

TCP/11/16(601) – 19/00283/FLL - Alterations to boundary wall, formation of hardstanding and erection of retaining walls (in retrospect), 2 Croft Terrace, Errol

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TCP/11/16(601) – 19/00283/FLL - Alterations to boundary wall, formation of hardstanding and erection of retaining walls (in retrospect), 2 Croft Terrace, Errol

**PAPERS SUBMITTED
BY THE
APPLICANT**



Pullar House 35 Kinnoull Street Perth PH1 5GD Tel: 01738 475300 Fax: 01738 475310 Email: onlineapps@pkc.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100154228-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Arthur Stone Planning & Architectural Design Limited		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Alison	Building Name:	
Last Name: *	Arthur	Building Number:	85
Telephone Number: *	01337 840 088	Address 1 (Street): *	High Street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Newburgh
Fax Number:		Country: *	United Kingdom
		Postcode: *	KY14 6DA
Email Address: *	info@arthurstoneplanning.co.uk		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Ms"/>	You must enter a Building Name or Number, or both: *
Other Title:	<input type="text"/>	Building Name: <input type="text"/>
First Name: *	<input type="text" value="Angie"/>	Building Number: <input type="text" value="2"/>
Last Name: *	<input type="text" value="Anderson"/>	Address 1 (Street): * <input type="text" value="Croft Terrace"/>
Company/Organisation	<input type="text"/>	Address 2: <input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: * <input type="text" value="Errol"/>
Extension Number:	<input type="text"/>	Country: * <input type="text" value="Perthshire"/>
Mobile Number:	<input type="text"/>	Postcode: * <input type="text" value="PH2 7UE"/>
Fax Number:	<input type="text"/>	
Email Address: *	<input type="text"/>	

Site Address Details

Planning Authority:	<input type="text" value="Perth and Kinross Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="2 CROFT TERRACE"/>
Address 2:	<input type="text" value="ERROL"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="PERTH"/>
Post Code:	<input type="text" value="PH2 7UE"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="722677"/>	Easting	<input type="text" value="325147"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

19/00283/FLL alteration and extension to dwelling house, garden and garden wall

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please see accompanying letter titled "2044 letter reasons for submission to local review body"

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Supporting statement, Location site plan, Existing proposed site sections and wall details. Letter reasons for submission to local review body.

Application Details

Please provide details of the application and decision.

What is the application reference number? *

19/00283/FLL

What date was the application submitted to the planning authority? *

21/02/2019

What date was the decision issued by the planning authority? *

23/04/2019

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☒ Yes ☐ No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☒ Yes ☐ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mrs Alison Arthur

Declaration Date: 13/05/2019



Arthur Stone Planning
& Architectural Design



85 High Street
Newburgh. KY14 6DA

Tel: 01337 840088

www.arthurstoneplanning.co.uk
info@arthurstoneplanning.co.uk

9/5/19

Dear Sir/ Madam

We are requesting that the planning application 19/00283/FLL is reviewed by the local review body for the following reasons. Mrs Anderson the owner of 2 croft terrace is not confident that the appraisal of her application has been properly carried out in reaching a decision. The Report of Handling makes no reference to the content of her submitted Statement beyond where it states 'The applicants have outlined their desire for off-street parking arrangements' and 'It is acknowledged that the applicant's suffer from mobility difficulties'. We contend that a 'summary of the main issues raised by the statement', as required by the Regulations, extends well beyond these brief references. We would have expected that the appraisal would make some reference to the matter of road safety, as it is presented in the Statement.

It is of concern is that there is no reference to pages 6 and 7 of the submitted Statement, relating to Roads and Access. Paragraph 4.4 of this section of the Statement includes that:

'We emphasise this application is not for a new access, but includes the creation of a space for parking which will complement the applicant's existing right of access to the lane. The refusal of the application will not prevent the use of the lane (which will continue to be private, unsurfaced and narrow) by vehicles and pedestrians. The proposed parking space will, we believe, improve the situation.'

In addition, in 4.7 it states that 'We have set out a scenario for a simple normal daily movement of a vehicle in the following table and diagram as further justification that the creation of a parking space is acceptable in terms of the Council's road safety considerations'.

Page 7 then details this scenario in length, as a basis for justifying that the proposal meets with the Council's policies, illustrating the potential road safety benefits that can be achieved by the provision of a hardstanding area to enable parking to the side of the lane, improving road safety rather than causing any additional detrimental impact.

As Mrs Anderson's property, at 2 Croft Terrace, lies within the Errol Conservation Area, planning consent is required for the creation of this area of hardstanding. Out with a Conservation Area, such a proposal would be permitted development and would not require planning consent. The need for consent in a Conservation Area allows for greater control over the potential impact on the built heritage and we believe that it is not as a measure to address road safety. As the Report of Handling indicates no concern with the impact on the built heritage and the proposal has Listed Building Consent, granted by the Scottish Government, we do not consider a refusal on road safety grounds is reasonable when, ordinarily, it could not be a consideration as no consent would be required.

The Report of Handling, however, does take account of a third party representation which was, as stated in the Report, submitted outwith the statutory timescale set for submissions. It appears in the Report that this single, late, comment has been given consideration and weight in the decision whereas the applicant's justification for the proposal included in the Supporting Statement has been given none.

The Report of Handling states that 'I note from the late comment received that no other residents of Croft Terrace drive vehicles on the track.' The inclusion of this statement suggests that it was relevant to the appraisal of the proposal. We do not consider that this reference should reasonably have been any weight in the appraisal given that it relies on hearsay and cannot be accurate as the drive to the most easterly house on the Terrace is accessed from the lane and aerial photos (Google) show a vehicle parked in its drive. Further, the situation could change at any point depending on the desire of occupants of the properties on Croft Terrace and our own information is that other vehicles do drive on the lane. In any case the applicant has a right of access to drive on the lane and any related issue is a legal matter rather than a planning consideration.

The Report of Handling refers to the 'lack of provision of acceptable manoeuvring space within the curtilage of the site to enable a vehicle to enter and leave the site in forward gear' and that due to this situation 'The proposal is, therefore, contrary to the overarching principles of Policy PM1B, criteria (e) of Perth and Kinross Council's adopted Local Development Plan 2014 which seeks to ensure that all new proposals create safe, accessible, inclusive places for all people.' Mrs Anderson is concerned regarding the link made between the two statements and that the Report of Handling contains no discussion of why this may be the case. The submitted supporting Statement presents a case for the proposal as one which does create a safe, accessible, inclusive place for all people, specifically assisting the applicant and her husband, with limited mobility, to live in this community and improving pedestrian and road safety on Croft Terrace and Gas Brae. The Report of Handling does not discuss or give any

explanation of why this case is not accepted. Instead it relies on the fact that a car cannot leave the site in forward gear. However, leaving the site accesses a private lane and should not be a matter for the Council. Cars leaving Croft Terrace onto Gas Brae will have no different manoeuvre to make than is the current situation.

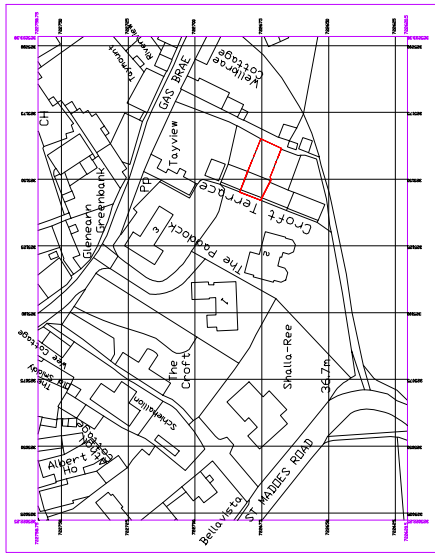
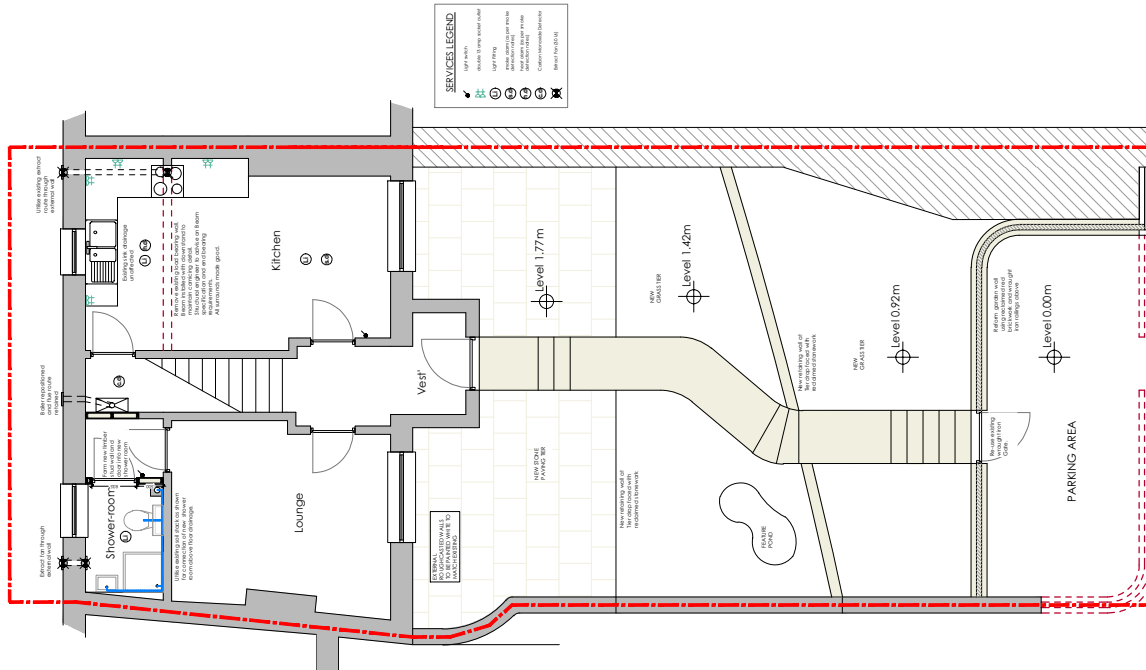
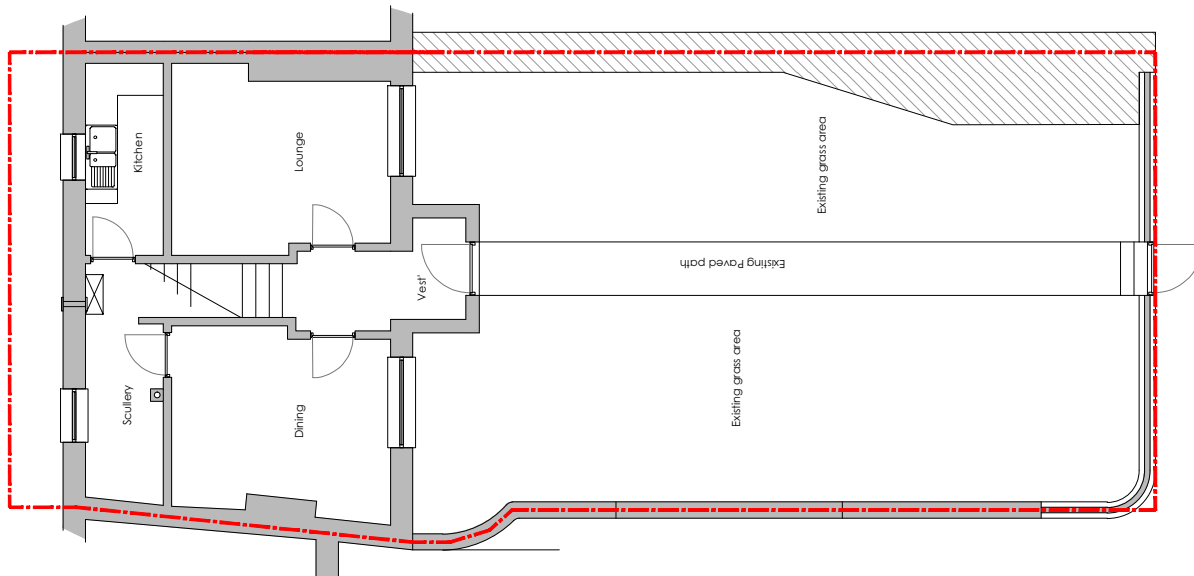
As stated in the Report of Handling 'Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise'.

The case officer states in the Report of Handling that 'Whilst I sympathise with the applicant's personal circumstances I have no other option other than to refuse the proposal on road safety grounds.' Again, it is not clear why the case officer believed there were no other options as the Report of Handling contains no appraisal of the proposal in terms of the submitted Statement and its justification for the proposal. We believe that there were other options available to the case officer. The appraisal of planning applications relies on the careful consideration of all aspects of a proposal and ultimately making a balanced judgement in the interests of good planning and with a presumption in favour of development. It is not a requirement to refuse an application based on an objection from a consultee, in this case providing a 'standard' roads comment and again giving no consideration to the justification for the proposal.

Mrs Anderson has had considerable personal expense in seeking to achieve consent for this proposal and is concerned that the work prepared to justify her proposal has been given no consideration. She is concerned that this lack of consideration has prevented the opportunity to improve road safety through the provision of a hardstanding for parking.

Kind Regards

Allie Arthur



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3 Site Location Plan

Smoke Detection Notes:

a smoke alarm with a standby supply, complying with BS 5446:part 1, 1990 and installed in accordance with the provisions of a.o. in 5.2. below;

i. the standby power supply for the smoke alarm should take the form of a primary battery, a secondary battery or a capacitor. The capacity of the standby supply should be sufficient to power the smoke alarm when the mains power supply is off for at least 72 hours while giving an audible warning of mains power supply being off. These should remain sufficient capacity to provide a warning of a smoke for a further 4 minutes. An audible warning should be given at least once every minute while the capacity of the standby power supply falls below a minimum level to satisfy the recommended standby duration when the mains power is off, or a period for at least 15 days when the mains power supply fails;

ii. a smoke alarm should be located:

a. in a circulation area which will be used as a route along which to escape, not more than 7m from the door to a living room or kitchen, and not more than 3m from the door to a room intended to be used as sleeping accommodation. The dimensions to be measured horizontally, vertically and diagonally;

b. where designed for ceiling mounting, at least 300mm away from any wall or ceiling fitting, if designed for wall mounting, the smoke alarm is, and not more than 300mm below the ceiling,

c. at least 300mm away from, and not directly above, a heater or air conditioning outlet, and

d. a surface which is normally at the same ambient temperature of the rest of the room or circulation area in which the smoke alarm is sited;

e. where more than 1 smoke alarm is installed in a dwelling they should be inter-connected so that detection of a fire by any one of them operates the alarm signal in all of them;

f. a smoke alarm should be permanently wired to a circuit. The mains supply to the smoke alarm should take the form of either:

i. an independent circuit at the dwelling's main distribution board in which case no other electrical equipment should be connected to this circuit;

ii. an independent electrically protected (insulated and earthed) cable, taking its supply from the main distribution board or from the main supply to the dwelling.

GENERAL NOTES :

all work shall be in accordance with all the relevant British Standards specifications and Codes of Practice, and all dimensions are to be checked on site by contractor prior to commencement of work on site, any associated component or assembly manufactured and material procurement, any discrepancy between drawings or file dimensions must be brought to Architectural Building Design Co notice before work proceeds.

Where the design of any part of the proposed works is not in accordance with the relevant British Standards specifications, the following provisions shall be fully protected by the contractor during the construction period:

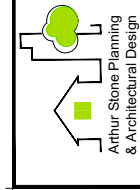
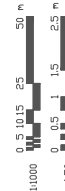
- any soil or granular material shall be removed and replaced with concrete and compacted granular fill material;
- foundation excavations are to be kept free from water and access excavation to be kept to a minimum;
- services and cabling in any part below ground level shall be protected and should be covered through the substructure and protected by a finish of concrete to a minimum depth of 100mm; C35/50 concrete to BS EN 12518-1;
- all main reinforcement shall be in accordance with BS 4483 with 50mm cover to reinforcement;
- all blockwork to have a minimum strength of 7h/mm² and concrete 20N/mm² at brickwork to have a water absorption <7% all mortar below 0°C shall be Class II and all mortar above 0°C levels shall be Class II in accordance with BS 5262

Where any part of the proposed works is not in accordance with the relevant British Standards specifications, the contractor shall be liable for the cost of any extra work provided calculations are submitted from the manufacturer to confirm that the blocks are suitable for use below 0°C.

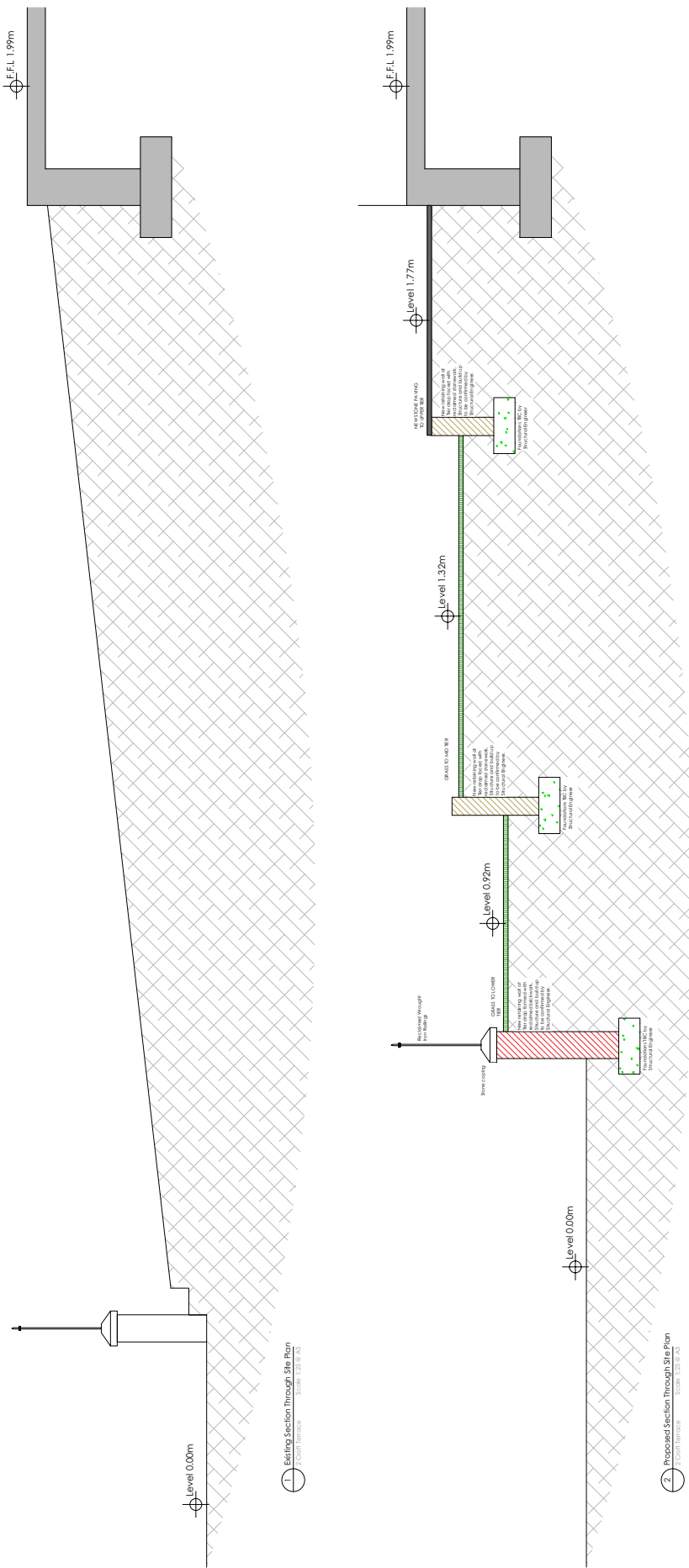
all new timber to be grade C16 unless otherwise stated, all new timber to be preservative treated by vacuum or pressure process, sawn ends, nailing etc, to be treated on site by the application of compatible preservative, conservatory designed to basic wind speed of 100 mph.

REMOVALS:

All demolitions are to be carried out in strict accordance with the structural engineers requirements.
All dismantlings and slappings to be adequately needed and propped during the works.
All wall and floor finishes to be made good where removals occur.



Project	Proposed Alterations to Ground Floor Interior Layout and Garden at 2 Clifton Terrace, Ennis	Floor Plans, Location Plans, Notes	Date	Scaled as noted A1	Issued by 2004-0-05	CITY B.
TOTAL						



BUILDING WARRANT NOTES
All works to be in accordance with the Building (Scotland) Regulations 2017

- SECTION 1 - STRUCTURE**
 - Foundations to be constructed in accordance with BS 8004: 1986.
 - Design of structural timber BS 5268: Part 2: 1996, BS 5268 Part 3: 1998 and section 6.1 of BS 5268: Part 6: 1996.
 - Design of structural timber BS 5268: Part 2: 1996, BS 5268 Part 3: 1998 and section 6.1 of BS 5268: Part 6: 1996.
 - Automatic fire detection in dwelling to have a standby supply complying with BS 5446: Part 1: 2000 and installed where shown on the proposed floor plan.
 - Fire detection system in dwellings to be in line with recommendations of BS 5839: Part 6: 1995 for Grade D Type LD3 systems.
- SECTION 2 - FIRE**
 - Automatic fire detection in dwelling to have a standby supply complying with BS 5446: Part 1: 2000 and installed where shown on the proposed floor plan.
 - Fire detection system in dwellings to be in line with recommendations of BS 5839: Part 6: 1995 for Grade D Type LD3 systems.
- SECTION 3 - ENVIRONMENT**
 - Gas-fired and combustion appliance installations to be constructed and installed in accordance with the Gas Appliance (Safety) Regulations 1995 (SI 1995/1000) (SI 1995/1000).
 - All flue terminals not more than 2m above ground to be fitted with a spark arrestor and a weather vane to prevent rain and snow from passing through.
 - Gas appliances to carry a CE mark under the Gas Appliance (Safety) Regulations 1995.
 - A gas-fired appliance located in an enclosed space must be supplied with air for combustion in accordance with BS 5440: Part 2: 2000.
- SECTION 4 - SAFETY**
 - Electrical installations to comply with BS 7671: 2008.
 - Current Edition of the IEE Regulations.
 - A low level glazing to comprise safety glass in accordance with BS 5262: Part 1: 2000.
 - Any vent pipe of a hot water system to be installed so that any discharge will not endanger anyone outside of inside the building.
- SECTION 5 - ENERGY**
 - Pipes, ducts to be thermally insulated in accordance with BS 5422: 1996.

- Kitchen required to have an extract canopy providing 10 air changes per hour with an intermittent rate of 30 times per hour.
- Mechanical extract fans providing minimum of 6 air change per hour with an intermittent rate of 30 times per hour.
- Natural ventilation to rooms via windows with opening area not less than 400mm².
- All windows to incorporate a trickle vent with an opening area not less than 400mm².
- Work to comply with BS EN 12056-2: 2000.
- Work to comply with BS EN 12056-2: 2000 to limit pressure in the drainage system and to minimise the risk of foul air entering the building.
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Arthur Stone Planning & Architectural Design

Project: Proposed Alterations to Ground Floor Internal Layout and Garden at 2 Croft Terrace, Inver.

Drawn: NAD

Check: JLD

Scale: 1:250

Sheet: 1 of 1

Revision: 1

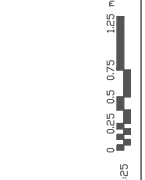
Drawn: NAD

Check: JLD

Scale: 1:250

Sheet: 1 of 1

Revision: 1



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1:250



Supporting Planning and Method Statement

Alterations to dwellinghouse and boundary walls, erection of retaining walls and associated landscaping including formation of parking space
(in part retrospective)

2 Croft Terrace, Gas Brae, Errol, PERTH, PH2 7UE

Mrs A Anderson
February 2019



Arthur Stone Planning
& Architectural Design



Jamesfield Business Centre,
Abernethy KY14 6EW

Tel: 01 738 850873

www.arthurstoneplanning.co.uk
info@arthurstoneplanning.co.uk



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- 3.0 Proposals
- 4.0 Policy Considerations
- 5.0 Conclusion



Arthur Stone Planning
& Architectural Design



Jamesfield Business Centre,
Abernethy KY14 6EW
Tel: 01738 850873
www.arthurstoneplanning.co.uk
info@arthurstoneplanning.co.uk

1.1 Our client, Mrs Angie Anderson, submitted a planning application (18/01103/FLL) and listed building consent application (18/01101/LBC) in June 2018 for alterations to dwellinghouse and boundary walls, erection of retaining walls and associated landscaping works (in part retrospect) at 2 Croft Terrace, Errol, Perth, PH2 7UE.

1.2 Mrs Anderson had purchased the property earlier in 2018 and had carried out these works which, following contact from the Council, were submitted for consideration in these retrospective applications. The estate agent Sales Brochure is submitted to provide some illustration of the property prior to the work.

1.3 These applications were both refused under delegated powers on 22nd August 2018. The planning application was subsequently reviewed by the Local Review Body and the application refused. The listed building consent application was appealed to the Scottish Government's Planning and Environmental Appeals Division with the appeal allowed by the Reporter (January 2019).

1.4 The Perth & Kinross Local Review Body concluded in refusing the application that 'with a private, unsurfaced lane that was narrow and did not allow for a vehicle to be turned, the application should be refused' and that 'the alteration of the boundary line adversely affects the relationship with the neighbouring property and with 2 Croft Terrace itself thus adversely affecting the listed building and, more generally, Errol Conservation Area.'

1.5 This statement is submitted to support the resubmission of the planning application seeking further consideration of the proposal:

- in light of the appeal decision relating to the listed building consent and therefore the issues relating to the historic environment; and
- in relation to road safety issues.

1.6 We believe that the it is demonstrated that the proposal complies with the terms of national planning policy and Perth and Kinross Council's own land use planning policies and guidance and that the approval of the application is justified.



Location of site

2.0 Site Description

2.1 This application is for the alteration and extension to 2 Croft Terrace, accessed from Gas Brae, Errol, a two storey property on the southern edge of the Errol conservation area. The property is C listed (part of listed semi detached pair) and lies within the Errol conservation area.

2.2 Croft Terrace is a narrow lane which allows only limited access for small vehicles and with no ability to park without blocking the lane. The lane ends in front of 2 Croft Terrace and the properties at 3 and 4 Croft Terrace are accessed from a pedestrian path leading from the lane. There is no access to the rear of 2 Croft Terrace. The property at 1 Croft Terrace has access from the lane with its own driveway.

2.3 The property is mid terrace, with the Historic Environment Scotland listing indicating that it is dated 1908, Arts and Crafts style and part of a 4 bay pair of semi-detached houses in an irregular terrace. The description of the setting indicates that the boundary wall is ashlar-coped rubble with decorative ironwork gate.

2.4 The garden is laid to grass with concrete paving path running between Croft Brae and the front door and also running along the front of the property (prior to work being carried out).



Croft Terrace looking east (proposal partly complete)



Croft Terrace looking west and illustrating footpath access to 3 and 4 Croft Terrace and connecting into streets to the north.

3.0 Proposals and Method Statement

3.1 External

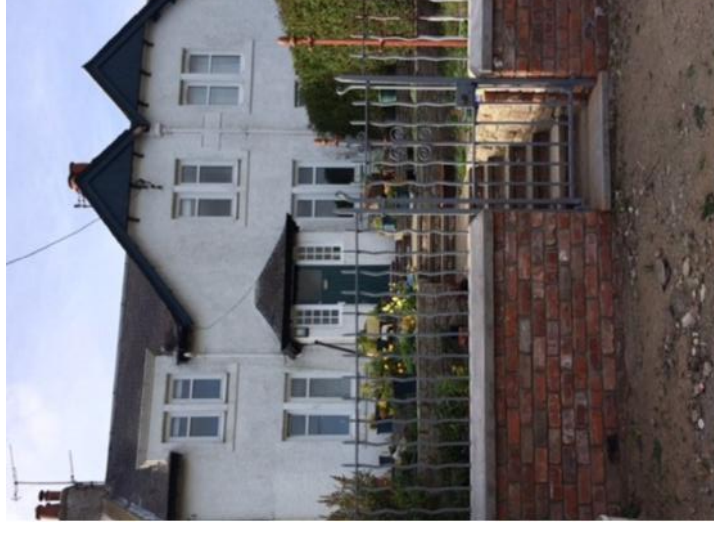
(refer to Drawings 2044-002 Sections, Elevations, 2044_01_revB_Floor and Site Plan)

Downtakings

- Take down existing garden wall and gate at south east boundary of property and store materials for reuse.
- Lift existing concrete garden paving and remove from site.
- Move earth to reform ramped garden to create three retained terraces.

Proposals

- Alter the south boundary wall on the frontage, moving the boundary towards the house, re-siting it into the existing garden ground. Form new retaining boundary wall using reclaimed bricks, stone coping, reused existing wrought iron gate and install railings, providing a space for adjacent parking area (work complete).
- Hardcore/blinded dust surface to parking area to match surfacing of lane (work incomplete as stopped pending outcome of initial planning application).
- Build two garden retaining walls to form lower, mid and upper tiers in garden with mid and upper tier retaining walls faced with reclaimed stone (work complete).
- Lay stone paving on upper tier and pathway from front door to entrance gate (work complete).
- Repainting of external walls (white as existing).



Boundary completed with high quality materials and sensitive design. Work on parking area halted pending outcome of application.

Steps and level platforms assist owner's access.

3.2 Overall, the intentions are to restore the garden, mindful of its Arts and Crafts heritage and to create a parking area and pathway to the house which will improve the accessibility of the house for Mr and Mrs Anderson.

3.3 While enabling the restoration and improvement of the property, Mrs Anderson wishes to meet her needs in terms of accessibility to the property along with improving the access situation on Croft Terrace. Both Mrs Anderson and her husband have mobility constraints and the ability to park a car close to their house is of great importance in enabling them to carry on their normal daily activities, preventing a situation where they are restricted to their house. The remodelled garden with terraces enables their access as there are level resting places between each set of steps, preferable to a continual sloping path which posed difficulties.

4.0 Policy Considerations

4.1 The Development Plan for the area is the TAYplan Strategic Development Plan 2016-2036 and the Perth and Kinross Local Development Plan 2014. We do not consider that there are any strategic issues relevant to the proposal. Local Development Plan policies relevant to the proposal include RD1—Residential Areas, PM1A and PM1B —Placemaking, HE2—Listed Buildings and HE3A—Conservation Areas. Other relevant policy and guidance includes Scottish Planning Policy and Historic Environment Policy Statement 2016.

Roads and Access

4.2 We refer to the Local Review Body conclusion that the application should be refused as 'with a private, unsurfaced lane that was narrow and did not allow for a vehicle to be turned, the application should be refused'.

4.3 In the assessment of the original application Transport Planning had objected on the basis that there was a lack of manoeuvring space within the curtilage of the site to enable a vehicle to enter and leave the site in forward gear.

4.4 We emphasise this application is not for a new access, but includes the creation of a space for parking which will complement the applicant's existing right of access to the lane. The refusal of the application will not prevent the use of the lane (which will continue to be private, unsurfaced and narrow) by vehicles and pedestrians. The proposed parking space will, we believe, improve the situation.

4.5 Our client, and her husband, are elderly and with constraints to their mobility affecting their day to day activities. They need to bring their car along the lane to as close to the house as possible to transport shopping or any other requirements for their daily activities. Car passengers also require transport to a point as close to the house. The nearest alternative parking is kerbside on Gas Brae and an available space can be upward of 100m distant. While parked on Croft Terrace to carry out transfer of shopping etc. to the house, their vehicle is blocking the lane with potential issues for any other vehicle or pedestrian requiring access further along the lane to numbers 3 and 4 Croft Terrace (as shown on photo on page 4). Relocating the car to a parking space on Gas Brae (or further afield) requires additional traffic movements entering and leaving the lane and in attempting to park elsewhere.

4.6 We contend that in terms of road and pedestrian safety, both on Croft Terrace and Gas Brae, the provision of the parking space to serve the house is of benefit by reducing the number of potentially unsafe traffic movements back and forth along the lane and using the junction with Gas Brae. The nature of the lane will ensure very low driving speed which should pose no safety issue. We believe that this should alleviate the objector's concern regarding traffic movements on the lane. Additionally, the parking space created frees up parking space on Gas Brae which is itself constrained with parked cars along its length (as shown on photo below).



Gas Lane illustrating parking occupied along its length, narrow width with no pavement on west side—leading to footpath network at foot of lane.

4.7 We have set out a scenario for a simple normal daily movement of a vehicle in the following table and diagram as further justification that the creation of a parking space is acceptable in terms of the Council's road safety considerations.

Current situation – no parking space at house	Proposed situation – parking space at house	Comments
<p>The applicant's vehicle or any other vehicle accesses the lane to stop in front of the house and leaves that lane at some point. Both trips cannot be carried out in forward gear.</p>	<p>The applicant's vehicle or any other vehicle accesses the lane, parks in space in front of house, and leaves that lane at some point. Both trips cannot be carried out in forward gear.</p>	<p>The same situation exists with both – accessing and leaving the lane cannot both be done in forward gear.</p> <p>The proposal does not worsen the situation in terms of the inability to make both trips in forward gear.</p> <p>Without consent for a parking space the applicant (and visiting vehicles) will continue to access and leave the lane.</p> <p>The parking space will enable a significantly reduced number of trips being made by vehicles in and out of the lane—Croft Terrace (as highlighted below).</p>
Likely scenario	Likely scenario	Comments
<p>The applicant leaves the house and walks to Gas Brae to collect car (or further if no parking available), enters lane in car (trip 1) and parks in front of house to pick up her husband/anything needing transporting and then leaves lane in car (trip 2)</p> <p>At later time, the applicant returns from trip and enters lane in car (trip 3) and parks in front of house to drop off her husband, other passenger, shopping etc. then leaves lane in car (trip 4) to park on Gas Brae (or further afield) then walks back to house.</p>	<p>The applicant and her husband/passenger etc. enter car in parking space and leave lane in car (trip 1)</p> <p>At later time, the applicant returns from trip and enters lane in car (2) and parks in front of house in parking space to drop off her husband, other passenger, shopping etc. Car remains in space until next trip.</p>	<p>Without a parking space every 'trip' away from home involves twice as many movements in and out of the lane. The same situation would apply in relation to any visitor to the house.</p> <p>The proposal improves the situation by halving the number of vehicle trips on the lane—Croft Terrace.</p>
<p>Following from scenario above, every trip involves manoeuvring a vehicle on Gas Brae (or further afield) 2 times to access a parking space.</p>	<p>No need to park on Gas Brae.</p>	<p>The proposal improves the situation by removing any road safety issues arising from attempting to park on Gas Brae (or further afield). Parking is limited on Gas Brae, the street is narrow, busy with parked cars and at its lower ends joins with the rural footpath network. These all present issues for road safety in terms of other vehicles and pedestrians.</p>

Built Heritage/Visual Impact

4.8 Mrs Anderson has prepared this proposal with concern for safeguarding the historic built environment. This property is recognised for its heritage interest and contribution to the Errol conservation area. Mrs Anderson acknowledges the sensitivity of the property and believes that the proposals to maintain and upgrade the property protect its valued character, its setting and contribution to the conservation area. Our clients concern is to ensure that the property can provide appropriate living accommodation into the future.

4.9 The external alterations will recreate the existing boundary location using reclaimed materials, while facilitating access for our client from Croft Terrace.

4.10 In this case the we believe that the Council should be assured that the proposal is acceptable in terms of the Planning (Listed Buildings and Conservation Areas)(Scotland) Act 1997, Scottish Planning Policy, Historic Environmental Scotland policy and the heritage implications of its own Local Development Plan policies Policies PM1A and PM1B: Placemaking and HE2: Listed Buildings and HE3a Conservation Areas.

4.11 We refer to the conclusion of the Reporter on the Listed Building Consent appeal (ref. LBA-340-2021) as this decision is now a material consideration in the determination of this application. The Reporter refers to the duties of the Council in relation to listed buildings and conservation areas in terms of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997. Further to this reference he states that:

‘These statutory requirements are carried forward into Scottish Planning Policy and the Historic Environment Policy Statement 2016 as well as Policy HE2 of the Perth and Kinross Local Development Plan 2014 (LDP). In essence this policy framework emphasises the need to preserve the key features of special architectural or historic interest of listed buildings, to preserve the relationship of the building to its setting and to preserve or enhance its contribution to the character or appearance of the surrounding conservation area. Whilst there is a presumption in favour of preservation this is balanced against the acceptance that the best guarantee of that preservation is the continued beneficial use of the building and where acceptable the evolution of its structure and surroundings to accommodate this.’

4.12 In making his assessment of the key features of architectural or historic interest of the appeal building and the impact of the proposal the Reporter notes that:

‘the key determining issue is whether the garden and boundary works carried out or proposed significantly detract from these features of interest’ and concludes that:

‘I do not find that retention of the boundary line onto the front access lane is vital to preservation of the key features of architectural or historic significance of the listed building. In consequence the works carried out or proposed to be carried out would not be contrary to the *statutory duty or development plan policy noted above*.’

Further, in relation to the Conservation Area he states that:

‘As these works do not significantly detract from the setting of the listed building I find also that they would not fail to preserve or enhance the character or appearance of the Errol Conservation Area and would not therefore be in conflict with the relevant statutory duty or development plan policy noted above.’

Residential Amenity

4.13 The proposed external alterations will not cause any issues with loss of privacy to neighbouring properties. Although the garden will be terraced, this will largely be created within the existing slope of the garden and there will only minimal area of garden with any raised elevation over the existing situation. It is therefore unlikely that there will be any issue with loss of privacy to the neighbouring properties. In any case, the garden has high boundaries and the front garden areas of neighbouring properties are already overlooked from the first floor of adjacent buildings.

4.14 In terms of policy RD1: Residential Amenity of the Perth & Kinross Local Development Plan 2014, existing residential amenity of neighbouring properties and the surrounding streets will be protected. We note that the case officer's Report of Handling for the previous application 18/01103/FLL, includes in the assessment of the proposal that there will be no impact on neighbouring residential amenity.

5.0 Conclusion

5.1 We believe that the submitted information demonstrates that the proposal can be considered to comply with the policies of the Development Plan and other policy and guidance and fulfilling the Council's duties in terms of the historic environment and in seeking to ensure that all proposal create safe, accessible, inclusive places for all people (as set out in Policy PM1B).

5.2 Concluding, we contend that Mrs Anderson's proposal:

- is entirely acceptable in terms of its impact on the historic environment;
- has no adverse impact on residential amenity;
- improves access to Croft Terrace, both for her own property, for adjacent properties and improves parking availability on Gas Brae and the wider area;
- improves safety by providing passage space around a parked vehicle on the Lane;
- improves safety by reducing the number of traffic movements the applicant (and others) will make on the lane by allowing her vehicle to remain parked adjacent to the house;
- improves inclusivity of place by enabling Mr and Mrs Anderson, as elder members of the community, to continue to live as part of the community through improvements to the property to make it a lifelong home.

TCP/11/16(601) – 19/00283/FLL - Alterations to boundary wall, formation of hardstanding and erection of retaining walls (in retrospect), 2 Croft Terrace, Errol

PLANNING DECISION NOTICE

REPORT OF HANDLING

REFERENCE DOCUMENTS *(part included in applicant's submission, pages 123-133)*

PERTH AND KINROSS COUNCIL

Mrs Angie Anderson
c/o Arthur Stone Planning And Architectural Design
Limited
Alison Arthur
85 High Street
Newburgh
KY14 6DA

Pullar House
35 Kinnoull Street
PERTH
PH1 5GD

Date 18th April 2019

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT

Application Number: **19/00283/FLL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to refuse your application registered on 21st February 2019 for permission for **Alterations to boundary wall, formation of hardstanding and erection of retaining walls (in retrospect) 2 Croft Terrace Errol Perth PH2 7UE** for the reasons undernoted.

Interim Development Quality Manager

Reasons for Refusal

1. There is a lack of provision of acceptable manoeuvring space within the curtilage of the site to enable a vehicle to enter and leave the site in forward gear. The proposal is, therefore, contrary to the overarching principles of Policy PM1B, criteria (e) of Perth and Kinross Council's adopted Local Development Plan 2014 which seeks to ensure that all new proposals create safe, accessible, inclusive places for all people.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

Informatives

Please be advised as the works are largely retrospective the case has been passed back to the Enforcement Officer.

The plans and documents relating to this decision are listed below and are displayed on Perth and Kinross Council's website at www.pkc.gov.uk "Online Planning Applications" page

Plan Reference

19/00283/1

19/00283/2

19/00283/3

19/00283/4

19/00283/5

REPORT OF HANDLING

DELEGATED REPORT

Ref No	19/00283/FLL	
Ward No	P1- Carse Of Gowrie	
Due Determination Date	20.04.2019	
Report Issued by		Date
Countersigned by		Date

PROPOSAL: Alterations to boundary wall, formation of hardstanding and erection of retaining walls (in retrospect)

LOCATION: 2 Croft Terrace Errol Perth PH2 7UE

SUMMARY:

This report recommends **refusal** of the application as the development is considered to be contrary to the relevant provisions of the Development Plan and there are no material considerations apparent which justify setting aside the Development Plan.

DATE OF SITE VISIT: 1 March 2019

SITE PHOTOGRAPHS



BACKGROUND AND DESCRIPTION OF PROPOSAL

The application site relates to number 2 Croft Terrace, a south east facing residential property which forms one of a category C listed pair of adjoining Arts and Crafts style houses. Croft Terrace comprises a small lane with a row of terraced properties along its length. The site is also located within the Errol Conservation Area. There is no off-street parking provided at the property and the rear garden is restricted to a small access/garden strip. Garden ground is located to the front of the property, however, this is sloping down towards Croft Terrace.

The garden is laid to lawn with a path running through the middle. The south eastern boundary wall extends along the front and side (south west) and a mature hedge is along the north eastern boundary.

Full planning consent (18/01103/FLL) was previously sought and refused in retrospect for internal alterations and alterations to the south eastern boundary wall. The alterations included removing the wall and gate and formation of new retaining wall to allow car parking.

There was an associated listed building application (19/01101/LBC) and both full planning consent and listed building applications were refused, of which both were appealed independently to the Local Review Body (LRB) and The Planning and Environmental Appeals Division (DPEA). The LRB upheld the decision to refuse planning permission and the DPEA allowed the appeal and granted listed building consent. Due to the outcome of the listed building appeal the applicant is hereby seeking consent for the above works.

SITE HISTORY

18/01057/FLL	Alterations to dwellinghouse and boundary walls, erection of retaining walls, landscaping and associated landscaping works (in part retrospect) (application returned)
18/01081/LBC	Alteration to dwellinghouse and boundary walls (in part retrospect) (application returned)
18/01101/LBC	Alterations to dwellinghouse and boundary walls (application refused)
18/01103/FLL	Alterations to dwellinghouse and boundary walls, erection of retaining walls, landscaping and associated landscaping works (in part retrospect) (application refused)

PRE-APPLICATION CONSULTATION

Pre application Reference: N/A

NATIONAL POLICY AND GUIDANCE

The Scottish Government expresses its planning policies through The National Planning Framework, the Scottish Planning Policy (SPP), Planning Advice Notes (PAN), Creating Places, Designing Streets, National Roads Development Guide and a series of Circulars.

The Scottish Planning Policy (SPP) was published on June 23 2014. It sets out national planning policies which reflect Scottish Ministers' priorities for operation of the planning system and for the development and use of land.

The SPP promotes consistency in the application of policy across Scotland whilst allowing sufficient flexibility to reflect local circumstances. It directly relates to:

- the preparation of development plans;
- the design of development, from initial concept through to delivery; and
- the determination of planning applications and appeals.

Of relevance to this application is paragraph 141, Listed Buildings: “Change to a listed building should be managed to protect its special interest while enabling it to remain in active use. Where planning permission and listed building consent are sought for development to, or affecting, a listed building, special regard must be given to the importance of preserving and enhancing the building, its setting and any features of special architectural or historic interest.

The layout, design, materials, scale, siting and use of any development which will affect a listed building or its setting should be appropriate to the character and appearance of the building and setting. Listed buildings should be protected from demolition or other work that would adversely affect it or its setting.”

DEVELOPMENT PLAN

The Development Plan for the area comprises the TAYplan Strategic Development Plan 2016-2036 and the Perth and Kinross Local Development Plan 2014.

TAYplan Strategic Development Plan 2016 – 2036 - Approved October 2017

Whilst there are no specific policies or strategies directly relevant to this proposal the overall vision of the TAYplan should be noted. The vision states *“By 2036 the TAYplan area will be sustainable, more attractive, competitive and vibrant without creating an unacceptable burden on our planet. The quality of life will make it a place of first choice where more people choose to live, work, study and visit, and where businesses choose to invest and create jobs.”*

Perth and Kinross Local Development Plan 2014 – Adopted February 2014

The Local Development Plan is the most recent statement of Council policy and is augmented by Supplementary Guidance.

The principal policies are, in summary:

Policy RD1 - Residential Areas

In identified areas, residential amenity will be protected and, where possible, improved. Small areas of private and public open space will be retained where they are of recreational or amenity value. Changes of use away from ancillary uses such as local shops will be resisted unless supported by market evidence that the existing use is non-viable. Proposals will be encouraged where they satisfy the criteria set out and are compatible with the amenity and character of an area.

Policy PM1A - Placemaking

Development must contribute positively to the quality of the surrounding built and natural environment, respecting the character and amenity of the place. All development should be planned and designed with reference to climate change mitigation and adaptation.

Policy PM1B - Placemaking

All proposals should meet all eight of the placemaking criteria.

Policy HE3A - Conservation Areas

Development within a Conservation Area must preserve or enhance its character or appearance. The design, materials, scale and siting of a new development within a Conservation Area, and development outwith an area that will impact upon its special qualities should be appropriate to its appearance, character and setting. Where a Conservation Area Appraisal has been undertaken the details should be used to guide the form and design of new development proposals.

Proposed Perth and Kinross Local Development Plan 2 (LDP2)

Perth & Kinross Council is progressing with preparation of a new Local Development Plan to provide up-to-date Development Plan coverage for Perth & Kinross. When adopted, the Perth & Kinross Local Development Plan 2 (LDP2) will replace the current adopted Perth & Kinross Local Development Plan (LDP). The Proposed Local Development Plan 2 (LDP2) was approved at the Special Council meeting on 22 November 2017.

The representations received on the Proposed LDP2 and the Council's responses to these were considered at the Special Council meeting on 29 August 2018. The unresolved representation to the Proposed Plan after this period is likely to be considered at an Examination by independent Reporter(s) appointed by the Scottish Ministers, later this year. The Reporter(s) will thereafter present their conclusions and recommendations on the plan, which the Council must accept prior to adoption. It is only in exceptional circumstances that the Council can elect not to do this.

The Proposed LDP2 represents Perth & Kinross Council's settled view in relation to land use planning and as such it is a material consideration in the determination of planning applications. It sets out a clear, long-term vision and planning policies for Perth & Kinross to meet the development needs of the area up to 2028 and beyond. The Proposed LDP2 is considered consistent with the Strategic Development Plan (TAYplan) and Scottish Planning Policy (SPP) 2014. However, the outcome of the Examination could potentially result in modifications to the Plan. As such, currently limited weight can be given to its content where subject of a representation, and the policies and proposals of the plan are only referred to where they would materially alter the recommendation or decision.

OTHER POLICIES

Historic Environment Policy Statement 2016

This policy statement is a document to which planning authorities are directed in their consideration of applications for conservation area consent, listed building

consent for buildings of all three categories and their consideration of planning applications affecting the historic environment and the setting of individual elements of the historic environment.

Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997

Section 14 & 59 of this Act requires the Council to have special regard to the desirability of preserving Listed Buildings or their settings or any features of special architectural or historic interest which the building possesses.

INTERNAL CONSULTATION RESPONSES

Transport Planning - objects to the proposal as there is a lack of provision of acceptable manoeuvring space within the curtilage of the site to enable a vehicle to enter and leave the site in forward gear.

REPRESENTATIONS

No letters of representation were received within the statutory timescale, however, one late comment was received which raised the following point:

1. Road safety concerns

The above point is addressed in the Appraisal section of the report.

ADDITIONAL INFORMATION RECEIVED:

Environmental Impact Assessment (EIA)	Not Required
Screening Opinion	Not Required
EIA Report	Not Required
Appropriate Assessment	Not Required
Design Statement or Design and Access Statement	Submitted
Report on Impact or Potential Impact eg Flood Risk Assessment	Not Required

APPRAISAL

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for the area comprises the approved TAYplan 2016 and the adopted Perth and Kinross Local Development Plan 2014.

The determining issues in this case are whether; the proposal complies with development plan policy; or if there are any other material considerations which justify a departure from policy.

Policy Appraisal

The property is contained within the Errol Conservation Area in an established residential area that contains some particular listed buildings of merit. The main policy considerations seek to ensure that new development is compatible with its sensitive surroundings and does not raise any significant adverse issues. The proposal is not considered to comply with Policy PM1B sub category E for the reasons stated elsewhere in this report.

Visual Amenity and Impact on Listed Building/Conservation Area

The existing garden wall and gate on the south east boundary have been removed and a new retaining boundary wall formed using reclaimed bricks, stone coping, railings and gate. The boundary line has been altered to allow parking which will have a hardcore surface. Others works to the garden include forming 3 terraces with retaining walls.

There is detailed description of the special architectural features of the outside of the pair of semi-detached houses. Description of the setting, grounds and boundary treatment is limited to the description of an ashlar-coped rubble boundary wall with iron gates.

The key issues noted in the Reporters decision are whether the garden and boundary works carried out significantly detract from the setting of the listed building. The Reporters view is that these works do not significantly detract from the setting of the Listed Building and whilst not within the remit of the Listed Building appeal the Reporters view is that the proposal would not fail to preserve or enhance the character or appearance of the Errol Conservation Area, which I accept.

Landscape

The proposal is located within existing garden ground, therefore, raises no landscaping issues.

Residential Amenity

No impact on neighbouring residential amenity.

Roads and Access

The applicants have outlined their desire for off-street parking arrangements as there is no suitable rear access from which to achieve this. Croft Terrace is a private access track which is not suitable for traffic. Visibility is very poor whilst approaching Gas Brae from Croft Terrace. I note from the late comment received that no other residents of Croft Terrace drive vehicles on the track. The proposed site plan shows an insufficient one metre gap in the wall for the parking area and as such there is no space within the parking area to leave the property in a forward gear.

It is acknowledged that the applicant's suffer from mobility difficulties in which this proposal would help to alleviate. Whilst the Reporter has commented in his report

that the alteration to the boundary wall would enable the parking of a family car in front of the property my colleagues in Transport Planning have objected to the proposal as there is a lack of provision of acceptable manoeuvring space within the curtilage of the site to enable a vehicle to enter and leave the site in forward gear.

Whilst I sympathise with the applicant's personal circumstances I have no other option other than to refuse the proposal on road safety grounds.

Drainage and Flooding

There are no flooding or drainage concerns associated with this proposal.

Conservation Considerations

The site is a listed building (category C) and is located within Errol Conservation Area which is adjacent to a number of other listed buildings. As specified above I accept the Reporters decision in terms of the alterations to the boundary wall in respect of impact on the wider Conservation Area.

Developer Contributions

The Developer Contributions Guidance is not applicable to this application and therefore no contributions are required in this instance.

Economic Impact

The economic impact of the proposal is likely to be minimal and limited to the construction phase of the development.

Conclusion

In conclusion, the application must be determined in accordance with the adopted Development Plan unless material considerations indicate otherwise. In this respect, the proposal is not considered to comply with the approved TAYplan 2016 and the adopted Local Development Plan 2014. I have taken account of material considerations and find none that would justify overriding the adopted Development Plan. On that basis the application is recommended for refusal.

APPLICATION PROCESSING TIME

The recommendation for this application has been made within the statutory determination period.

LEGAL AGREEMENTS

None required.

DIRECTION BY SCOTTISH MINISTERS

None applicable to this proposal.

RECOMMENDATION

Refuse the application

Conditions and Reasons for Recommendation

1. There is a lack of provision of acceptable manoeuvring space within the curtilage of the site to enable a vehicle to enter and leave the site in forward gear. The proposal is, therefore, contrary to the overarching principles of Policy PM1B, criteria (e) of Perth and Kinross Council's adopted Local Development Plan 2014 which seeks to ensure that all new proposals create safe, accessible, inclusive places for all people.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan

Informatives

- 1 Please be advised as the works are largely retrospective the case has been passed back to the Enforcement Officer.

Procedural Notes

Not Applicable.

PLANS AND DOCUMENTS RELATING TO THIS DECISION

19/00283/1
19/00283/2
19/00283/3
19/00283/4
19/00283/5

Date of Report 18 April 2019

2 Croft Terrace, Errol, Perthshire, PH2 7UE


Thorntons

Offers Over £118,000



Croft Terrace comprises a small lane with a row of terraced houses along its length. The terrace lies within the Errol village conservation area and is a short walking distance from the village square, shopping and business amenities therein. Errol has a good range of local amenities, post office, primary school and benefits from regular commuter bus services to the cities of Dundee and Perth. Errol is approximately midway between the two cities and has straightforward access to arterial roads for commuting. This particular property is Category "C" Listed and is a stylish, mid terraced villa with a south facing outlook and front garden which is enclosed and accessed from a pedestrian lane. There is limited vehicle access to the front of the property with a small access/garden strip to the rear and north of the building. Ground level accommodation comprises a lounge, a sitting/dining room, small galley style kitchen with utility area. On the upper landing there is a split level stair giving access to three good sized bedrooms, two of the bedrooms having a south facing outlook with uninterrupted views over open farmland and towards the River Tay and Fife hills beyond. There is also a bathroom on the upper level. The property is in need of refurbishment throughout and this has been fully reflected within the asking price and highlighted within the Home Report.

Features of the property include double glazed windows and gas fired central heating system. The staircase and flooring are excellent examples of some of the original features of the property. Viewing is strongly recommended to fully appreciate the location, local amenities, the spacious accommodation as well as the potential to create a comfortable family home.

Upon entering the village of Errol proceed to the village square. At the village square proceed down Gas Brae. Approximately halfway on the right is the access lane to Croft Terrace. The property is the third on the row on the right hand side of the lane.

Please note: access lane leading to Croft Terrace is not a publicly adopted road and the necessary rights of access will be granted to the successful purchaser, subject to corresponding shared maintenance obligations.

2 Croft Terrace, Errol, Perthshire, PH2 7UE

Room Dimensions

Entrance Vestibule	6'3 x 3'2	(1.91m x 0.97m)
Entrance Hall	4'10 x 5'10	(1.47m x 1.78m)
Lounge	11'10 x 14'1	(3.61m x 4.29m)
Sitting/Dining	11'3 x 13'11	(3.43m x 4.24m)
Galley Kitchen	12'0 x 4'9	(3.66m x 1.45m)
Utility Space	11'10 x 4'8	(3.61m x 1.42m)
Bedroom	12'8 x 9'8	(3.86m x 2.95m)
Bedroom	11'4 x 13'11	(3.45m x 4.24m)
Bedroom	9'1 x 8'7	(2.77m x 2.62m)
Bathroom	6'7 x 4'7	(2.01m x 1.40m)



Illustrative only. Not to scale.



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Perth: 17-21 George Street, Perth, Perthshire PH1 5JY
Tel 01738 443456

E: perth@thorntons-law.co.uk

Anstruther: Tel 01333 310481 E: anstruther@thorntons-law.co.uk

Arbroath: Tel 01241 876633 E: arbroath@thorntons-law.co.uk

Cupar: Tel 01334 656564 E: cupar@thorntons-law.co.uk

Dundee: Tel 01382 200099 E: dundee@thorntons-law.co.uk

Forfar: Tel 01307 466886 E: forfar@thorntons-law.co.uk

Montrose: Tel 01674 673444 E: montrose@thorntons-law.co.uk

St Andrews: Tel 01334 474200 E: standrews@thorntons-law.co.uk

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On Street
Parking



EPC Rating



2 Public



3/4 Bed



1 Bath



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Note: While Thorntons make every effort to ensure that all particulars are correct, no guarantee is given and any potential purchasers should satisfy themselves as to the accuracy of all information.
Floor plans or maps reproduced within this schedule are not to scale, and are designed to be indicative only of the layout and location of the property advertised.

TCP/11/16(601) – 19/00283/FLL - Alterations to boundary wall, formation of hardstanding and erection of retaining walls (in retrospect), 2 Croft Terrace, Errol

REPRESENTATIONS

Comments to the Development Quality Manager on a Planning Application

Planning Application ref.	19/00283/FLL	Comments provided by	Mike Lee Transport Planning Officer
Service/Section	Transport Planning	Contact Details	[REDACTED]
Description of Proposal	Alterations to boundary wall, formation of hardstanding and erection of retaining walls (in retrospect)		
Address of site	2 Croft Terrace Errol Perth PH2 7UE		
Comments on the proposal	<p>Insofar as the Roads matters are concerned I object to this proposal on the following grounds.</p> <p>Croft Terrace is a narrow private access which is not suited for vehicular traffic. Visibility is very poor approaching Gas Brae from Croft Terrace. At present no other residents use Croft Terrace as a vehicle access.</p> <p>The proposed site plan shows an insufficient 1m (scaled from plan) opening in the existing wall to the parking area. The parking area shown will not allow for vehicles to turn and exit the property in a forward gear.</p>		
Recommended planning condition(s)			
Recommended informative(s) for applicant			
Date comments returned	18/4/19		

