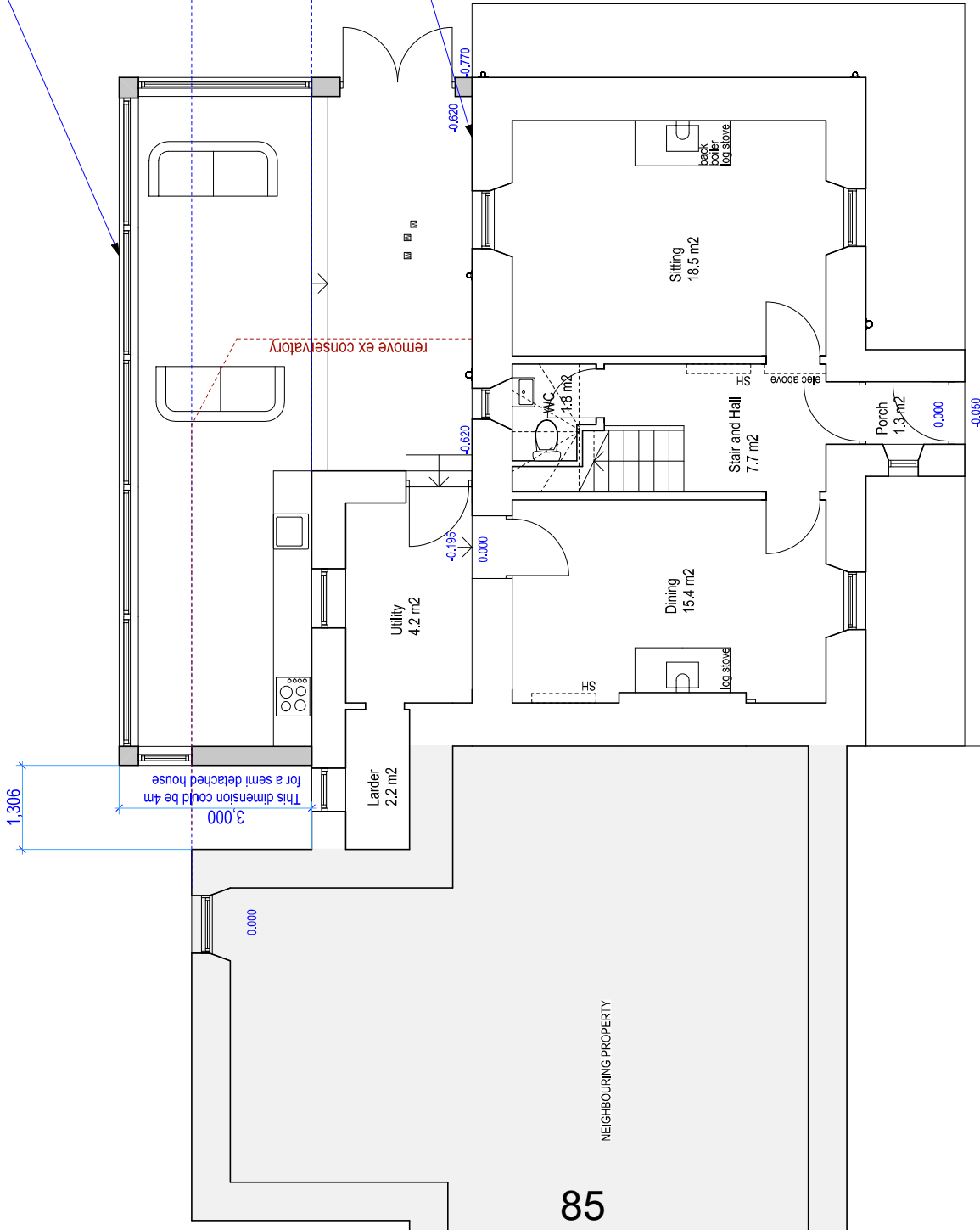


Height of eaves from existing ground level 3m
as required by Permitted development

Existing Building line

Original Building line

Highest point of extension 4m



NEIGHBOURING PROPERTY

85



Scale 1:100 in metres

GROUND FLOOR PLAN OF INDICATIVE EXTENSION UNDER PERMITTED DEVELOPMENT RIGHTS

Footprint of original house (without conservatory) = 80m²

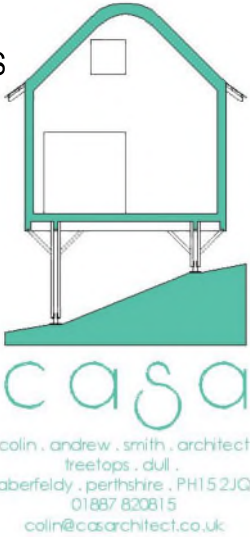
Footprint of indicative one storey permitted development extension = 48m²

Amendments:

**Alterations and Extension to
AN TIGH SGOILE
Ardtnaig
Aberfeldy
PH15 2HX**

for: Chris and Carol Walsh
status: Design
title: INDICATIVE PLAN
drawing no: 321-01D
scale: 1:100 @ A4
Date: April 2022
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3D Views of INDICATIVE EXTENSION DESIGNED WITHIN PERMITTED DEVELOPMENT CONSTRAINTS



VIEW FROM PUBLIC ROAD

Indicative extension highly visible from the public road



VIEW FROM NORTH EAST

Indicative extension envelops rear elevation

Existing box dormer can be replaced like for like
It could also potentially be enlarged within permitted development

Amendments:

Alterations and Extension to
AN TIGH SGOILE
Ardtnaig
Aberfeldy
PH15 2HX

for: Chris and Carol Walsh
status: Design
title: INDICATIVE 3D Views
drawing no: 321-02D
scale: nts @ A4
Date: April 2022

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<p>LRB-2022-12 21/02213/FLL – Alterations and extension to dwellinghouse, An Tigh Sgoile, Ardtalnaig, Aberfeldy</p>

PLANNING DECISION NOTICE

REPORT OF HANDLING

REFERENCE DOCUMENTS



Mr and Mrs Chris and Carole Walsh
c/o CASA
Colin Smith
Treetops
Dull
Aberfeldy
Perthshire
PH15 2JQ

Pullar House
35 Kinnoull Street
PERTH
PH1 5GD

Date of Notice: **18th February 2022**

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT

Application Reference: **21/02213/FLL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to refuse your application registered on 20th January 2022 for Planning Permission for **Alterations and extension to dwellinghouse An Tigh Sgoile Ardtalnaig Aberfeldy PH15 2HX**

David Littlejohn
Head of Planning and Development

Reasons for Refusal

1. The proposal, by virtue of its unsympathetic design, excessive proportions and inappropriate massing, would be neither compatible nor complementary to the existing traditional dwellinghouse.

Approval would therefore be contrary to the Perth & Kinross Placemaking Guide 2020 and Policies 1A and 1B(c) and (g) of the Perth and Kinross Local Development Plan 2 2019, which seek to ensure that developments contribute positively to the quality of the surrounding built environment in terms of design, proportions, massing and appearance in order to respect the character and amenity of the place.

2. The proposal, by virtue of the window on the southwest elevation, would introduce unmitigated lines of sight across the neighbouring rear garden from a prominent vantage point, resulting in overlooking, loss of privacy and an adverse impact on residential amenity.

Approval would therefore be contrary to the Perth & Kinross Placemaking Guide 2020, which states that Windows should be located to avoid, or otherwise minimise, overlooking adjoining houses and private gardens.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

The plans and documents relating to this decision are listed below and are displayed on Perth and Kinross Council's website at www.pkc.gov.uk "Online Planning Applications" page

Plan Reference

01

02

03

04

05

REPORT OF HANDLING

DELEGATED REPORT

Ref No	21/02213/FLL	
Ward No	P4- Highland	
Due Determination Date	19th March 2022	
Draft Report Date	17th February 2022	
Report Issued by	KS	Date 17 th February 2022

PROPOSAL: Alterations and extension to dwellinghouse

LOCATION: An Tigh Sgoile Ardtalnaig Aberfeldy PH15 2HX

SUMMARY:

This report recommends **refusal** of the application as the development is considered to be contrary to the relevant provisions of the Development Plan and there are no material considerations apparent which justify setting aside the Development Plan.

SITE VISIT:

In line with established practices, the need to visit the application site has been carefully considered by the case officer. The application site and its context have been viewed by a variety of remote and electronic means, such as aerial, satellite and StreetView imagery, in addition to photographs submitted by interested parties.

This information has meant that, in this case, it is possible and appropriate to determine this application without a physical visit as it provides an acceptable basis on which to consider the potential impacts of this proposed development.

SITE PHOTOGRAPHS



BACKGROUND AND DESCRIPTION OF PROPOSAL

An Tigh Sgoile is a semi-detached dwellinghouse of traditional design and construction, which is situated in a rural location at Ardtalnaig, highland Perthshire.

The property sits within the designated Loch Tay Local Landscape Area. This application seeks detailed planning permission for alterations and extensions to the rear (northwest) of the house.

SITE HISTORY

None

PRE-APPLICATION CONSULTATION

Pre application Reference: Not Applicable.

NATIONAL POLICY AND GUIDANCE

The Scottish Government expresses its planning policies through The National Planning Framework, the Scottish Planning Policy (SPP), Planning Advice Notes (PAN), Creating Places, Designing Streets, National Roads Development Guide and a series of Circulars.

DEVELOPMENT PLAN

The Development Plan for the area comprises the TAYplan Strategic Development Plan 2016-2036 and the Perth and Kinross Local Development Plan 2 (2019).

TAYplan Strategic Development Plan 2016 – 2036 - Approved October 2017

Whilst there are no specific policies or strategies directly relevant to this proposal the overall vision of the TAYplan should be noted. The vision states *“By 2036 the TAYplan area will be sustainable, more attractive, competitive and vibrant without creating an unacceptable burden on our planet. The quality of life will make it a place of first choice where more people choose to live, work, study and visit, and where businesses choose to invest and create jobs.”*

Perth and Kinross Local Development Plan 2 – Adopted November 2019

The Local Development Plan 2 (LDP2) is the most recent statement of Council policy and is augmented by Supplementary Guidance. The principal policies are:

Policy 1A + 1B: Placemaking

Policy 39: Landscape

The Perth & Kinross Placemaking Guide 2020 states that;

An extension to a building can be conceived to either appear as an integral part of the original architecture or, alternatively, it may be of a contemporary or contrasting design. In the former, an extension may go unnoticed. In the latter case the extension would purposefully be different yet aim to be equally compatible and complementary... Extensions should respect the shape, scale and proportions of the existing building.

An appropriate dormer extension should as a minimum:

- *Be set below the ridgeline of the roof.*
- *Be set back from the wall-head.*
- *Be generally of pitched roof form.*
- *Be physically contained within the roof pitch.*
- *Relate to windows and doors in the lower storey(s) in terms of character, proportion and alignment.*
- *Have the front face predominantly glazed.*
- *Not extend more than half the length of the roof plane.*

CONSULTATION RESPONSES

Scottish Water

No objections – informative note recommended.

REPRESENTATIONS

No letters of representation have been received in relation to this proposal.

ADDITIONAL STATEMENTS

Screening Opinion	EIA Not Required
Environmental Impact Assessment (EIA): Environmental Report	Not Applicable
Appropriate Assessment	Habitats Regulations – AA Not Required
Design Statement or Design and Access Statement	Not Required
Report on Impact or Potential Impact eg Flood Risk Assessment	Not Required

APPRAISAL

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for the area comprises the approved TAYplan and the adopted LDP2.

The determining issues in this case are whether; the proposal complies with development plan policy; or if there are any other material considerations which justify a departure from policy.

Policy Appraisal

Alterations and extensions to an existing domestic dwellinghouse are generally considered to be acceptable in principle. Nevertheless, consideration must be given to the scale, form, massing, design, position, proportions and external finishes of the

proposed development, within the context of the application site, and whether it would have an adverse impact upon visual or residential amenity.

Design and Layout

An Tigh Sgoile is a semi-detached dwellinghouse of traditional design and construction, which is situated in a rural location at Ardtalnaig, highland Perthshire. The property sits within the designated Loch Tay Local Landscape Area. This application seeks detailed planning permission for alterations and extensions to the rear (northwest) of the house.

The existing house has accommodation over two levels, with the upper level contained partly within the roof space. The upper-level accommodation is served by two wall-head dormer windows to the front and one to the rear, with the addition of a cat-slide dormer. A single storey sunroom/porch is also present on the rear elevation.

The proposal seeks to remove the sunroom/porch and cat-slide dormer window and to replace them with an enlarged extension at ground floor level and an enlarged box dormer window at the upper level. The extension would have a stone basecourse, with the walls, dormer face and cheeks being timber clad.

Visual Amenity

Despite having been altered and extended in the past, the traditional character and appearance of the house still prevails, with the sunroom/porch being kept beneath the elongated roofline and the cat-slide dormer's limited projection being kept substantially back from the wall-head.

The proposed dormer window has increased proportions, projecting to the outer limit the elongated roof slope, and being widened to the outer edge of the roof. It also has excessively proportioned glazing compared to the house and a projecting roof trim detail, the combination of which would have an incongruous appearance on this vernacular property. The dormer would have the appearance of a two-storey flat-roofed extension rather than a dormer window in the traditional sense. Its design is unsympathetic, it has excessive proportions and inappropriate massing. Whilst the dormer would constitute a contemporary addition, it is neither compatible with, nor complementary to, the existing traditional dwellinghouse.

Accordingly, approval would be contrary to the Perth & Kinross Placemaking Guide 2020 and Policies 1A and 1B(c) and (g) of the Perth and Kinross Local Development Plan 2 2019, which seek to ensure that developments contribute positively to the quality of the surrounding built environment in terms of design, proportions, massing and appearance, in order to respect the character and amenity of the place.

Similarly, the ground floor extension has an appearance which is out of character and out of keeping with the host building. Whilst an alternative contemporary extension may be acceptable, it would be advisable to drop its floor level to remove the need for such a high under-build and to keep its roof beneath the roofline of the existing house, thereby better respecting the host building.

Landscape

The domestic scale and nature of the proposal does not raise any landscape impact issues and the impact would be limited to a localised level.

Residential Amenity

The residential amenity of the adjoining property would not be adversely affected by the proposed development in terms of overshadowing, given their relative positions, heights and orientations.

However, the proposal introduces a window facing the adjoining property. It would project beyond the neighbouring property's rear gable end and would be oriented towards its back garden, rather than down the rear garden of the application site. As the boundary treatments are insufficient for mitigating the newly introduced lines of sight across the neighbouring rear garden, the proposal would result in overlooking and an adverse impact on residential amenity.

Approval would therefore be contrary to the Perth & Kinross Placemaking Guide 2020, which states that Windows should be located to avoid, or otherwise minimise, overlooking adjoining houses and private gardens.

Developer Contributions

The Developer Contributions Guidance is not applicable to this application and therefore no contributions are required in this instance.

Economic Impact

The economic impact of the proposal is likely to be minimal and limited to the construction phase of the development.

PLANNING OBLIGATIONS AND LEGAL AGREEMENTS

None required.

DIRECTION BY SCOTTISH MINISTERS

None applicable to this proposal.

CONCLUSION AND REASONS FOR DECISION

To conclude, the application must be determined in accordance with the adopted Development Plan unless material considerations indicate otherwise. In this respect, the proposal is considered to be contrary to the Development Plan. Account has been taken of the relevant material considerations and none has been found that would justify overriding the adopted Development Plan. Accordingly the proposal is refused on the grounds identified below.

Reasons

- 1 The proposal, by virtue of its unsympathetic design, excessive proportions and inappropriate massing, would be neither compatible nor complementary to the existing traditional dwellinghouse.

Approval would therefore be contrary to the Perth & Kinross Placemaking Guide 2020 and Policies 1A and 1B(c) and (g) of the Perth and Kinross Local Development Plan 2 2019, which seek to ensure that developments contribute positively to the quality of the surrounding built environment in terms of design, proportions, massing and appearance in order to respect the character and amenity of the place.

- 2 The proposal, by virtue of the window on the southwest elevation, would introduce unmitigated lines of sight across the neighbouring rear garden from a prominent vantage point, resulting in overlooking, loss of privacy and an adverse impact on residential amenity.

Approval would therefore be contrary to the Perth & Kinross Placemaking Guide 2020, which states that Windows should be located to avoid, or otherwise minimise, overlooking adjoining houses and private gardens.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

Informative Notes

Not Applicable.

Procedural Notes

Not Applicable.

PLANS AND DOCUMENTS RELATING TO THIS DECISION

01

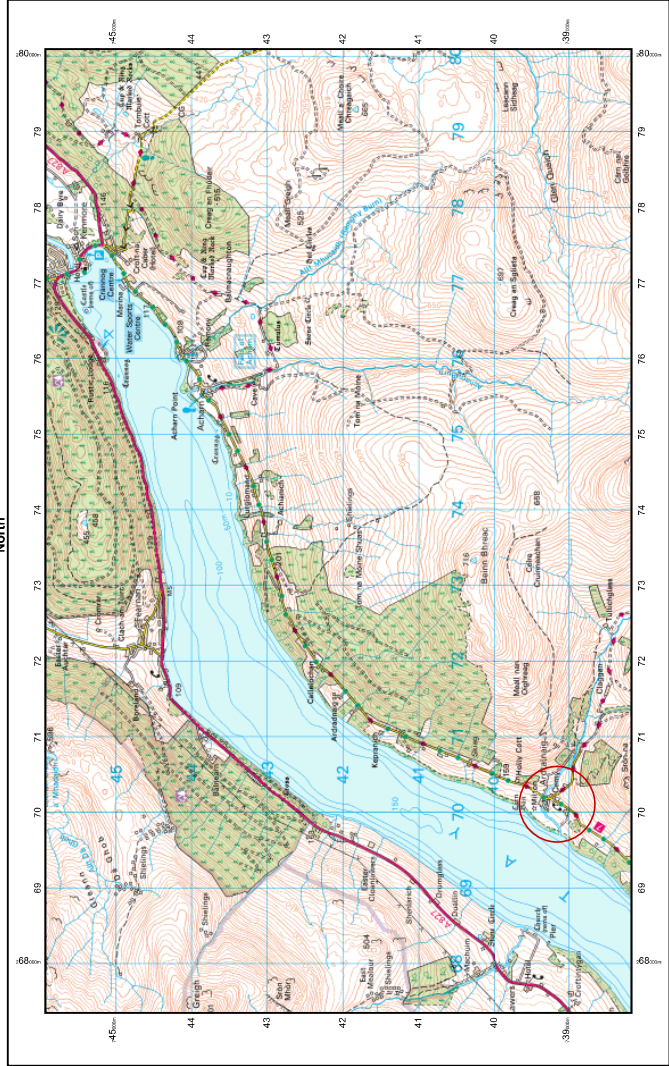
02

03

04

05

321-An Tigh Sgoile-Walsh



The Crown copyright and database right 2022 Ordnance Survey 100048927. The representation of
 road, track or path is no evidence of a boundary or right of way. The representation of features as
 lines is no evidence of a property boundary.

0m 1cm = 500m 2500m
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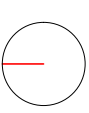
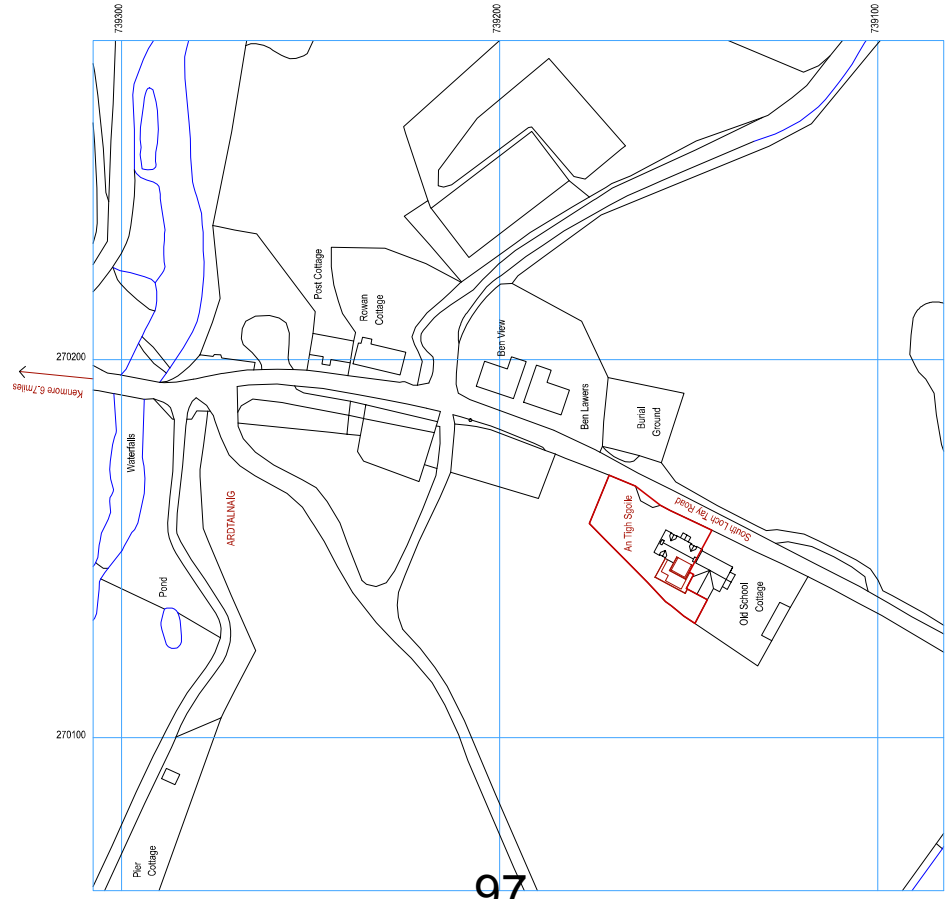
Amendments:
 A-Large Scale Plan added

Alterations and Extension to
 AN TIGH SGOILE

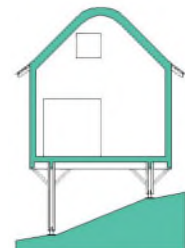
Ardubalg
 Aberdey
 PH13 2TX

Date: 1 January 2022
 Scale: 1:1000 & 1:5000 @ A2
 Location: Plan
 Project: Ardubalg
 Client: CAGA (Cymru) - Cymru (Welsh)

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 Scale 1:1000 in metres

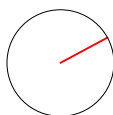


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 01887 620815
 colin@casaarchitect.co.uk

Old School
Cottage

An Tigh Sgoile

South Loch Tay Road

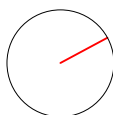


EXISTING SITE PLAN

Old School
Cottage

An Tigh Sgoile

South Loch Tay Road



PROPOSED SITE PLAN

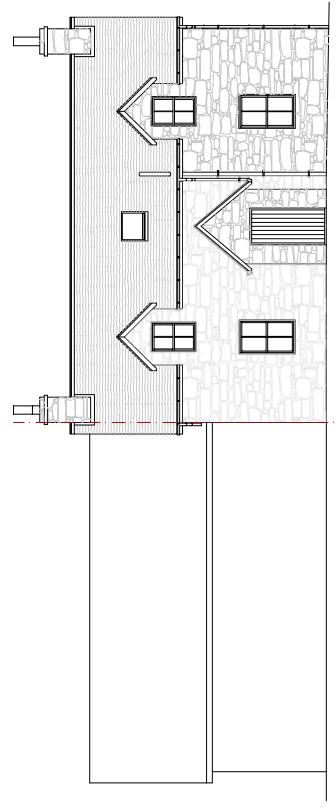


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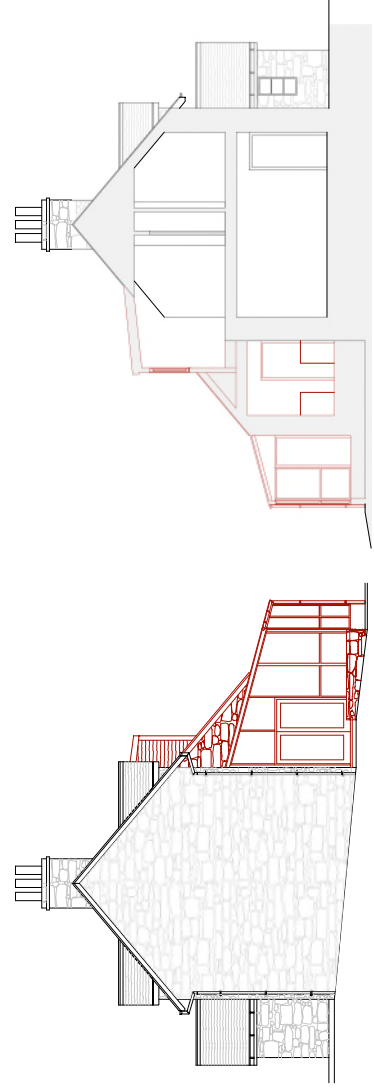
Amendments:
 A-Title block changed

**Alterations and Extension to
 AN TIGH SGOILE
 Ardtalnaig
 Aberfeldy
 PH15 2HX**

for: Chris and Carol Walsh
 status: Planning
 title: Site Plans
 drawing no: 321-03P
 scale: 1:200 @ A3
 Date: December 2021
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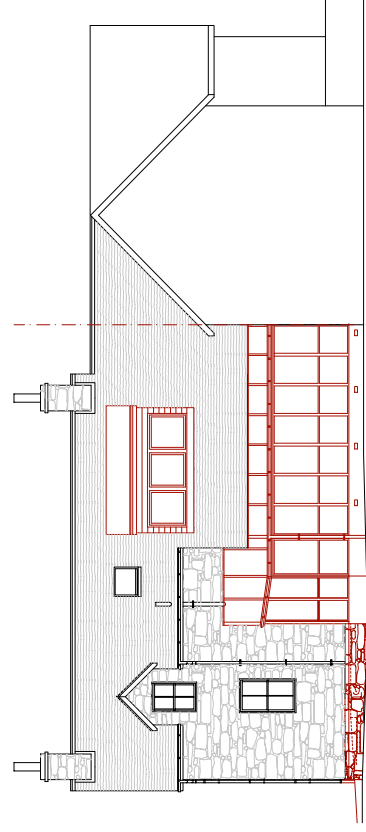


EXISTING SOUTH EAST ELEVATION

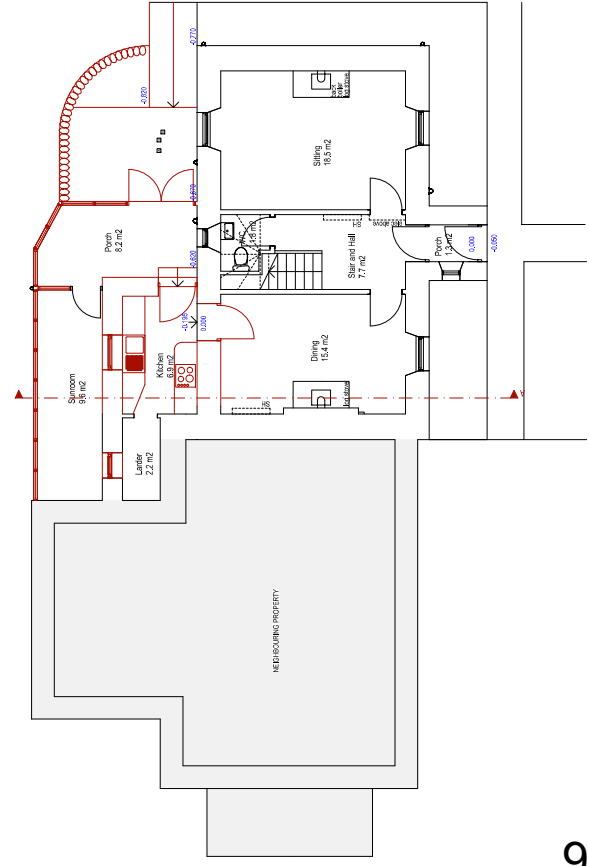


EXISTING NORTH EAST ELEVATION

EXISTING SECTION AA

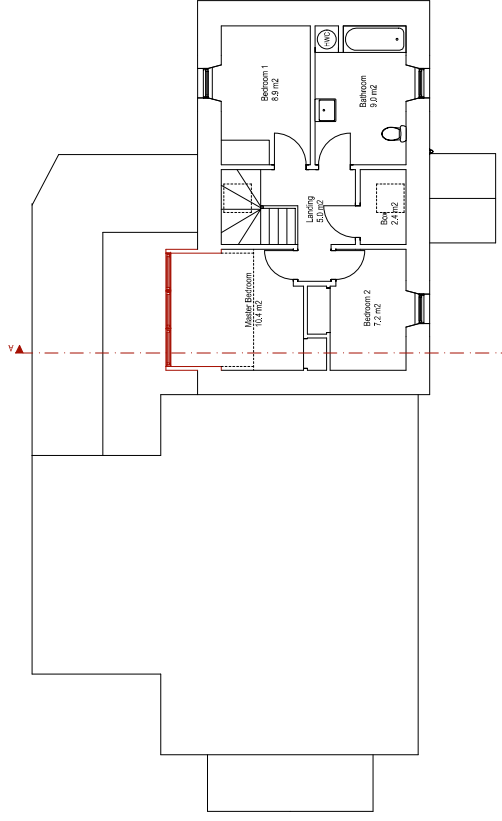


EXISTING NORTH WEST ELEVATION



EXISTING GROUND FLOOR PLAN

PROPOSED DOWNSTAIRS DEPICTED IN RED



EXISTING FIRST FLOOR PLAN



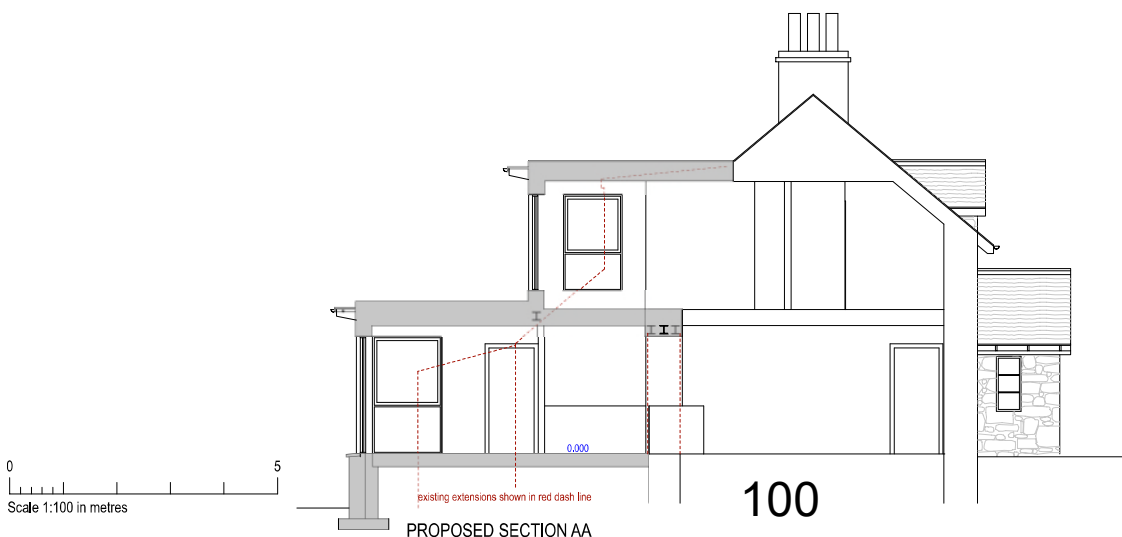
PROPOSED NORTH EAST ELEVATION



PROPOSED NORTH WEST ELEVATION



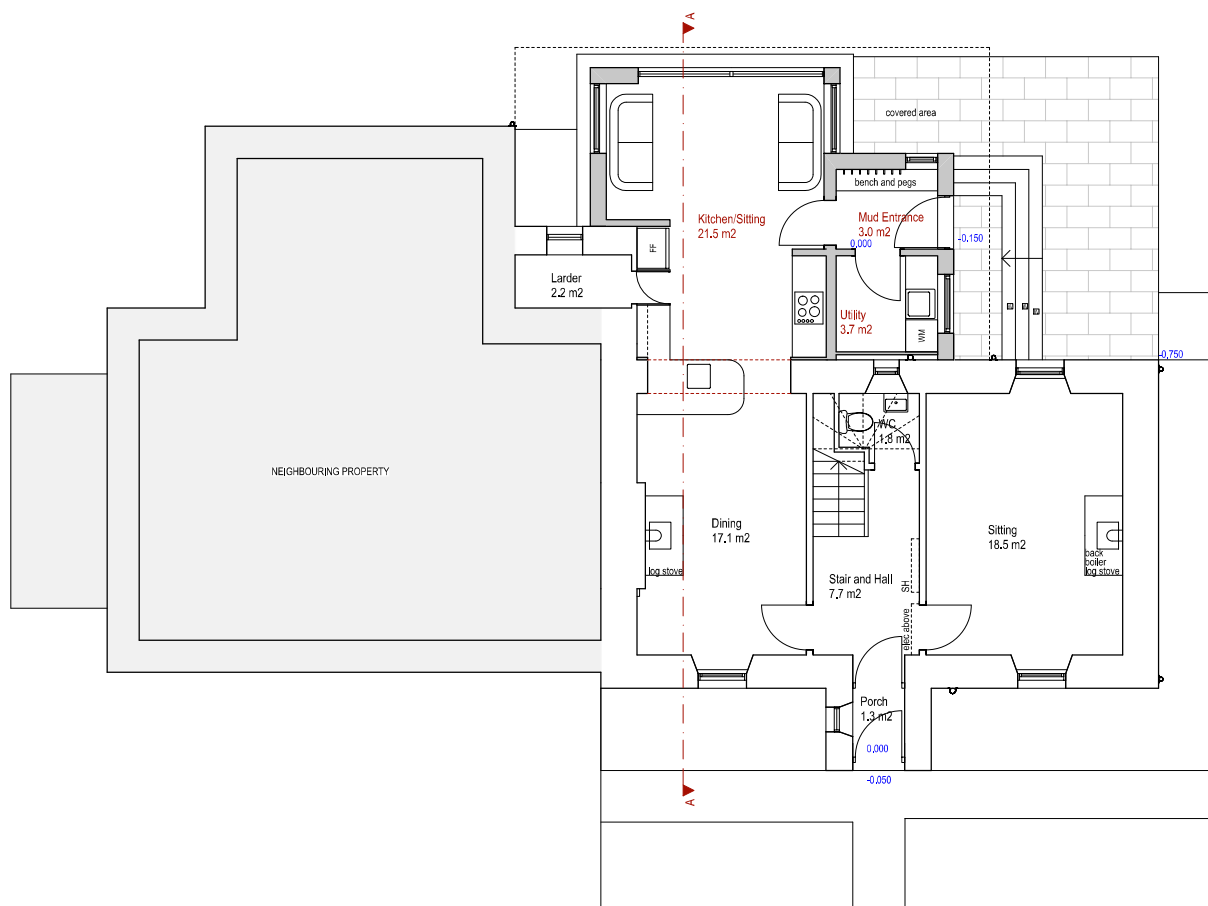
PROPOSED SOUTH WEST ELEVATION



Amendments:

**Alterations and Extension to
 AN TIGH SGOILE
 Ardtalnaig
 Aberfeldy
 PH15 2HX**

for: Chris and Carol Walsh
 status: Planning
 title: Proposed Elevations
 drawing no: 321-02P
 scale: 1:100 @ A3
 Date: December 2021
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PROPOSED GROUND FLOOR PLAN

DESIGN STATEMENT

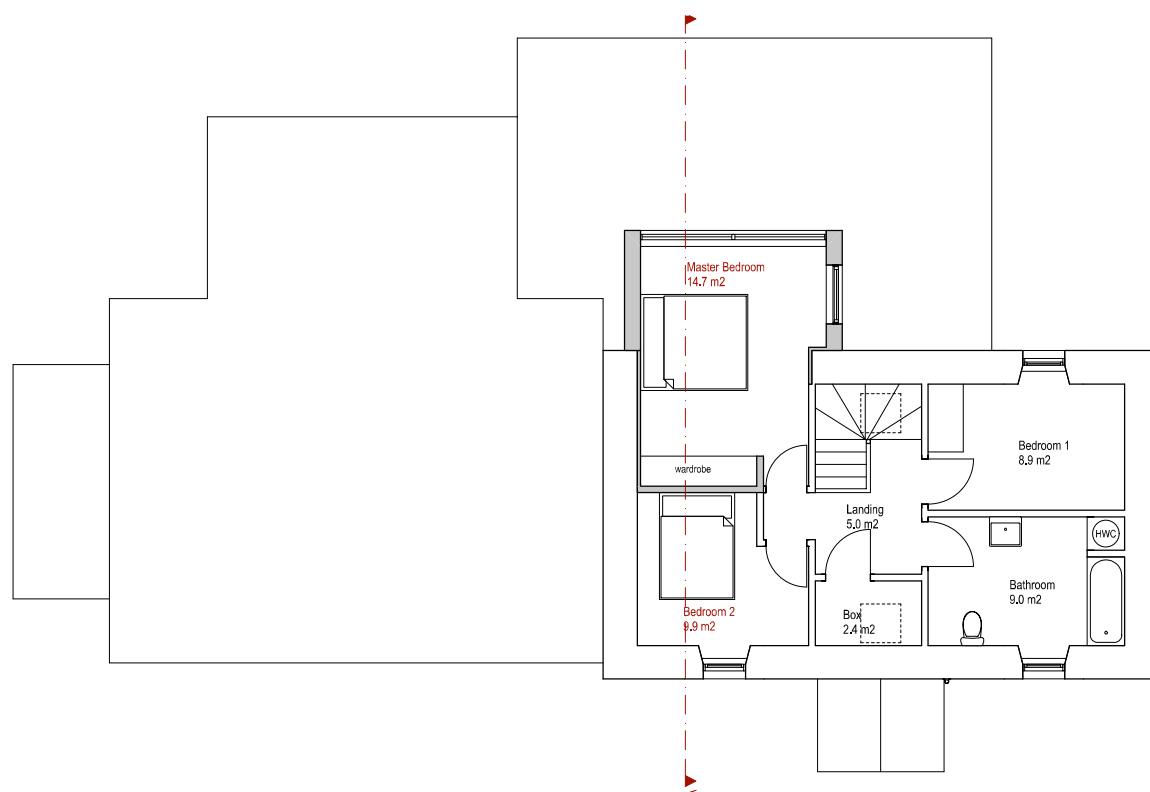
Currently the rear access of this house has four changes of level and a series of small cramped and narrow spaces making it difficult to move around comfortably and dangerous with levels not complying with current building standards. Equally the master bedroom has a dormer window which is at the end of life and in considerable disrepair.

The intention of this design is to remove these changes in levels and consolidate in one area so that the house in use is wholly accessible. At the same time the design integrates the existing accommodation to provide a more desirable open plan living dining kitchen space and a utility/mud entrance necessary for the functionality of a house in a rural location.

The new extension makes best use of the views to Loch Tay and the Lawers range.

During this work it makes sense to also replace the existing poorly constructed dormer whilst at the same time enlarging the master bedroom.

The materials chosen are of high quality and offers more solidity than the conservatory removed ensuring improvements to the thermal performance of the house. The timber cladding proposed is in a recessive grey and a contrast to the stone walls and the fine detailing of the exposed structure echos the structure of the host traditional building.



PROPOSED FIRST FLOOR PLAN

Amendments:

**Alterations and Extension to
AN TIGH SGOILE
Ardtnaig
Aberfeldy
PH15 2HX**

for: Chris and Carol Walsh
status: Planning
title: Proposed Plans
drawing no: 321-01P
scale: 1:100 @ A3
Date: December 2021
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LRB-2022-12
21/02213/FLL – Alterations and extension to
dwellinghouse, An Tigh Sgoile, Ardtalnaig, Aberfeldy

REPRESENTATIONS

Thursday, 27 January 2022



Local Planner
Planning and Development
Perth and Kinross Council
Perth
PH1 5GD

Development Operations
The Bridge
Buchanan Gate Business Park
Cumbernauld Road
Stepps
Glasgow
G33 6FB

Development Operations
Freephone Number - 0800 3890379
E-Mail - DevelopmentOperations@scottishwater.co.uk
www.scottishwater.co.uk



Dear Customer,

An Tigh Sgoile, Ardtalnaig, Aberfeldy, PH15 2HX
Planning Ref: 21/02213/FLL
Our Ref: DSCAS-0057028-79N
Proposal: Alterations and extension to dwellinghouse

Please quote our reference in all future correspondence

Audit of Proposal

I have carried out an audit of the below listed drawings and I'm pleased to confirm that Scottish Water has no objection to the development proceeding.

Please Note

No new connections will be permitted to the public infrastructure. The additional surface water will discharge to the existing private pipework within the site boundary.

General Notes

For all extensions that increase the hard-standing area within the property boundary, you must look to limit an increase to your existing discharge rate and volume. Where possible we recommend that you consider alternative rainwater options. All reasonable attempts should be made to limit the flow.

This response is in relation to the information you have provided. If there are any changes to your proposed development, you may be required to submit the proposed amendments for review.

I trust the above is acceptable however if you require any further information regarding this matter please contact me on **0800 389 0379** or via the e-mail address below.

Yours sincerely,

Pamela Strachan

Planning Team Analyst

planningconsultations@scottishwater.co.uk

Scottish Water Disclaimer:

"It is important to note that the information on any such plan provided on Scottish Water's infrastructure, is for indicative purposes only and its accuracy cannot be relied upon. When the exact location and the nature of the infrastructure on the plan is a material requirement then you should undertake an appropriate site investigation to confirm its actual position in the ground and to determine if it is suitable for its intended purpose. By using the plan you agree that Scottish Water will not be liable for any loss, damage or costs caused by relying upon it or from carrying out any such site investigation."