

TCP/11/16(486) – 17/00735/IPL – Erection of a dwellinghouse (in principle) on land 40 metres South East of Pine Cottage, Bridge of Gaur, Rannoch

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TCP/11/16(486) – 17/00735/IPL – Erection of a dwellinghouse (in principle) on land 40 metres South East of Pine Cottage, Bridge of Gaur, Rannoch

**PAPERS SUBMITTED
BY THE
APPLICANT**

NOTICE OF REVIEW

UNDER SECTION 43A(8) OF THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED) IN
RESPECT OF DECISIONS ON LOCAL DEVELOPMENTS

THE TOWN AND COUNTRY PLANNING (SCHEMES OF DELEGATION AND LOCAL REVIEW PROCEDURE)
(SCOTLAND) REGULATIONS 2013

THE TOWN AND COUNTRY PLANNING (APPEALS) (SCOTLAND) REGULATIONS 2008

**IMPORTANT: Please read and follow the guidance notes provided when completing this form.
Failure to supply all the relevant information could invalidate your notice of review.**

Use BLOCK CAPITALS if completing in manuscript

Applicant(s)

Name STUART REYNOLDS

Address PINE COTTAGE
BRIDGE OF GAUR,
LOCH RANNOCH,
PERTSHIRE.
PH17 2QD

Postcode PH17 2QD

Contact Telephone 1 [REDACTED]

Contact Telephone 2 [REDACTED]

Fax No [REDACTED]

E-mail* [REDACTED]

Agent (if any)

Name [REDACTED]

Address [REDACTED]

Postcode [REDACTED]

Contact Telephone 1 [REDACTED]

Contact Telephone 2 [REDACTED]

Fax No [REDACTED]

E-mail* [REDACTED]

Mark this box to confirm all contact should be
through this representative: ☐

* Do you agree to correspondence regarding your review being sent by e-mail?

Yes ☐ No ☒

Planning authority

PERTH & KINROSS COUNCIL

Planning authority's application reference number

17/00735/1PL

Site address

LAND SOUTH-EAST OF PINE COTTAGE, BRIDGE OF GAUR,
LOCH RANNOCH, PERTSHIRE.

Description of proposed
development

ERECTION OF 3-BEDROOMED DWELLINGHOUSE.
(PLANNING APPLICATION IN PRINCIPLE).

Date of application

27TH APRIL 2017

Date of decision (if any)

26TH JUNE 2017

Note. This notice must be served on the planning authority within three months of the date of the decision
notice or from the date of expiry of the period allowed for determining the application.

Nature of application

1. Application for planning permission (including householder application) ☐
2. Application for planning permission in principle ☒
3. Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission; and/or modification, variation or removal of a planning condition) ☐
4. Application for approval of matters specified in conditions ☐

Reasons for seeking review

1. Refusal of application by appointed officer ☒
2. Failure by appointed officer to determine the application within the period allowed for determination of the application ☐
3. Conditions imposed on consent by appointed officer ☐

Review procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures.

1. Further written submissions ☒
2. One or more hearing sessions ☐
3. Site inspection ☒
4. Assessment of review documents only, with no further procedure ☐

If you have marked box 1 or 2, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing are necessary:

THE TYPEWRITTEN SUBMISSION ILLUSTRATES THAT THE DECISION TO REFUSE THE APPLICATION IS NOT CONSISTENT WITH OTHER PLANNING DECISIONS IN THE AREA AND THAT THE SITE DOES MEET THE REQUIREMENTS OF PLANNING POLICIES. WE HAVE ALSO UNDERTAKEN TO PROVIDE A FULL TREE SURVEY AND IT IS CLEAR THAT THERE WILL BE NO INTERFERENCE WITH ANY TREES.

Site Inspection

In the event that the Local Review Body decides to inspect the review site, in your opinion:

- | | Yes | No |
|--|-------------------------------------|-------------------------------------|
| 1. Can the site be viewed entirely from public land? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Is it possible for the site to be accessed safely, and without barriers to entry? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here:

NO REASONS

Statement

You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. Note: you may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

THE REASONS FOR REQUESTING THE REVIEW ARE AS SET OUT IN THE TYPEWRITTEN STATEMENT ATTACHED.

AN AERIAL PHOTOGRAPH OF THE SITE IS ALSO ATTACHED.

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made?

Yes ☒ No ☐

If yes, you should explain in the box below, why you are raising new material, why it was not raised with the appointed officer before your application was determined and why you consider it should now be considered in your review.

WE ARE WITHDRAWING THE REQUEST FOR PERMISSION TO REMOVE ONE TREE AND HAVE UNDERTAKEN TO PROVIDE A TREE SURVEY. WE HAVE ALSO SUBMITTED AN ADDITIONAL PHOTOGRAPH SHOWING AN AERIAL VIEW OF THE AREA WHICH ILLUSTRATES THAT THE HOUSE SITE IS WITHIN THE EXISTING PATTERN OF DEVELOPMENT AND THAT THE POSITIONING OF THE HOUSE WOULD NOT AFFECT THE VISUAL AMENITY OF THE AREA OR DETRACT FROM THE LANDSCAPE. THE PHOTOGRAPH ALSO SHOWS THAT THE CONSTRUCTION OF NEITHER THE HOUSE NOR ACCESS TRACK WOULD AFFECT ANY TREES.

List of documents and evidence

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review.

- ① TYPEWRITTEN STATEMENT.
 ② AERIAL PHOTOGRAPH OF SITE AND AREA.

Note. The planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

Checklist

Please mark the appropriate boxes to confirm you have provided all supporting documents and evidence relevant to your review:

- ☒ Full completion of all parts of this form
- ☒ Statement of your reasons for requiring a review
- ☒ All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

Note. Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

Declaration

I the applicant/agent [delete as appropriate] hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents.

Signed



Date

17th AUGUST 2017.

We are seeking a review of the application as we do not feel the reasons given for refusal are valid. We feel the undemoted statement illustrates that the site does conform to the guidelines of the Housing in the Countryside Guide and that a site visit would also confirm this.

Condition1

This states that the proposed site does not fall within an established building group .However the planning history shows that the site is within an established group with the site for the existing house (Pine Cottage) having been selected and approved by the planning dept.on that basis.It has also been stated that the distances between properties at the Pine Cottage site are too great to be part of an established building group but as stated in the planning application permission for 2 houses on a neighbouring site at Bridge of Gaur has recently been granted where the distances between properties are significantly greater than those at the Pine Cottage site and this shows that the Pine Cottage site is in line with the existing pattern of development and within the established grouping. We have not received any explanation as to why the neighbouring site has been confirmed to be part of the established building group or why the Pine Cottage site should be excluded.

Condition 2

With regard to site topography the new house uses an identifiable site, with a group of mature trees and a slope forming an immediate backdrop and also meets all the other siting criteria listed at the end of section 3 in the Housing in the Countryside Guide 2012.The architect preparing the site and house plans has written to confirm that he is certain that this is the case. As part of an established group we do not feel the proposed house should be described as "ad hoc" development.

With regard to climate change mitigation the detailed house plans submitted with the application show that the house has been designed with deference to this, incorporating an extensive 4KW solar panel system. The house has also been designed in keeping with the style and size of neighbouring properties.

Condition3 (Policy NE1B)

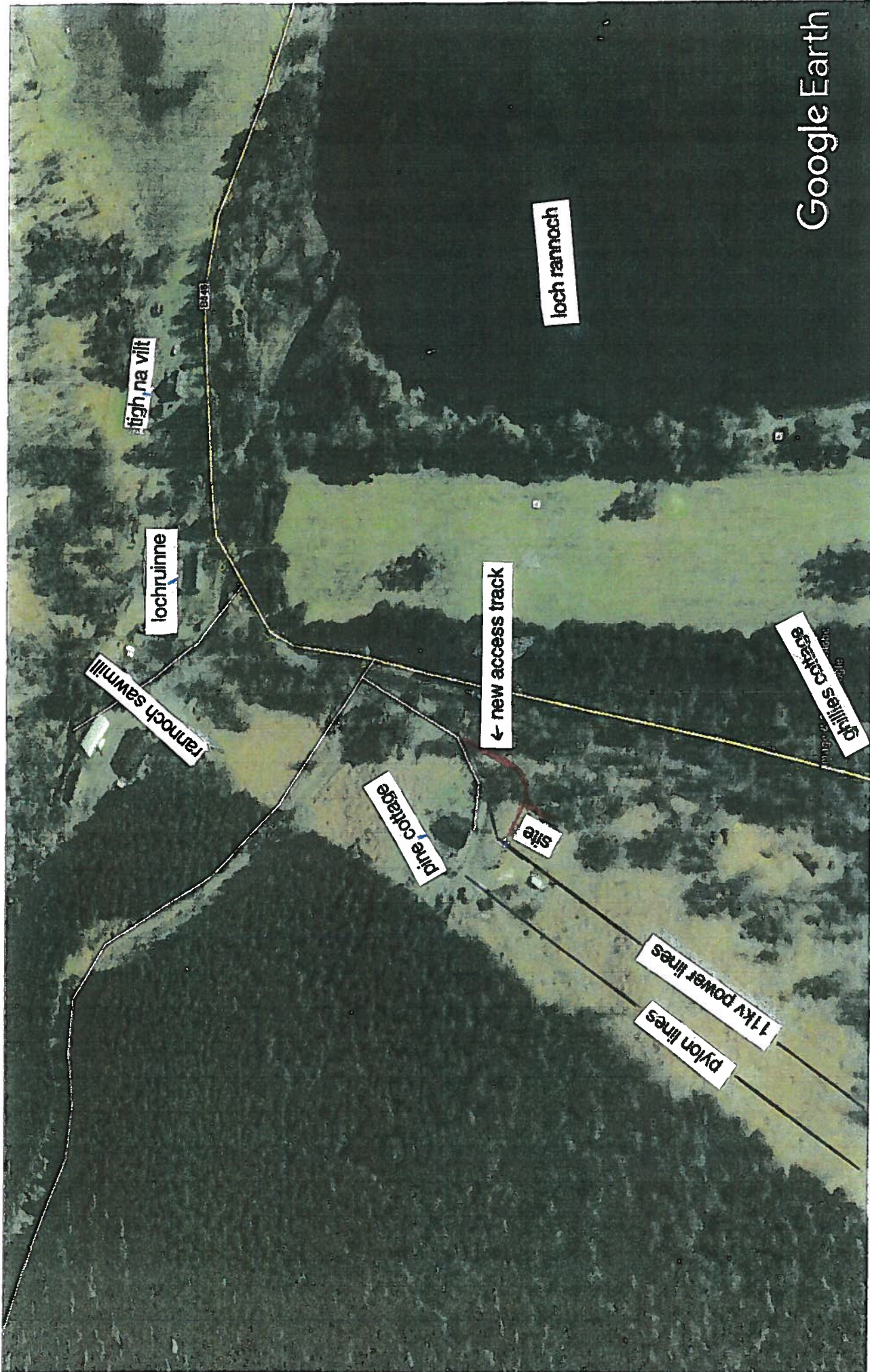
As the attached aerial photograph shows the house will sit behind the tree line and would therefore not detract from the visual amenity of the area or affect the quality of the landscape. The architect in the case also agrees with this view and an inspection of the site would confirm this.

Condition4 (Policy NE2B)

The aerial photograph of the site also shows that there is more than sufficient space for both the construction of the house and access road to be undertaken without causing any interference to the trees on site and an inspection would again verify this.With regard to a tree survey we have never at any stage been requested to submit this but we undertake to provide a full survey prepared by a suitably qualified person, the nature of the survey being agreed in advance with the council, and we understand that this would be a stipulated condition of an approval in principle.

With regard to the removal of one tree referred to in the planning application while this would be convenient it is not essential and as indicated to the planning officer on her field visit it would simply mean moving the site 3/4 metres closer to Pine Cottage which would mean the tree would not encroach on the site or require to be removed or trimmed. To accommodate moving the site we would arrange for Scottish and Southern Energy to re-position the power line adjacent to the site and as advised to the planning officer this would not be an issue as we have previously had the line moved to enable Pine Cottage to be constructed. Thus,as stated above, no woodland resources would be compromised.We would also add in this regard that approximately eighty conifers have been added in the immediate vicinity of the site in recent years and have served to enhance the woodland aspect of the area.

We believe that the information given above confirms that the site is a suitable one within the terms of the Housing in the Countryside Guide and related policies and that a site inspection would support this.



Google Earth



Google Earth

TCP/11/16(486) – 17/00735/IPL – Erection of a dwellinghouse (in principle) on land 40 metres South East of Pine Cottage, Bridge of Gaur, Rannoch

PLANNING DECISION NOTICE

REPORT OF HANDLING

REFERENCE DOCUMENTS

PERTH AND KINROSS COUNCIL

Mr Stuart Reynolds
Pine Cottage
Bridge Of Gaur
Loch Rannoch
By Pitlochry
PH17 2QD

Pullar House
35 Kinnoull Street
PERTH
PH1 5GD

Date 21st June 2017

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT

Application Number: **17/00735/IPL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to refuse your application registered on 27th April 2017 for permission for **Erection of a dwellinghouse (in principle) Land 40 Metres South East Of Pine Cottage Bridge Of Gaur Rannoch** for the reasons undernoted.

Interim Head of Planning

Reasons for Refusal

1. The proposal is contrary to Policy RD3 Housing in the Countryside of the Perth and Kinross Local Development Plan 2014 and the Council's Housing in the Countryside Guide 2012 as the proposal fails to satisfactorily comply with category (1) Building Groups. It is also considered that the proposal cannot satisfy any of the remaining categories (2) Infill Sites, (3) New Houses in the Open Countryside, (4) Renovation or Replacement of Houses, (5) Conversion or Replacement of Redundant Non Domestic Buildings, or (6) Rural Brownfield Land.
2. The proposal is contrary to policy PM1A, Placemaking, of the Perth and Kinross Local Development Plan 2014 as it would not contribute positively to the built or natural environment. It is also contrary to policy PM1B a) and b). In particular in terms of PM1a) it would create further sporadic, ad hoc development that b) has no respect for the site topography or the wider landscape of the area.

3. The proposal is contrary to policy NE1B, National Designations, of the Perth and Kinross Local Development Plan 2014 which seeks to protect the quality and character of an area designated as being of national scenic importance. The construction of a house in this naturally wooded area within the Loch Rannoch and Glen Lyon National Scenic area would further erode the quality and landscape character for which it has been designated.
4. The proposal is contrary to policy NE2B, Forestry, Woodland and Trees, of the adopted Perth and Kinross Local Development Plan 2014 which states that there is a presumption in favour of protecting woodland resources. The policy also requires a tree survey to be provided where there are existing trees on a development site. No tree survey has been submitted to demonstrate that the site can be developed without having an adverse impact on existing trees.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan

The plans relating to this decision are listed below and are displayed on Perth and Kinross Council's website at www.pkc.gov.uk "Online Planning Applications" page

Plan Reference

17/00735/1

17/00735/2

17/00735/3

17/00735/4

17/00735/5

17/00735/6

17/00735/7

17/00735/8

17/00735/9

17/00735/10

REPORT OF HANDLING

DELEGATED REPORT

Ref No	17/00735/IPL	
Ward No	N4- Highland	
Due Determination Date	26.06.2017	
Case Officer	Persephone Beer	
Report Issued by		Date
Countersigned by		Date

PROPOSAL: Erection of a dwellinghouse (in principle)

LOCATION: Land 40 Metres South East Of Pine Cottage Bridge Of
Gaur Rannoch

SUMMARY:

This report recommends **refusal** of the application as the development is considered to be contrary to the relevant provisions of the Development Plan and there are no material considerations apparent which justify setting aside the Development Plan.

DATE OF SITE VISIT: 15 May 2017

SITE PHOTOGRAPHS



BACKGROUND AND DESCRIPTION OF PROPOSAL

Planning permission is sought for the erection of a detached single storey dwellinghouse on a site 40 metres to the south east of Pine Cottage, Bridge of Gaur. The application is in principle only with indicative drawings being submitted to give an indication of the applicant's possible future intentions for the design of a dwellinghouse on the site.

Pine Cottage is a detached bungalow constructed over 10 years ago. Whilst this application is in principle the applicant has submitted indicative drawings of a proposed property of similar appearance to Pine Cottage located to the south east of the existing property. The site measures around 0.44 hectares and is within a strip of deciduous woodland around 100metres wide that continues to the south of the site. The only defined boundary is along the east of the site along the public road. There are no defined boundaries to north, south or west. A line of overhead electric wires run to the west of the site with more open ground to the west of that. The proposed house site is on a small, sloping area largely cleared of trees but very much a part of the mixed deciduous wooded area which is an important feature of this part of Loch Rannoch. The red line site boundary is shown as bordering the B846 public road that runs along the northern shores of Loch Rannoch. The site is accessed initially off an existing track that also serves Pine Cottage although around 50 metres of new track will be constructed through the woodland to access the proposed new house. The existing area of deciduous woodland is shown as becoming garden ground for the new house which would slope steeply down towards the public road. The site is within the Loch Rannoch and Glen Lyon National Scenic Area.

SITE HISTORY

02/00853/FUL Erection of dwellinghouse at 19 September 2002 Application Refused

02/01068/FUL Erection of a dwellinghouse on 26 July 2002 Application Withdrawn

03/00077/FUL Erection of a dwellinghouse (Resubmission 02/00853/FUL) at 11 March 2003 Application Permitted

17/00359/FLL Erection of a dwellinghouse 23 March 2017

PRE-APPLICATION CONSULTATION

Pre application Reference: 16/00365/PREAPP Advised against submitting a planning application for the proposed development as it would not be supported.

NATIONAL POLICY AND GUIDANCE

The Scottish Government expresses its planning policies through The National Planning Framework, the Scottish Planning Policy (SPP), Planning Advice Notes (PAN), Creating Places, Designing Streets, National Roads Development Guide and a series of Circulars.

DEVELOPMENT PLAN

The Development Plan for the area comprises the TAYplan Strategic Development Plan 2012-2032 and the Perth and Kinross Local Development Plan 2014.

TAYplan Strategic Development Plan 2012 – 2032 - Approved June 2012

Whilst there are no specific policies or strategies directly relevant to this proposal the overall vision of the Tay Plan should be noted. The vision states *“By 2032 the TAYplan region will be sustainable, more attractive, competitive and vibrant without creating an unacceptable burden on our planet. The quality of life will make it a place of first choice, where more people choose to live, work and visit and where businesses choose to invest and create jobs.”*

Perth and Kinross Local Development Plan 2014 – Adopted February 2014

The Local Development Plan is the most recent statement of Council policy and is augmented by Supplementary Guidance.

The principal policies are, in summary:

Policy PM1A - Placemaking

Development must contribute positively to the quality of the surrounding built and natural environment, respecting the character and amenity of the place. All development should be planned and designed with reference to climate change mitigation and adaption.

Policy PM1B - Placemaking

All proposals should meet all eight of the placemaking criteria.

Policy PM3 - Infrastructure Contributions

Where new developments (either alone or cumulatively) exacerbate a current or generate a need for additional infrastructure provision or community facilities, planning permission will only be granted where contributions which are reasonably related to the scale and nature of the proposed development are secured.

Policy RD3 - Housing in the Countryside

The development of single houses or groups of houses which fall within the six identified categories will be supported. This policy does not apply in the Green Belt and is limited within the Lunan Valley Catchment Area.

Policy NE1B - National Designations

Development which would affect a National Park, National Scenic Area, Site of Special Scientific Interest or National Nature Reserve will only be permitted where the integrity of the area or the qualities for which it has been designated are not adversely affected or any adverse impacts are clearly outweighed by benefits of national importance.

Policy NE2B - Forestry, Woodland and Trees

Where there are existing trees on a development site, any application should be accompanied by a tree survey. There is a presumption in favour of protecting woodland resources. In exceptional circumstances where the loss of individual trees or woodland cover is unavoidable, mitigation measures will be required.

OTHER POLICIES

Developer Contributions Supplementary Guidance

Housing in the Countryside Guide

Scotland's Scenic Heritage – Countryside Commission for Scotland 1978.

Document identifying National Scenic Areas and their characteristics. Shores of Loch Rannoch are noted for being richly wooded with pine, birch, oak, ash, larch, chestnut, holly, alder, cypress and juniper.

CONSULTATION RESPONSES

Transport Planning

Verbal response – no objections.

Environmental Health

Conditions and informative notes required with regard to private water supply and the safeguarding of existing septic tanks and soakaways.

Contributions Officer

The Council Developer Contributions Supplementary Guidance requires a financial contribution towards increased primary school capacity in areas where a primary school capacity constraint has been identified. A capacity constraint is defined as where a primary school is operating, or likely to be operating following completion of the proposed development and extant planning permissions, at or above 80% of total capacity.

This proposal is within the catchment of Kinloch Rannoch Primary School.

A condition is required to be attached to any consent to ensure that any future development is in accordance with the Council's developer contributions policy with particular regard to securing a contribution towards primary education provision.

REPRESENTATIONS

There have not been any objections received in relation to this application.

ADDITIONAL STATEMENTS RECEIVED:

Environment Statement	Not Required
Screening Opinion	Not Required
Environmental Impact Assessment	Not Required
Appropriate Assessment	Not Required
Design Statement or Design and Access Statement	Not Required
Report on Impact or Potential Impact eg Flood Risk Assessment	Not Required

APPRAISAL

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for the area comprises the approved TAYplan 2012 and the adopted Perth and Kinross Local Development Plan 2014.

The determining issues in this case are whether; the proposal complies with development plan policy; or if there are any other material considerations which justify a departure from policy.

Policy Appraisal

The site lies within the landward area within the adopted Perth and Kinross Local Development Plan 2014 where Policy RD3: Housing in the Countryside and its associated Housing in the Countryside Guide (2012) applies.

The Housing in the Countryside Guide lists the relevant categories of development where new housing development may be acceptable. These are:

- (a) Building Groups.
- (b) Infill sites.
- (c) New houses in the open countryside on defined categories of sites as set out in section 3 of the Supplementary Guidance.
- (d) Renovation or replacement of houses.
- (e) Conversion or replacement of redundant non-domestic buildings.
- (f) Development on rural brownfield land.

This policy does not apply in the Green Belt and its application is limited within the Lunan Valley Catchment Area to economic need, conversions or replacement buildings.

The applicant has suggested that the site falls within a building group and relates to the pattern of development in the area. However a building group is defined as 3 or more buildings of a size at least equivalent to a traditional cottage. In this case Pine Cottage is the only existing building in the immediate vicinity of the proposed site with other properties to the north and south over 160 metres away. As such the proposed site does not form part of an existing building group as defined in the policy and cannot comply with the 'Building Groups' category of the policy and guide.

The proposal also fails to comply with the requirements of any of the other categories of development so is fundamentally regarded as an inappropriate form of residential development in the countryside.

The site is also within a National Scenic Area. These areas are designated as being of national scenic significance and Scottish Natural Heritage (SNH) advises that planning authorities should take particular care to ensure that new development in or adjacent to an NSA does not detract from the quality or character of the landscape. They should also ensure that the scale, siting and design of such development are appropriate and that the design and landscaping are of a high standard. In this case the siting of a house in an elevated position in an area of broad leaved woodland is likely to detract from the character of the landscape.

Policies PM1 A and B of the Local Development Plan 2014 also seek to ensure that any development must contribute positively to the surrounding built and natural environment. The proposal for a house on this site is likely to detract from the natural environment and would not contribute positively to it. In particular PM1B a) requires proposals to create a sense of identity by developing a coherent structure of streets, spaces, and buildings, safely accessible from its surroundings and b) consider and respect site topography . . . and the wider landscape character of the area". For reasons set out elsewhere in this report this proposal would be contrary to Policies PM1 A and B a) and b).

The proposal is also considered to be contrary to policy NE2B, Forestry, Woodland and Trees. There is a presumption in favour of protecting woodland resources and tree surveys are required for applications on sites where there are existing trees.

Design and Layout

The proposal is in principle although an indicative design and layout has been submitted for a single storey detached bungalow with a footprint of around 120 square metres finished with slate roof and white wet dash walls.

Landscape

The site is within the Loch Rannoch and Glen Lyon National Scenic Area. The indicative house site is shown as being in a small area cleared of trees which is part of a wider wooded area of predominantly broadleaf trees. The indicative site plans show that one "damaged" tree will be removed. This tree is of considerable age and would be valuable in terms of biodiversity. Limited information with regard to the existing trees on the site has been provided. More information on the impact on any trees would be required if a detailed submission were to be made. I would also note that under policy NE2B, Forestry, Woodland and Trees, of the Local Development Plan a tree survey is required for any site where there are existing trees. The proposal is therefore contrary to this policy. This type of wooded landscape is characteristic of this part of the National Scenic Area and was one of the reasons for the original designation of the area. The construction of a house in this wooded area would further erode the quality and character of the landscape in this area and would be contrary to policy NE1B, National Designations, which seeks to protect the quality and character of an area designated as being of national scenic importance.

Residential Amenity

The proposed house site is located over 30 metres from the closest residential property and as such is unlikely to impact on residential amenity although this would be fully assessed if a detailed proposal is submitted.

Visual Amenity

The proposal is only in principle. A full assessment will be made should a detailed proposal be submitted.

Roads and Access

The proposals would partly utilise an existing vehicular access shared with Pine Cottage. I have received a verbal response from Transport Planning. There are no concerns with the access arrangements from a transport planning perspective although the proposed extension to the track to access the new house could have an adverse impact on the existing wooded area.

Drainage and Flooding

The site is not in an area subject to flooding.

Private drainage arrangements will be made. Further details of this would be required should a full application be submitted.

Environmental Health has requested that a condition and informative notes be added to any consent with regard to the impact on any existing private water supplies in the area. The site would be served by an existing borehole that also serves Pine Cottage.

Developer Contributions

The Council Developer Contributions Supplementary Guidance requires a financial contribution towards increased primary school capacity in areas where a primary school capacity constraint has been identified. A capacity constraint is defined as where a primary school is operating, or likely to be operating following completion of the proposed development and extant planning permissions, at or above 80% of total capacity.

This proposal is within the catchment of Kinloch Rannoch Primary School.

An assessment of the requirement for developer contributions will be made at the time a full application is submitted. A condition is required if this application is approved to ensure that any proposal is in accordance with the Council's Developer Contributions Policy (PM3).

Economic Impact

The economic impact of the proposal is likely to be minimal and limited to the construction phase of the development.

Conclusion

In conclusion, the application must be determined in accordance with the adopted Development Plan unless material considerations indicate otherwise. In this respect, the proposal is not considered to comply with the approved TAYplan 2012 and the adopted Local Development Plan 2014. I have taken account of material considerations and find none that would justify overriding

the adopted Development Plan. On that basis the application is recommended for refusal.

APPLICATION PROCESSING TIME

The recommendation for this application has been made within the statutory determination period.

LEGAL AGREEMENTS

None required.

DIRECTION BY SCOTTISH MINISTERS

None applicable to this proposal.

RECOMMENDATION

Refuse the application

Conditions and Reasons for Recommendation

1 The proposal is contrary to Policy RD3 Housing in the Countryside of the Perth and Kinross Local Development Plan 2014 and the Council's Housing in the Countryside Guide 2012 as the proposal fails to satisfactorily comply with category (1) Building Groups. It is also considered that the proposal cannot satisfy any of the remaining categories (2) Infill Sites, (3) New Houses in the Open Countryside, (4) Renovation or Replacement of Houses, (5) Conversion or Replacement of Redundant Non Domestic Buildings, or (6) Rural Brownfield Land.

2 The proposal is contrary to policy PM1A, Placemaking, of the Perth and Kinross Local Development Plan 2014 as it would not contribute positively to the built or natural environment. It is also contrary to policy PM1B a) and b). In particular in terms of PM1a) it would create further sporadic, ad hoc development that b) has no respect for the site topography or the wider landscape of the area.

3 The proposal is contrary to policy NE1B, National Designations, of the Perth and Kinross Local Development Plan 2014 which seeks to protect the quality and character of an area designated as being of national scenic importance. The construction of a house in this naturally wooded area within the Loch Rannoch and Glen Lyon National Scenic area would further erode the quality and landscape character for which it has been designated.

4 The proposal is contrary to policy NE2B, Forestry, Woodland and Trees, of the adopted Perth and Kinross Local Development Plan 2014 which

states that there is a presumption in favour of protecting woodland resources. The policy also requires a tree survey to be provided where there are existing trees on a development site. No tree survey has been submitted to demonstrate that the site can be developed without having an adverse impact on existing trees.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan

Informatives

None.

Procedural Notes

Not Applicable.

PLANS AND DOCUMENTS RELATING TO THIS DECISION

17/00735/1

17/00735/2

17/00735/3

17/00735/4

17/00735/5

17/00735/6

17/00735/7

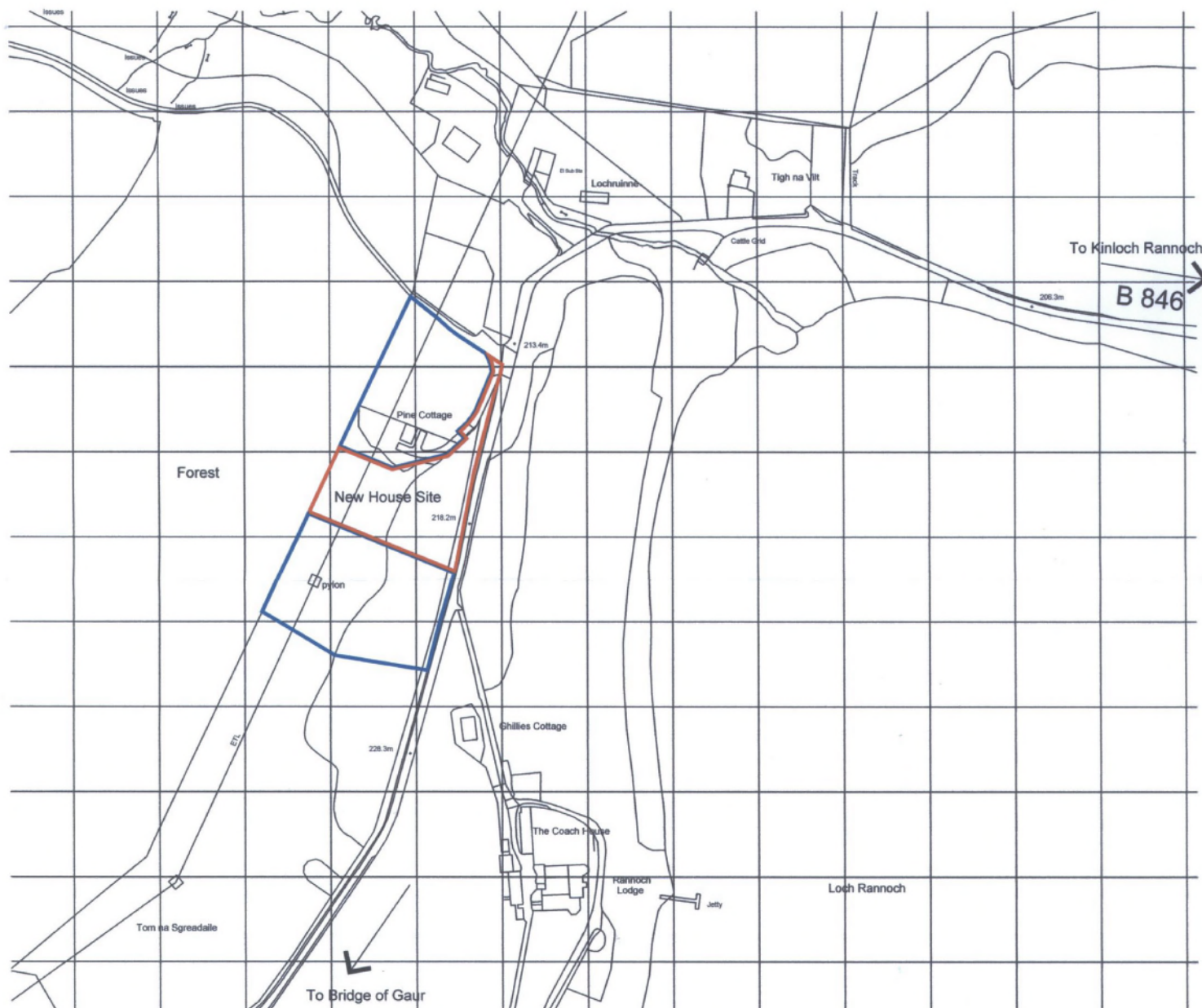
17/00735/8

17/00735/9

17/00735/10

Date of Report

21 June 2017



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Revisions

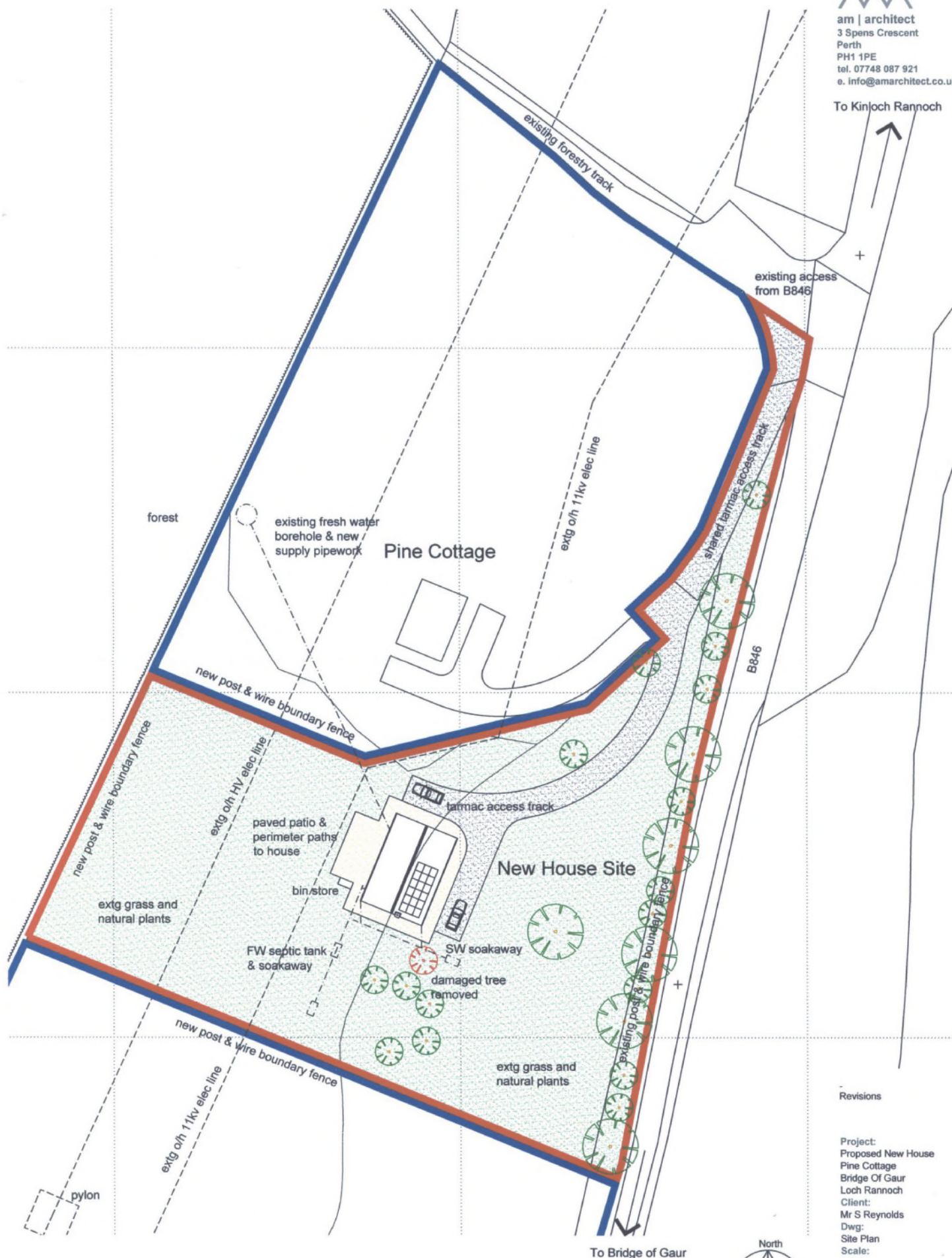
Project:
 Proposed New House
 Pine Cottage
 Bridge Of Gaur
 Loch Rannoch
 Client:
 Mr S Reynolds
 Dwg:
 Site Location Plan
 Scale:
 1:2500
 Dwg no:
 201701_PL(90)001
 Date:
 19th April 2017

Rev:

Site Location Plan
 0.0 25.0 50.0 75.0 100.0 125.0
 Scale in metres



To Kinloch Rannoch



Site Plan
0.0 5.0 10.0 15.0 20.0 25.0
Scale in metres



Revisions

Project:
Proposed New House
Pine Cottage
Bridge Of Gaur
Loch Rannoch
Client:
Mr S Reynolds
Dwg:
Site Plan
Scale:
1:500
Dwg no:
201701_PL(90)002
Date:
19th April 2017

Rev:

Proposed Material Notes

Roof

35° roof finished with slate with zinc ridge and code 4 lead flashings. Solar panels to East roof. Painted timber soffit, eaves and fascia.

RW goods dark grey or black Cl effect aluminium or UPVC.

Wall Finishes & Stone Work

Masonry walls and base course finished with white wetdash style render. Stooled fairfaced concrete sills.

Windows, Doors & Facings

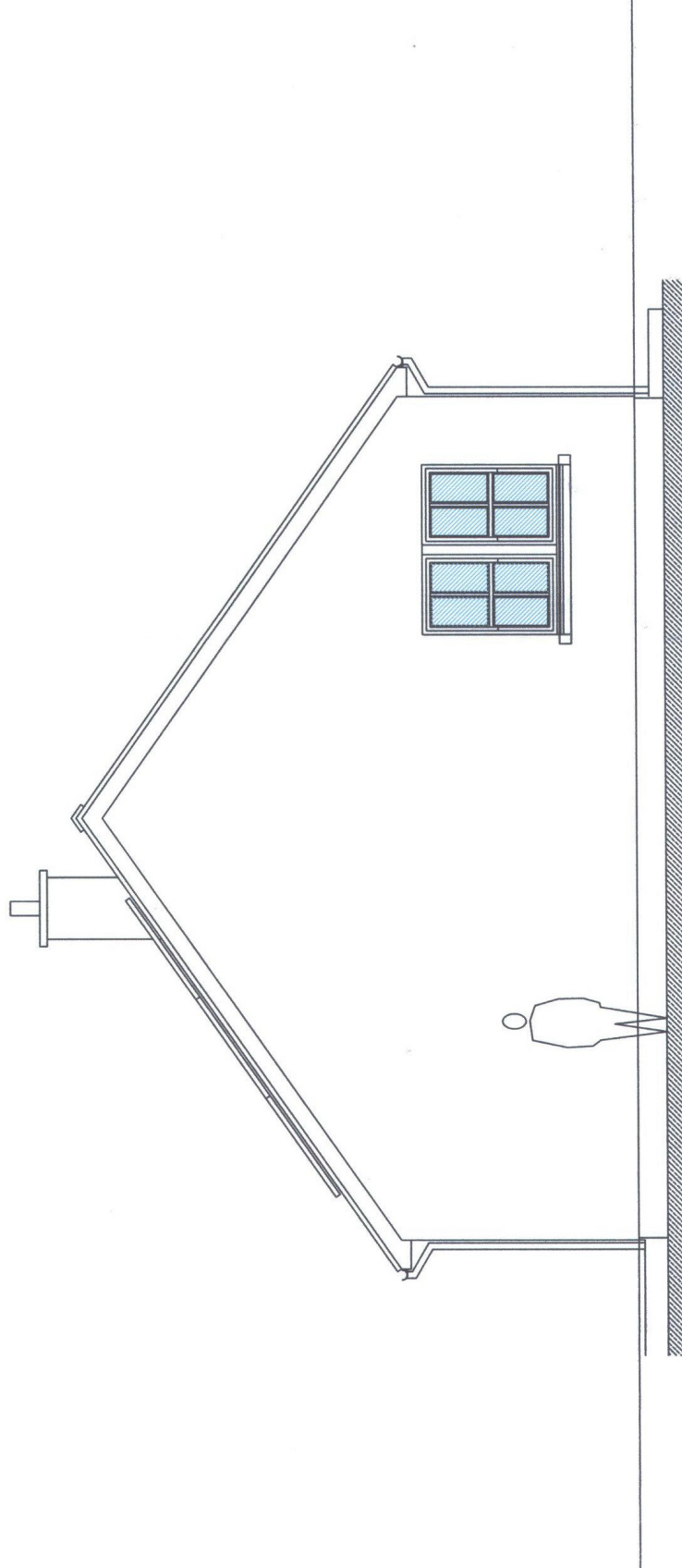
Sash and case style windows & paneled doors in white timber.

Paintwork

Exposed rafter and barge board eaves painted white to match existing house.

Chimney

Weldash rendered chimney with fairfaced concrete coping and freestay chimney pot.



North Elevation

A - 19/04/17
 For Planning in Principle
 Revisions

Project:
 Proposed New House
 Pine Cottage
 Bridge Of Gaur
 Loch Rannoch
 Client:
 Mr S Reynolds
 Dwg:
 North Elevation
 Scale:
 1:50

Rev:
 A
 Dwg no:
 201701_PL(20)003
 Date:
 11th February 2017

Proposed North Elevation
 0.0 0.5 1.0 1.5 2.0 2.5
 Scale in metres

Exemplar Scheme for Planning in Principle

Proposed Material Notes

Roof

35° roof finished with slate with zinc ridge and code 4 lead flashings. Solar panels to East roof. Painted timber soffit, eaves and fascia.

R/W goods dark grey or black CI effect aluminium or UPVC.

Wall Finishes & Stone Work

Masonry walls and base courses finished with white wetdash style render. Stuccoed fairfaced concrete sills.

Windows, Doors & Facings

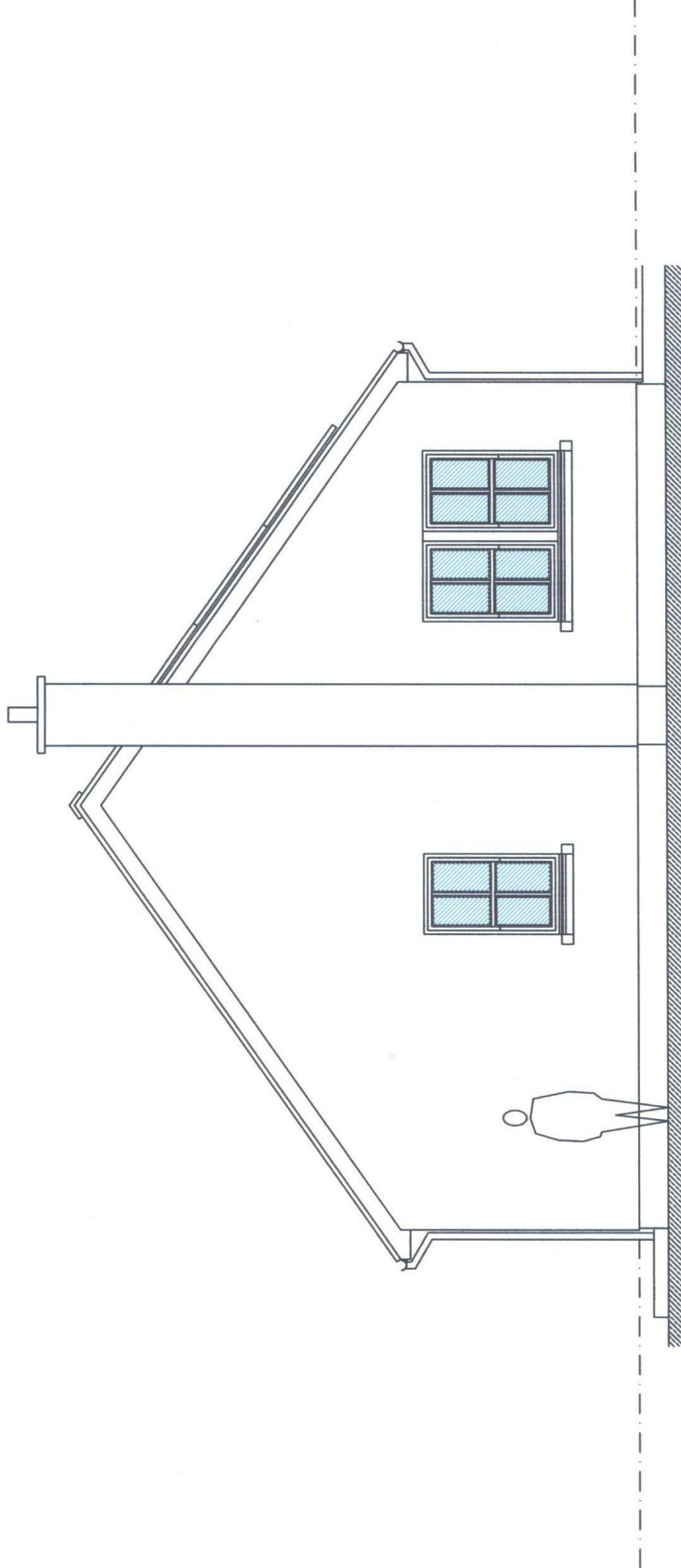
Sash and case style windows & paneled doors in white timber.

Paintwork

Exposed rafter and barge board eaves painted white to match existing house.

Chimney

Weldash rendered chimney with fairfaced concrete coping and freeday chimney pot.



South Elevation

A - 19/04/17
 For Planning in Principle
 Revisions

Project:
 Proposed New House
 Pine Cottage
 Bridge Of Gaur
 Loch Rannoch
 Client:
 Mr S Reynolds
 Dwg:
 South Elevation
 Scale:
 1:50

Rev:
 A
 Dwg no:
 201701_PL(20)005
 Date:
 11th February 2017

Proposed South Elevation
 0 0.5 1.0 1.5 2.0 2.5
 Scale in metres

Exemplar Scheme for Planning in Principle

Proposed Material Notes

Roof

35° roof finished with slate with zinc ridge and code 4 lead flashings. Solar panels to East roof. Painted timber soffit, eaves and fascia.
 RM goods dark grey or black CI effect aluminium or UPVC.

Wall Finishes & Stone Work

Masonry walls and base course finished with white washdash style render. Stoked fairfaced concrete sills.

Windows, Doors & Facings

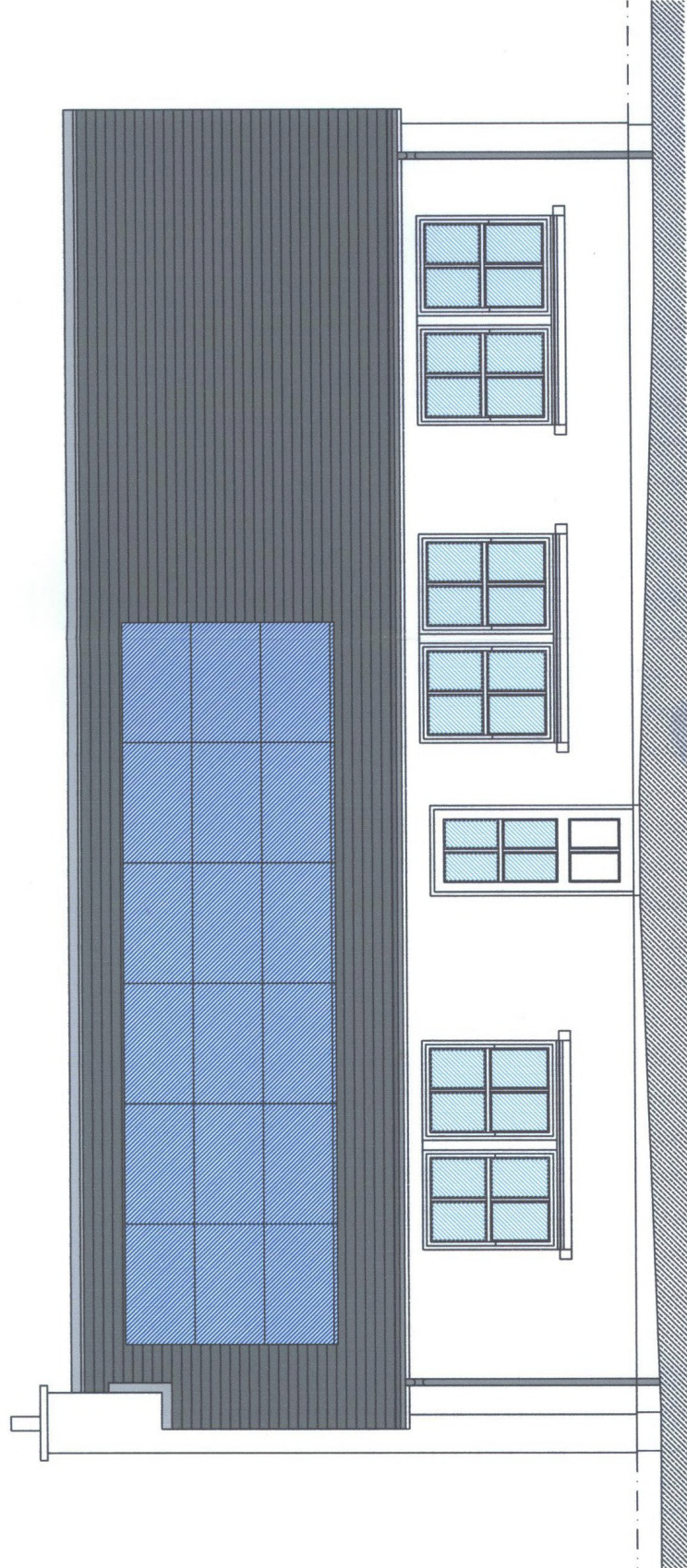
Sash and case style windows & paneled doors in white timber.

Painterwork

Exposed rafter and barge board eaves painted white to match existing house.

Chimney

Weldash rendered chimney with fairfaced concrete coping and freestay chimney pot.



East Elevation

A - 19/04/17
 For Planning in Principle
 Revisions

Project:
 Proposed New House
 Pine Cottage
 Bridge Of Gaur
 Losh Rannoch
 Client:
 Mr S Reynolds
 Dwg:
 East Elevation
 Scale:
 1:50
 Dwg no:
 201701_PL(20)002
 Date:
 11th February 2017
 Rev:
 A

Proposed East Elevation
 0.0 0.5 1.0 1.5 2.0 2.5
 Scale in metres

Exemplar Scheme for Planning in Principle

Proposed Material Notes

Roof

35° roof finished with slate with zinc ridge and code 4 lead flashings. Solar panels to East roof. Painted timber soffit, eaves and fascia.

RW goods dark grey or black Cl effect aluminium or UPVC.

Wall Finishes & Stone Work

Masonry walls and base course finished with white washash style render. Stuccoed fairfaced concrete sills.

Windows, Doors & Facings

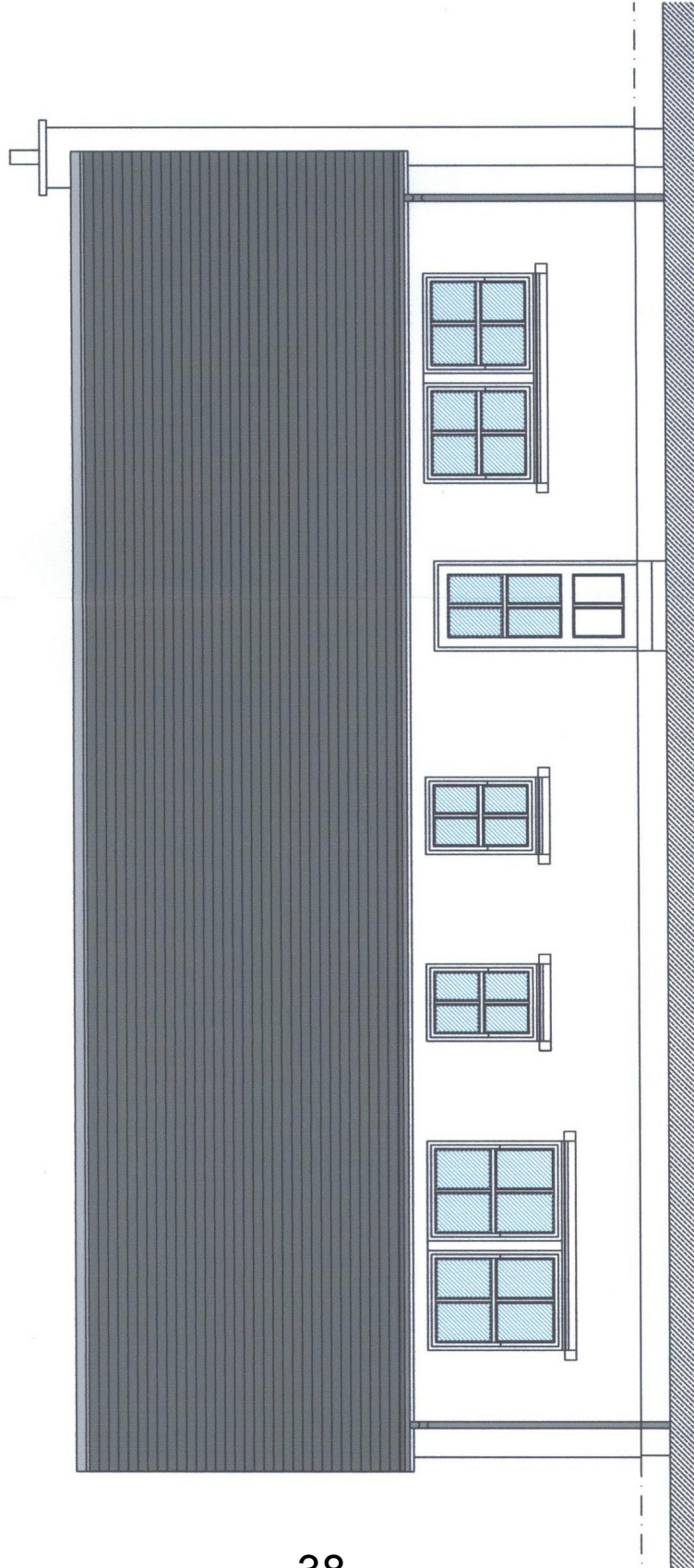
Sash and case style windows & paneled doors in white timber.

Paintwork

Exposed rafter and barge board eaves painted white to match existing house.

Chimney

Weldash rendered chimney with fairfaced concrete coping and freclay chimney pot.



West Elevation

A - 18/04/17
 For Planning in Principle
 Revisions

Project:
 Proposed New House
 Pine Cottage
 Bridge Of Gaur
 Loch Rannoch
 Client:
 Mr S Reynolds
 Dwg:
 West Elevation
 Scale:
 1:50

Dwg no:
 201701_PL(20)004
 Date:
 11th February 2017
 Rev:
 A

Proposed Material Notes

Roof

35° roof finished with slate with zinc ridge and code 4 lead flashings. Solar panels to East roof. Painted timber soffit, eaves and fascia.

RW goods dark grey or black CI effect aluminium or uPVC.

Wall Finishes & Stone Work

Masonry walls and base course finished with white wash style render. Stucco faced concrete sills.

Windows, Doors & Facings

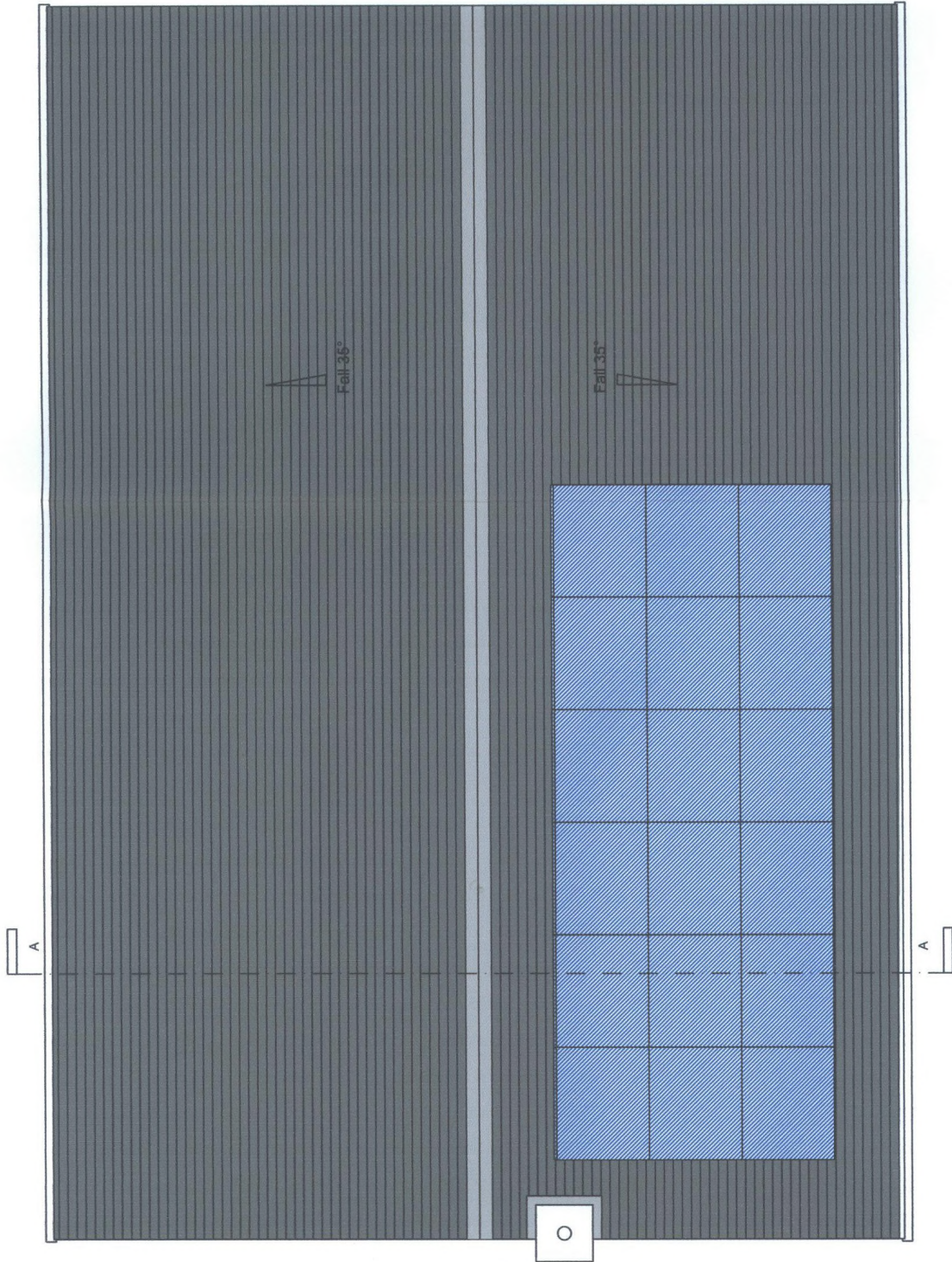
Sash and case style windows & paneled doors in white timber.

Paintwork

Exposed rafter and barge board eaves painted white to match existing house.

Chimney

Wardash rendered chimney with fairfaced concrete coping and freckley chimney pot.



A - 19/04/17
For Planning in Principle
Revisions

Project:
Proposed New House
Pine Cottage
Bridge Of Gaur

Loch Rannoch
Client:
Mr S Reynolds

Dwg:
Roof Plan
Scale:
1:50

Dwg no:
201701_PL(27)001
Date:
11th February 2017

Rev:
A

Proposed Roof Plan
0.0 0.5 1.0 1.5 2.0 2.5
Scale in metres

Exemplar Scheme for Planning in Principle

Proposed Material Notes

Roof

35° roof finished with slate with zinc ridge and code 4 lead flashings. Solar panels to East roof. Painted timber soffits, eaves and fascia.

PVA goods dark grey or black CI effect aluminium or UPVC.

Wall Finishes & Stone Work

Masonry walls and base course finished with white wetdash style render. Stucco finished concrete alla.

Windows, Doors & Facings

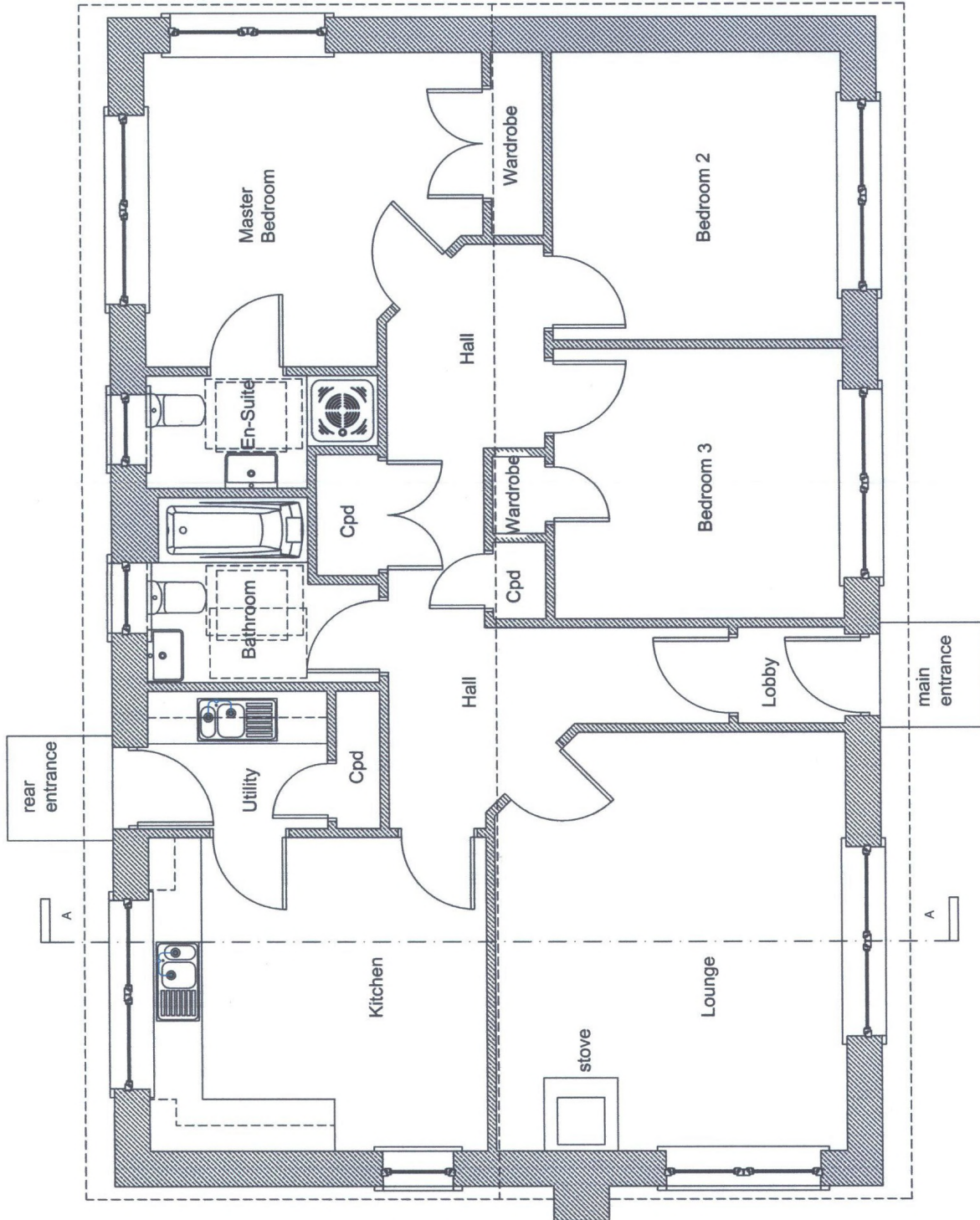
Sash and case style windows & paneled doors in white timber.

Paintwork

Exposed rafters and barge board eaves painted white to match existing house.

Chimney

Wetdash rendered chimney with fairfaced concrete coping and freckle chimney pot.



A - 19/04/17
For Planning in Principle
Revisions

Project:
Proposed New House
Pine Cottage
Bridge Of Gaur
Loch Ramoch
Client:
Mr S Reynolds
Dwg:
Ground Floor Plan
Scale:
1:50

Rev:
A
Dwg no:
201701_PL(20)001
Date:
11th February 2017

Proposed Floor Plan
0.0 0.5 1.0 1.5 2.0 2.5
Scale in metres

Exemplar Scheme for Planning in Principle

Proposed Material Notes

Roof

35° roof finished with slate with zinc ridge and code 4 lead flashings. Solar panels to East roof. Painted timber soffit, eaves and fascia.

RIV goods dark grey or black Cl effect aluminium or UPVC.

Wall Finishes & Stone Work

Masonry walls and base course finished with white, wetdash style render. Stuccoed fairfaced concrete sills.

Windows, Doors & Facings

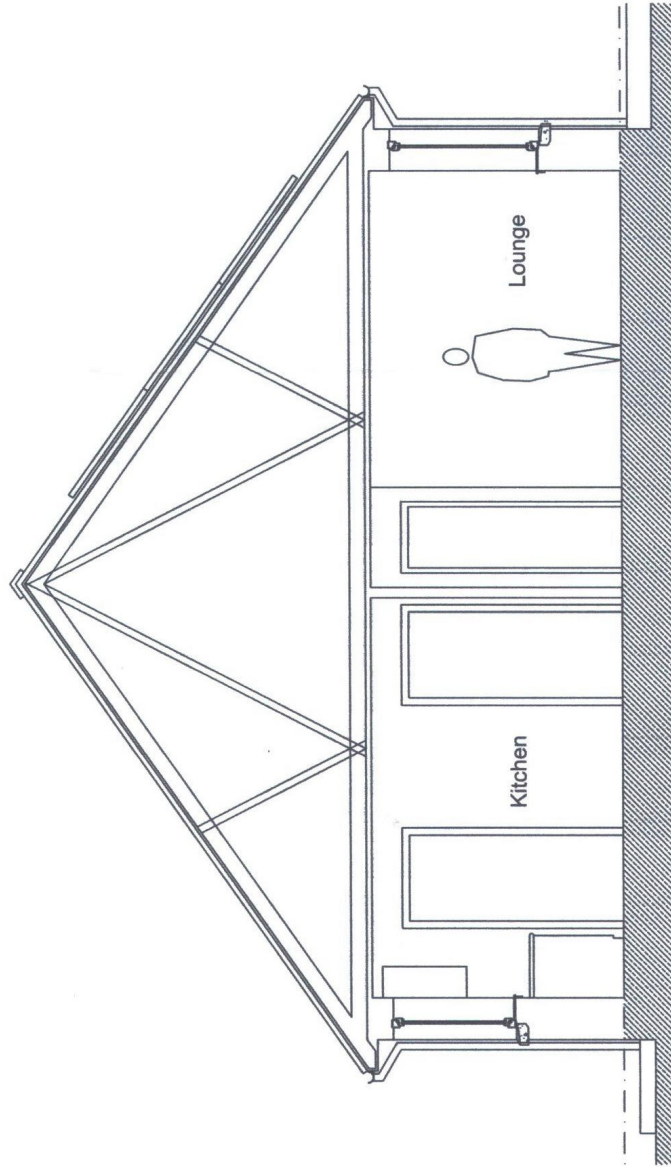
Sash and case style windows & panelled doors in white timber.

Plasterwork

Exposed rafter and barge board eaves painted white to match existing house.

Chimney

Weldash rendered chimney with fairfaced concrete coping and freclay chimney pot.



Section AA

A - 19/04/17
 For Planning in Principle
 Revisions

Project:
 Proposed New House
 Pine Cottage
 Bridge Of Gaur
 Loch Rannoch
 Client:
 Mr S Reynolds
 Dwg:
 Section AA
 Scale:
 1:50

Rev:
 Dwg no:
 Date:
 11th February 2017



Google Earth

miles
km

10

8



Google Earth

Image © 2016 DigitalGlobe
© 2016 Google

SITE AT PINE COTTAGE, BRIDGE OF GAUR, LOCH RANNOCH, PERTSHIRE FOR S. REYNOLDS

8846

HOUSE
SITE
42

C450



View from front of site to public road





TCP/11/16(486) – 17/00735/IPL – Erection of a dwellinghouse (in principle) on land 40 metres South East of Pine Cottage, Bridge of Gaur, Rannoch

REPRESENTATIONS

Memorandum

To Development Quality Manager

From Regulatory Service Manager

Your ref 17/00735/IPL

Our ref MA

Date 18 May 2017

Tel No [REDACTED]

The Environment Service

Pullar House, 35 Kinnoull Street, Perth PH1 5GD

Consultation on an Application for Planning Permission

Erection of a dwellinghouse (in principle) at Land 40 Metres South East of Pine Cottage, Bridge of Gaur, Rannoch for Mr Stuart Reynolds

I refer to your letter dated 11 May 2017 in connection with the above application and have the following comments to make.

Water (assessment date – 18/5/17)

Recommendation

I have no objections to the application but recommend the undernoted condition and informatives be included in any given consent.

Comments

The development is for a dwelling house in a rural area with private water supplies (including Pine Cottage supply) believed to serve properties in the vicinity. To ensure the new development has an adequate and consistently wholesome supply of water and maintain water quality and supply in the interests of residential amenity and ensure the private water supply or septic drainage systems of neighbours of the development remain accessible for future maintenance please note the following condition and informatives. No public objections relating to the water supply were noted at the date above.

WS00 Condition

Prior to the commencement of the development hereby approved, details of the location and measures proposed for the safeguarding and continued operation, or replacement, of any septic tanks and soakaways, private water sources, private water supply storage facilities and/or private water supply pipes serving properties in the vicinity, sited within and running through the application site, shall be submitted to and approved in writing by the Council as Planning Authority. The subsequently agreed protective or replacement measures shall be put in place prior to the commencement of the development being brought into use and shall thereafter be so maintained insofar as it relates to the development hereby approved.

WAYL - Informative 1

The applicant should ensure that any existing wayleaves for maintenance or repair to existing private water supply or septic drainage infrastructure in the development area are honoured throughout and after completion of the development.

PWS - Informative 2

The applicant shall ensure the private water supply for the house/ development complies with the Water Scotland Act 1980 (Section 63) and the Private Water Supplies (Scotland) Regulations 2006. Detailed information regarding the private water supply, including the nature, location and adequacy of the source, any storage tanks/ pipework and the filtration and disinfection treatment proposed to ensure provision of an adequate and consistently wholesome water supply shall be submitted to Perth and Kinross Council Environmental Health in line with the above act and regulations.

MA

Comments to the Development Quality Manager on a Planning Application

Planning Application ref.	17/00735/IPL	Comments provided by	Euan McLaughlin
Service/Section	Strategy & Policy	Contact Details	Development Negotiations Officer: Euan McLaughlin Tel: [REDACTED] Email: [REDACTED]
Description of Proposal	Erection of a dwellinghouse (in principle)		
Address of site	Land 40 Metres South East Of Pine Cottage, Bridge Of Gaur, Rannoch		
Comments on the proposal	<p>Primary Education</p> <p>With reference to the above planning application the Council Developer Contributions Supplementary Guidance requires a financial contribution towards increased primary school capacity in areas where a primary school capacity constraint has been identified. A capacity constraint is defined as where a primary school is operating, or likely to be operating following completion of the proposed development and extant planning permissions, at or above 80% of total capacity.</p> <p>This proposal is within the catchment of Kinloch Rannoch Primary School.</p>		
Recommended planning condition(s)	<p>Primary Education</p> <p>CO01 The development shall be in accordance with the requirements of Perth & Kinross Council's Developer Contributions and Affordable Housing Supplementary Guidance 2016 in line with Policy PM3: Infrastructure Contributions of the Perth & Kinross Local Development Plan 2014 with particular regard to primary education infrastructure, unless otherwise agreed in writing with the Council as Planning Authority.</p> <p>RCO00 Reason – To ensure the development is in accordance with the terms of the Perth and Kinross Council Local Development Plan 2014 and to comply with the Council's policy on Developer Contributions and Affordable Housing Supplementary Guidance 2016.</p>		
Recommended informative(s) for applicant	N/A		
Date comments returned	23 May 2017		

