

TCP/11/16(358)
Planning Application 15/00297/FLL – Extension to form garage and ancillary accommodation, Middle Third, Tullibardine, Auchterarder, PH3 1NJ

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TCP/11/16(358)

**Planning Application 15/00297/FLL – Extension to form
garage and ancillary accommodation, Middle Third,
Tullibardine, Auchterarder, PH3 1NJ**

**PAPERS SUBMITTED
BY THE
APPLICANT**



Pullar House 35 Kinnoull Street Perth PH1 5GD

Tel: 01738 475300

Fax: 01738 475310

Email: onlineapps@pkc.gov.uk

Applications cannot be validated until all necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 000117978-001

The online ref number is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the Planning Authority about this application.

Applicant or Agent Details

Are you an applicant, or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:

arum resources ltd

Ref. Number:

First Name: *

Grant

Last Name: *

Simpson

Telephone Number: *

01764 650047

Extension Number:

Mobile Number:

Fax Number:

Email Address: *

arumresources@talktalkbusiness.net

You must enter a Building Name or Number, or both:*

Building Name:

Building Number:

56

Address 1 (Street): *

monteath street

Address 2:

Town/City: *

crieff

Country: *

UK

Postcode: *

PH7 3BL

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

| | |
|-----------------------|--|
| Title: * | <input type="text" value="Mr"/> |
| Other Title: | <input type="text"/> |
| First Name: * | <input type="text" value="David and Wendy"/> |
| Last Name: * | <input type="text" value="Wallace"/> |
| Company/Organisation: | <input type="text"/> |
| Telephone Number: | <input type="text"/> |
| Extension Number: | <input type="text"/> |
| Mobile Number: | <input type="text"/> |
| Fax Number: | <input type="text"/> |
| Email Address: | <input type="text"/> |

You must enter a Building Name or Number, or both:*

| | |
|-----------------------|---|
| Building Name: | <input type="text" value="Middle Third"/> |
| Building Number: | <input type="text"/> |
| Address 1 (Street): * | <input type="text" value="Tullibardine"/> |
| Address 2: | <input type="text"/> |
| Town/City: * | <input type="text" value="Auchterarder"/> |
| Country: * | <input type="text" value="Scotland"/> |
| Postcode: * | <input type="text" value="PH3 1NJ"/> |

Site Address Details

| | |
|---------------------|--|
| Planning Authority: | <input type="text" value="Perth and Kinross Council"/> |
|---------------------|--|

Full postal address of the site (including postcode where available):

| | | | |
|------------|---|-----------------------|---|
| Address 1: | <input type="text" value="Middle Third"/> | Address 5: | <input type="text"/> |
| Address 2: | <input type="text" value="Tullibardine"/> | Town/City/Settlement: | <input type="text" value="Auchterarder"/> |
| Address 3: | <input type="text"/> | Post Code: | <input type="text" value="PH3 1NJ"/> |
| Address 4: | <input type="text"/> | | |

Please identify/describe the location of the site or sites.

| | | | |
|----------|-------------------------------------|---------|-------------------------------------|
| Northing | <input type="text" value="713364"/> | Easting | <input type="text" value="291997"/> |
|----------|-------------------------------------|---------|-------------------------------------|

Description of the Proposal

Please provide a description of the proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Erection of single storey extension to existing bungalow with garage provision, demolition of existing garage required

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time of expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

The application has been refused on the basis of size, shape and form of the extension. We believe that there are material conditions that have not been considered in full by the officer, and these are present in greater detail in supporting documents. We also contest that the extension would impact on the visual amenity of the area.

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made? *

☐ Yes ☒ No

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

local review body statement (attached)
appendix a (attached)
appendix b (attached)
appendix c (attached)
appendix d (attached)

Application Details

Please provide details of the application and decision.

What is the application reference number? *

15/00297/FLL

What date was the application submitted to the planning authority? *

23/02/15

What date was the decision issued by the planning authority? *

07/04/15

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☒ Yes ☐ No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☐ Yes ☒ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

No

Checklist - Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant? *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare - Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Grant Simpson

Declaration Date: 22/04/2015

Submission Date: 22/04/2015

Dear Sirs

LOCAL REVIEW BODY STATEMENT

RE: PROPOSAL OF EXTENSION TO BUILD GARAGE AND ANCILLARY ACCOMMODATION AT MIDDLE THIRD, TULLIBARDINE, AUCHTERARDER, PH3 1NJ

PLANNING REF 15/00217/FLL

We are moved to appeal to the local review body regarding the decision given by Perth and Kinross Planning Department on the above application. We will not bring any new information to the board's attention, however we do feel there is a need to clarify a number of points which have been noted in the delegated report which are misleading and inaccurate. It is unfortunate that this appeal is required, as given time, and the opportunity to address the concerns raised, we are sure that the Planning Department would accept the logic of the proposals,

Please note that as the applicant was unable to obtain a meeting with the planning officer (please refer to email dated 01.04.2015 attached at **appendix A.**) we would request that the applicant is allowed to make a verbal statement of 5 minutes or so, and to respond to any questions that the panel may have. The applicant has also provided the panel with a written personal statement on the need for this accommodation at **appendix B.** It is our view that this should be considered as a material consideration when assessing the proposal. This particularly supports Policy RD6: Particular Needs Housing Accommodation.

SUMMARY

The summary states that the *"report recommends refusal as the development is considered to be contrary to the relevant provisions of the development plan and there are no material considerations apparent which justify setting aside the development plan."* We would strongly contest that there are material considerations in line with Perth and Kinross Council Policy RD6: Particular Needs Housing Accommodation, amongst others. The whole basis of the proposed design is to ensure that the accommodation is comfortably sized, yet retains a degree of independence. In addition the design has been chosen not to overpower the existing dwelling but to provide the minimum provision likely to be required.

BACKGROUND AND DESCRIPTION OF PROPOSAL

In the background and description of proposal the property is described as *"a modern detached bungalow which sits amongst a rural group of houses between Tullibardine and Auchterarder. This detailed application seeks planning to extend the house in order to form ancillary accommodation and garaging, with a biomass heating system installed in a cellar beneath the garage."* We would argue that it does not sit amongst a rural group of houses. It is separated from a group of houses by a large building merchant and it cannot be argued that this forms part of a grouping as there are three separate identities within the proximity. The older housing, commercial area and the modern

bungalow of the applicant. The existing bungalow is dominated by the building merchant's portal frame building.

SITE HISTORY – ACCEPTED.

PRE-APPLICATION CONSULTATION

Although the report states *Not Applicable*, a pre application discussion was held with Keith Stirton where he advised that he accepted the site could take an extension of the scale proposed on the site, however he had concerns about the layout. (Please see attached email correspondence dated 29.01.215 **appendix C**). In this he provided guidance on what he would like to see, yet was unwilling to consider the proposal from the end users point of view. The officer, in our view, appeared to be overly concerned about the internal layout and corridor created by the proposed extension.

NATIONAL POLICY AND GUIDANCE

DEVELOPMENT PLAN - ACCEPTED

TAY plan STRATEGIC DEVELOPMENT PLAN 2012-2032-APPROVED JUNE 2012 – ACCEPTED .

We believe that the development complies with this plan particularly on sustainability issues.

PERTH AND KINROSS LOCAL DEVELOPMENT PLAN 2014- ADOPTED FEBRUARY 2014. (ACCEPTED IN PART)

Please refer to OTHER POLICIES below.

OTHER POLICIES

Perth and Kinross Council's Placemaking guide states that;

“....an extension which recognises and respects the form of the existing building is more likely to be successful than one which ignores the design of the original. Similarly, extensions which distort the shape, scale and proportions of the existing building are less acceptable than those which respect details like roof pitch and original building span depth.

Within the context of the above we assessed the original building and ensured that:

- a) the ridge line and eaves level as existing were maintained.
- b) the materials are to match existing, with the exception of the garage where we felt timber weatherboarding would be more appropriate to help break up the profile of the building.
- c) the existing building lines are maintained. We do not feel that it overwhelms the existing building but instead seeks to replicate and compliment it. The extension is not visible from the front elevation and there are limited views from the sides and the rear. We provide a photo below indicating how little of the extension would be visible from a distance. Detailed montages have already been provided with the application indicating views nearer the proposals.



CONSULTATION RESPONSES

REPRESENTATIONS

The report says that *No letters of representation had been received in relation to this proposal.* There was a letter of support. This is available on the council website and a copy (appendix D) is attached. The letter of support reiterates the points made above, and is well worth considering the wider issues that it raises.

ADDITIONAL STATEMENTS RECEIVED - AGREED

APPRAISAL - AGREED

DESIGN AND LAYOUT

The only comment beyond the usual policy reasons given by the planning officer is:
"However, the proposed development duplicates the footprint of the house with an extended projection to the rear. The formation is to be linked to the house by a hall and porch, leaving a narrow corridor with a Northerly orientation in between the two living quarters. The proposed plan layout would result in a narrow corridor with an unwelcoming 'tunnel effect' as it would not receive sunlight and little daylight."

Given that this is the only specific item raised by the planning officer we do have to query his interpretation of this. It would be quite acceptable to construct two new 2 storey dwellings 2 metres apart, gable to gable. Here we have a 4m wide area with a single storey to each side which would allow vastly more light. We addressed these concerns within our supporting statement but given it has been raised again it should be reiterated as follows;

- a) the passage is aligned north west and receives both daylight and direct sunlight during the latter half of the day in summer. This is the ideal time for the applicant to enjoy this space.
- b) the area will be landscaped by use of slabs and chippings. This is intended to provide a pleasant seating area all users of the house can enjoy. Plants in pots can be moved in on out of this area.

c) due to the constraints of vehicles accessing the garages – this area cannot be reorientated to face South East.

LANDSCAPE

RESIDENTIAL AMENITY

It is obvious that there is ample residential amenity within the application with or without the use of the corridor.

VISUAL AMENITY

“The proposals result in an awkward relationship with the existing house as they do not respect the shape, form proportions or compositions of the existing house”

As there is a need for a given size of the extension to allow and plan for the future needs of the occupants ie wheelchair use, there is very little that can be done to reduce the size of the extension.

The layout has been designed with the anticipated deterioration of the user's health in mind, so no further disruptive alterations should be required. We have duplicated exactly the same form, proportions and composition of the existing house and while we accept it is large it can be supported on the plot and it is suitable for the user. The applicant should not be penalised for thinking ahead. We do not see how it will have an adverse impact of the visual amenity of the area in any way.

ROADS AND ACCESS - AGREED

DRAINAGE AND FLOODING - AGREED

DEVELOPER CONTRIBUTIONS - AGREED

ECONOMIC IMPACT - AGREED

CONCLUSION

As indicated above we;

- a) Believe it is in line with the aims of the relevant plans
- b) The end users ability to use the property must be a major consideration in this instance.

APPLICATION PROCESSING TIME

We feel that a hasty decision has been made on this. We had requested a meeting with the officer when it became apparent that he was minded to refuse this application (please see email dated 01.04.2015 **appendix A.**) This request was not responded to and we believe a decision has been made without being able to fully put our case to the officer.

LEGAL AGREEMENTS - AGREED

DIRECTION BY SCOTTISH MINISTERS - AGREED

RECOMMENDATION – AS DISPUTED ABOVE

JUSTIFICATION – AS DISPUTED ABOVE

INFORMATIVES - AGREED

PROCEDURAL NOTES PLANS AND DOCUMENTATIONS RELATING TO THIS DECISION - AGREED

CONCLUDING NOTES

In addition to the above, it is not clear that the officer has taken into account the existing detached garage that is to be demolished as part of this proposal. This should be taken into account when considering loss of amenity ground available.

Finally the panel will be aware that it would not be beyond the ability of the applicant to utilise their permitted development rights to obtain a very similar footprint over time. However from a design viewpoint the necessary use of the lowpitch / flat roofing would clash horribly with the existing. It must be preferable to provide an extension that reflects the original build and is in character with buildings of that type and age.

Yours faithfully

Grant Simpson
Director
Arum Resources Ltd.

From: arum resources <arumresources@talktalkbusiness.net>

To: KGStirton@pkc.gov.uk

Subject: 15/00297/FLL middle third

Keith

With regards to the above application, i have discussed your views with the applicants, and they would very much like a meeting with yourself, in order to more fully understand your concerns and reiterate their desire to extend their property to provide suitable accommodation for their family members.

If the decision period has to be extended to accommodate this then that is acceptable. I really think this would be worthwhile to both sides in this situation.

Regards

Grant Simpson
Director

For and on behalf of Arum Resources Ltd.

Tel: 01764 650047

Mob: 07546 066704

email: arumresources@talktalkbusiness.net

web: www.arumresources.co.uk

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Next

Statement by the applicant, David Wallace, Middle Third, Tullibardine.

The concept for our extension came about for 2 reasons to -

Provide accommodation that was designed to care for elderly parents with life shortening illnesses while providing maximum privacy and independence.

Create a garage to facilitate the use easy access to vehicles, and to create a covered link to the living quarters.

Firstly my parents health has started to deteriorate, my Father has suffered and is suffering from 3 forms of cancer and the subsequent side effects from aggressive life saving procedures. My mother also has life threatening illness that have been diagnosed in the past few years including liver disease, osteoporosis, breathing difficulties and a heart condition. As well as these life threatening illnesses my mother is blind in one eye and is partially deaf.

We started to consider how we would look after them several years ago. We witnessed first hand how my parents cared for their elderly mothers, constant toing and froing to my grandmothers houses. When they weren't with them, the constant worrying about their safety was all consuming. We want to do the right thing and care for my parents, in an environment that was purpose built, that offers independency and privacy but can provide 24 hour care when required.

We decided that if we were going to look after them in the future, it would be easier if they were close at hand. We also wanted to plan in advance, we felt there was no point in waiting till they needed 24 care. If we are to look after my parents we want to start this extension now! They have never had a new home of their own, as farm workers they have always had tied houses. They are so excited about living in a new house that's easy to heat. We really want them to enjoy the building as independent people, safe in the knowledge it is designed to suit all their future needs.

To begin with the building will provide accommodation for two fairly able bodied people. Initially we designed it for two people, small and compact. We then reflected back to my grand mothers homes both of whom ended up in wheelchairs. They eventually needed to seek residential care as their homes were unable to cope with equipment needed to care for them. Prior to going into care, one of my grandmothers had a commode/temporary toilet in her living room as she was unable to access her own bathroom. This was our only option but it was humiliating and undignified for her and something we do not wish my parents to put up with.

We decided at this point it would be sensible to design a building of a suitable size that could accommodate all the equipment needed to care for people if they became disabled still offering a degree of independency and privacy. We drew on advice given by the Wheelchair Housing Design Guide from the Building Research Establishment.

This advice has resulted in the size and proportion you see before you. We have kept the sizing to an absolute minimum as we do not wish to overshadow our existing house. To keep the building neat and compact instead of sprawling we mirrored the garage size to reflect the new house section and joined them up. By keeping the garage the same dimension as the new house this provides a double garage that we will share with my parents. Having direct access enables them to return home from shopping and unpack their car undercover. Our house is on an exposed site however the open views do make up for it! If my parents were wheelchair bound and deemed able, they could pursue the option of a mobility car and having an integrated garage would allow them to access their car safely, in comfort while remaining independent. When my parents health deteriorates to such an extent that they are

not independent, we will need to take them to medical appointments. By having the integrated garage this will enable us to transfer them comfortably and safely into our car, away from the worst of the weather. The design of the building enables both parties to have privacy while being on 24 call when required. We will be able to access their apartment through the garage. Having the garage between both living areas enable us all to access tools, go to the freezer and collect fuel for our multi fuelled heating system, a luxury we will look forward to instead of braving the elements as we do now!

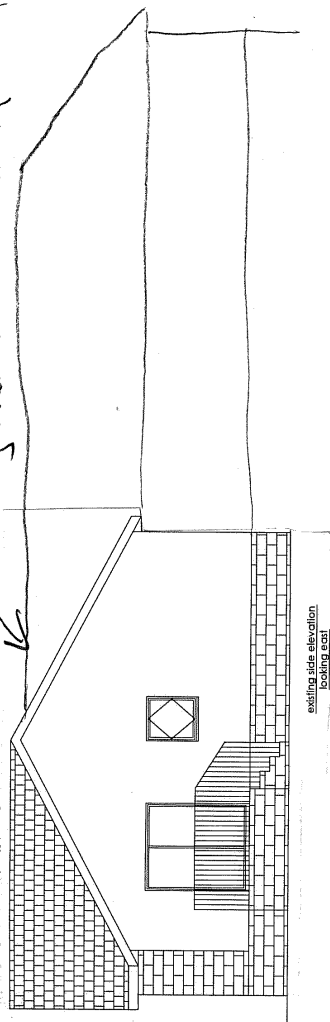
From the plans you will see that our extension is of a similar size to our existing house this design creates a courtyard between the two buildings. We are very disappointed with one of the Planning Officials complaints, he comments that the courtyard was a dark and unwelcoming back passage. This area is designed to be 4 metres wide, surrounded on 3 sides by a 3m approx. high single storey building with 28 degree roofs. He also commented that it would receive no sunlight and little daylight. It has been calculated that with 28 degree pitched roofs on 3 sides, 1 of which is a hip and 2 valley gutter details, that 95% of the floor area in the courtyard will receive sunlight at mid summer. We acknowledge that during the winter it will obviously be more shaded. This area only accounts for 2% of our plot. We feel this is a small compromise and very acceptable as I have already said, our house is in an exposed location. We feel this area will be an advantage as it will offer shelter from the prevailing south west winds or the bitterly cold easterly winds that our house suffers from almost daily. As a very keen gardener, this courtyard will provide my wife the opportunity to grow some shade loving plants, 80% of our garden receives full sun and this is an exciting addition.

As this area will receive the evening sun during the summer months. As a farm worker I do not have the luxury of enjoying the midday sun at home but I do however get to enjoy the last few hours of sunshine in the evening. This area will create a very sheltered area in which to enjoy the evening sun. We also feel this area will provide a suitable place for both my parents to relax in, mother enjoys the heat from the sun, my father however as a result of his skin cancer diagnosis prefers the shade. As the planning officer has commented on this area will provide some shade and we agree in this instance, it will be an advantage.

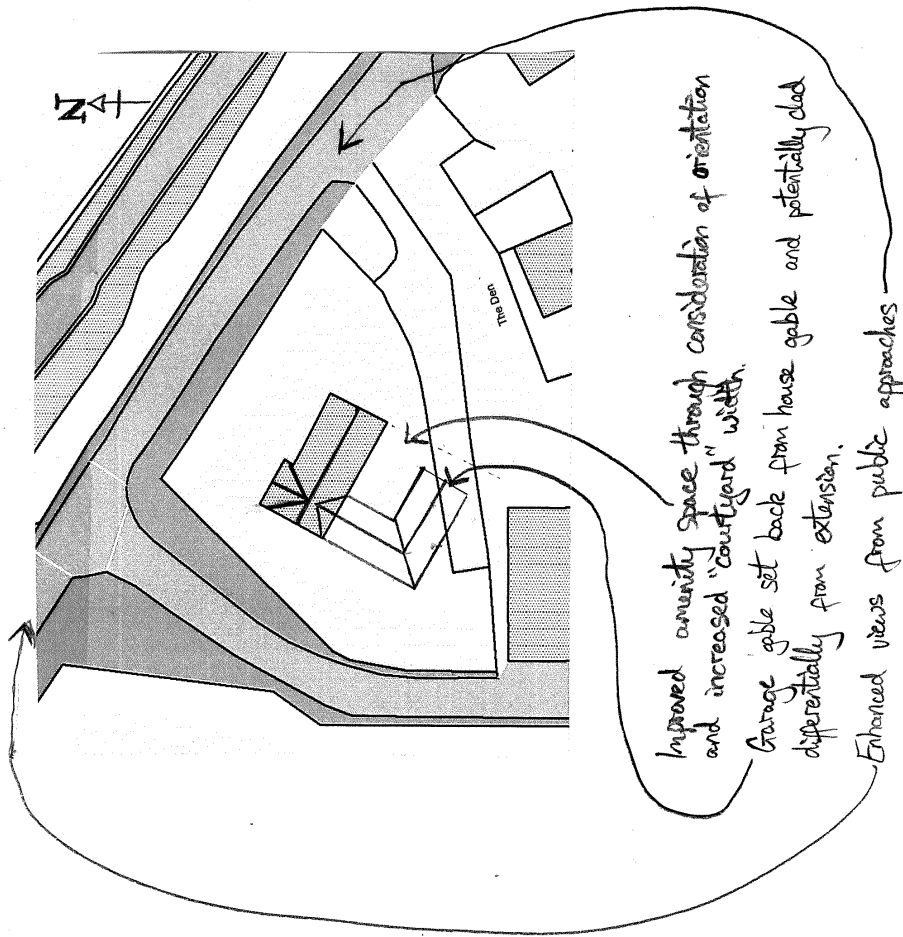
The planning officer also recorded the direction of the courtyard (passage) as Northerly it does in fact face Northwest which means the setting sun sets directly in line with the courtyard. This detail is exactly what we had in mind - a sheltered area to enjoy the evening sun setting over the distant hills while sheltered from the wind. Heavenly!

We have orientated our design to provide maximum privacy for both parties neither one of us wishes to look into or live on top of each other. Our design works for us as we have developed it over many years, having drawn from our previous building experience and we have considered many options. We have a large plot and we do not wish to demolish the existing house and start again as so many do, We feel it's a complete waste of world resources! We feel we have maximised our existing houses' potential. We want a house that looks neat, and compliments the original design. Our overall intension is to extend our house so that people will think it is original. Ultimately we want it to accommodate our lifestyle, family values and enable our family to live in a sustainable manner and reflect our environmental friendly values.

Improved relationship to house through better integration
 creating a more coherent elevation (similar to frontage, with hip).



existing side elevation
 looking east



Improved amenity space through consideration of orientation
 and increased "courtyard" width.

Garage gable set back from house gable and potentially clad
 differentially from extension.

Enhanced views from public approaches

Alternatively, detach garage from house completely?

grant simpson

From: Keith Stirton <KGStirton@pkc.gov.uk>
Sent: 29 January 2015 14:37
To: 'arumresources@talktalkbusiness.net'
Subject: RE: 14/02058/FLL Alterations and extension to dwellinghouse | Middle Third Tullibardine Auchterarder PH3 1NJ
Attachments: Middle Third.pdf

Dear Grant

Thanks for the opportunity to comment on your revised proposals prior to the formal (re)submission of an application.

Without prejudice to the assessment and determination of a formal application, I would comments as follows.

I acknowledge the significant reduction in the proportions of the scheme. However, I do retain reservations over the detailed design and its relationship to the existing house - particularly when read from the approach (on each side) along the public road. Additionally, I have concerns over the corridor which would be created between the house and ancillary accommodation, given its long, narrow nature and its Northerly orientation, which would result in an unwelcoming 'tunnel' which does not receive sun light and little day light. Therefore, I do not feel that it is a sympathetic extension of the house.

Having said that, I do remain hopeful that there is a mutually satisfactory design solution which will deliver your clients desires at the same time as being acceptable in planning terms.

As an alternative, I would encourage you to consider exploring the possibility of re-orientating the development in order to improve the site layout, design and relationship to the house. Given the cumulative size of the overall development, it may be necessary to detach the garage accommodation in order to reduce the extension of the house to an acceptable level. However, in an attempt to provide some guidance (and at the risk of over-stepping my remit), I would suggest that you explore the possibility of something similar to the attached sketches. I acknowledge that this would have implications internally, which I have not fully considered. However, I hope these issues can be addressed in your clients interest and that this is sufficient for you to make progress in the evolution of the design.

It is only by submitting a formal application that a measured and comprehensive response to a proposed development can be given as quickly as resources permit. A formal application involves considering a proposal in terms of the Development Plan and the Council's policies on the basis of detailed plans and any further information and justification which is considered necessary. Formal assessment will also involve visiting the site and the surrounding area; researching the planning history of the site and the surrounding area; carrying out any necessary consultations; and taking account of any comments received from notified neighbours and the wider public.

You should note that I have not necessarily identified all the policies or material considerations which might influence the determination of any planning application. The Council would not in any event be bound by such advice in the event that you submit a planning application.

However, please note that resources will not allow me to respond to any further pre-application enquiry regarding this proposed development.

I trust that these comments are of some assistance at this.

Kind regards

Keith Stirton
Assistant Planning Officer - Planning & Development Perth & Kinross Council The Environment Service Pullar House
35 Kinnoull Street
Perth
PH1 5GD

Tel (01738) 475328
Email KGStirton@pkc.gov.uk
Website <http://www.pkc.gov.uk/>
Please don't print unless necessary

-----Original Message-----

From: arum resources [mailto:arumresources@talktalkbusiness.net]
Sent: 28 January 2015 17:18
To: Keith Stirton
Cc: david.wallace101@gmail.com
Subject: 14/02058/FLL Alterations and extension to dwellinghouse | Middle Third Tullibardine Auchterarder PH3 1NJ

Keith

as discussed please find attached drawings showing the new proposals.

we genuinely have gone as far as we can to address your concerns, but if you have any
issues please contact me to see if we can quickly resolve these.

Regards

Grant Simpson

Director

For and on behalf of Arum Resources Ltd.

Tel: 01764 650047

Mob: 07546 066704

email: arumresources@talktalkbusiness.net

web: www.arumresources.co.uk

KS.

Tracy McManamon

From: Ronald Dalglish [REDACTED]
Sent: 20 March 2015 01:19
To: Development Management - Generic Email Account
Subject: Planning Application 15/00297/FLL - Support

East Third
Auchterarder
Perthshire
PH3 1NJ.



Dear sirs,

15/00297/FLL Extension to form garage and ancillary accommodation, Middle Third, PH3 1NJ.

I write to support the above application. As a neighbour and longstanding resident of Tullibardine I have witnessed much development in the area over my lifetime. This proposed extension to an existing property would have such a low visual impact as to go almost unnoticed. The applicant's supporting information shows a photomontage of how the proposed extension would look when viewed from the public highway. In my opinion it would be an improvement, as it softens the stark grey industrial building behind with its single storey construction and traditional materials including natural wood cladding on the garage.

The purpose of the extension is to house the applicant's parents in their old age, not to enlarge, sell and move on. The applicant, as his father did before him, works with me at East Third farm. Both father and son have contributed to shaping the landscape, so valued by the residents of Tullibardine, through tree planting, pond construction etc. It would be a travesty to deny an ageing member of the community the accommodation to enable him to live independently, surrounded by the land he devoted his life to managing.

There is undoubtedly a need for more rural housing and this proposal would seem too good an opportunity to miss. The applicant is willing to fund construction of living space suitable for elderly residents, care for his parents in their old age and minimise the cost to the state. The building would offer a visual improvement to its industrial backdrop whilst having minimal impact on the environment. Nobody would be disadvantaged by this development and I hope those considering this application agree there is a compelling argument for approval.

Yours sincerely,

Ronald W Dalglish.

Ronald W Dalglish
East Third
PH3 1NJ



FOR OFFICE USE

REF.
DATE REC'D.....

PROPOSAL OF APPLICATION NOTICE
Under the Town and Country Planning (Development Management
Procedure) (Scotland) Regulations 2013 (Regulations 4-7)

The Council will respond within 21 days of receiving the Notice. It will advise whether the proposed Proposal of Application Notice (PAN) is satisfactory or if additional notification and consultation above the statutory minimum is required. The minimum consultation activity includes consultation with the relevant community council(s), the holding of a public event, and its advertisement.

Name of Applicant

Telephone/Mobile Number

D. F. CONCERTS LTD.

Address

c/o BELL INGRAM
Postcode

Email address

Name of Agent (if applicable)

Telephone/Mobile Number

BELL INGRAM

Address

DURN, ISLA ROAD
PERTH
Postcode PH2 7HF

Postal address of the prospective development site (if applicable).

| | |
|--------------------------------|------------------|
| STRATHALLAN CASTLE AND ESTATE, | |
| AUCHTERAROEY | |
| | |
| | Postcode PH3 1JL |

If there is no postal address, describe its location in the box below.

| |
|--|
| |
|--|

In order to properly identify the site show its outline on an OS base plan and attach it to the completed Notice.

Describe below the development to be carried out. Include enough detail to enable the planning authority to determine the class of development within the new hierarchy. For example, state as applicable, the number of residential units; the floor area of buildings in square metres; the capacity of the facility; and the length of infrastructure projects.

SEE ATTACHED 1. DESCRIPTION OF DEVELOPMENT.

State which other parties have received a copy of this PAN.

SEE ATTACHED 2. PARTIES THAT HAVE RECEIVED A COPY OF THIS PAN.

Describe what consultation is being proposed. State when such consultation will take place; who will be consulted; and what form it will take.

Note: A public event held by the prospective applicant in accordance with the above requirements, is not to be held earlier than 7 days after the date and place of such an event has been published in the local newspaper.

SEE ATTACHED 3. DESCRIPTION OF CONSULTATIONS PROPOSED

Please send the completed notice to The Development Quality Manager, The Environment Service, Perth & Kinross Council, Pullar House, 35 Kinnoull Street, Perth, PH1 5GD or by email to DevelopmentManagement@pkc.gov.uk

1. Description of Development

- (a) Engineering and other operations to facilitate the establishment and use of a venue for the purposes of holding a music event (including commissioning and decommissioning; ancillary excavations or engineering operations; and formation, alteration, improvement or maintenance of roads and/or private ways and means of access to them) and associated activities described below; and
- (b) The use of existing buildings and land in July each year for the purposes of holding a music festival and associated activities including a funfair; cinema; sale and consumption of hot and cold food and drink; sale and consumption of alcohol; vehicle parking; temporary accommodation including campsites and ancillary uses.

2. Parties that have received a copy of this PAN

The following Community Councils:

- Muthill and Tullibardine
- East Strathearn
- Auchterarder and District
- Braco and Greenloaning
- Blackford
- Dunning
- Comrie and District
- Earn
- Milnathort
- Kinross
- Methven
- Fossoway
- Cleish and Blairadam

3. Description of Consultations Proposed

The following consultation events are proposed:

- Auchterarder public consultation event and exhibition at Aytoun Hall on Thursday 20 November between 16.00 and 20.00 hrs. DF Concerts staff will be available to discuss traffic, noise and environment matters with reference to plans and drawings.
- Crieff public consultation event and exhibition at Strathearn Community Campus on Friday 21 November between 10.00 and 14.00 hrs. DF Concerts staff will be available to discuss traffic, noise and environment matters with reference to plans and drawings.
- Public attending these two events will be asked to complete a simple questionnaire at the time or contact Bell Ingram after the event by letter or email with comments. Each of the Community Councils above will also be invited to attend.
- A meeting with an invited representative of each neighbouring Community Council.

TCP/11/16(358)

**Planning Application 15/00297/FLL – Extension to form
garage and ancillary accommodation, Middle Third,
Tullibardine, Auchterarder, PH3 1NJ**

PLANNING DECISION NOTICE

REPORT OF HANDLING

REFERENCE DOCUMENT

PERTH AND KINROSS COUNCIL

Mr David and Wendy Wallace
c/o Arum Resources Ltd
Grant Simpson
56 Monteath Street
Crieff
PH7 3BL

Pullar House
35 Kinnoull Street
PERTH
PH1 5GD

Date 7th April 2015

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT

Application Number: **15/00297/FLL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to refuse your application registered on 25th February 2015 for permission for **Extension to form garage and ancillary accommodation Middle Third Tullibardine Auchterarder PH3 1NJ** for the reasons undernoted.

Development Quality Manager

Reasons for Refusal

1. The proposals, by virtue of their shape, form, proportions and composition, would overwhelm the existing house and compromise its architectural integrity, resulting in an adverse impact on the visual amenity of the house and surrounding area. Approval would therefore be contrary to Policies PM1A and PM1B and the Perth & Kinross Placemaking Guide, which seek to ensure that development contributes positively to the quality of the surrounding built and natural environment by respecting the character and amenity of the place and by complementing its surroundings in terms of appearance, massing, materials, finishes and colours.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan

Notes

The plans relating to this decision are listed below and are displayed on Perth and Kinross Council's website at www.pkc.gov.uk "Online Planning Applications" page

Plan Reference

15/00297/1

15/00297/2

15/00297/3

REPORT OF HANDLING

DELEGATED REPORT

| | | |
|------------------------|-----------------|------|
| Ref No | 15/00297/FLL | |
| Ward No | N7- Strathallan | |
| Due Determination Date | 24.04.2015 | |
| Case Officer | Keith Stirton | |
| Report Issued by | | Date |
| Countersigned by | | Date |

PROPOSAL: Extension to form garage and ancillary accommodation

LOCATION: Middle Third Tullibardine Auchterarder PH3 1NJ

SUMMARY:

This report recommends **refusal** of the application as the development is considered to be contrary to the relevant provisions of the Development Plan and there are no material considerations apparent which justify setting aside the Development Plan.

DATE OF SITE VISIT: 4 March 2015

SITE PHOTOGRAPHS



BACKGROUND AND DESCRIPTION OF PROPOSAL

Middle Third is a modern detached bungalow which sits amongst a rural group of houses between Tullibardine and Auchterarder. This detailed application seeks planning permission to extend the house in order to form ancillary accommodation and garaging, with a biomass heating system installed in a cellar beneath the garage.

SITE HISTORY

14/02058/FLL Alterations and extension to dwellinghouse
Application withdrawn – 16 January 2015

PRE-APPLICATION CONSULTATION

Pre application Reference: Not Applicable.

NATIONAL POLICY AND GUIDANCE

The Scottish Government expresses its planning policies through The National Planning Framework, the Scottish Planning Policy (SPP), Planning Advice Notes (PAN), Creating Places, Designing Streets, National Roads Development Guide and a series of Circulars.

DEVELOPMENT PLAN

The Development Plan for the area comprises the TAYplan Strategic Development Plan 2012-2032 and the Perth and Kinross Local Development Plan 2014.

TAYplan Strategic Development Plan 2012 – 2032 - Approved June 2012

Whilst there are no specific policies or strategies directly relevant to this proposal the overall vision of the Tay Plan should be noted. The vision states *“By 2032 the TAYplan region will be sustainable, more attractive, competitive and vibrant without creating an unacceptable burden on our planet. The quality of life will make it a place of first choice, where more people choose to live, work and visit and where businesses choose to invest and create jobs.”*

Perth and Kinross Local Development Plan 2014 – Adopted February 2014

The Local Development Plan was adopted by Perth and Kinross Council on 3 February 2014. It is the most recent statement of Council policy and is augmented by Supplementary Guidance.

The principal policies are, in summary:

Policy PM1A - Placemaking

Development must contribute positively to the quality of the surrounding built and natural environment, respecting the character and amenity of the place. All development should be planned and designed with reference to climate change mitigation and adaption.

Policy PM1B - Placemaking

All proposals should meet all eight of the placemaking criteria.

OTHER POLICIES

Perth & Kinross Council's Placemaking Guide states that;

"The placemaking guide is not intended to limit imaginative and innovative design but discourage particularly large, unsuitable or overly cost-conscious additions and alterations which can destroy the composition of existing buildings and their surroundings... An extension which recognises and respects the form of the existing building is more likely to be successful than one which ignores the design of the original. Similarly, extensions which distort the shape, scale and proportions of the existing building are less acceptable than those which respect details like roof pitch and original building span depth.

It is nearly always necessary to avoid overwhelming existing buildings, bearing in mind that some buildings have greater 'street' presence than others. If an extension begins to match or exceed the size of the original building the architectural integrity of the original structure can often become lost. Large extensions call for particular ingenuity and imagination in order to reduce the apparent bulk of the desired additional floorspace.

To avoid being visually obtrusive, extensions should generally be clearly subordinate to the appearance of the existing house".

CONSULTATION RESPONSES

| | |
|-------------------------------------|---|
| National Grid Plant Protection Team | No objections – informative note required on any approval |
| Environmental Health | No response within allocated timeline |

REPRESENTATIONS

No letters of representation have been received in relation to this proposal.

ADDITIONAL STATEMENTS RECEIVED:

| | |
|---|--------------|
| Environment Statement | Not Required |
| Screening Opinion | Not Required |
| Environmental Impact Assessment | Not Required |
| Appropriate Assessment | Not Required |
| Design Statement or Design and Access Statement | Not Required |
| Report on Impact or Potential Impact eg Flood Risk Assessment | Not Required |

APPRAISAL

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for the area comprises the approved TAYplan 2012 and the adopted Perth and Kinross Local Development Plan 2014.

The determining issues in this case are whether; the proposal complies with development plan policy; or if there are any other material considerations which justify a departure from policy.

Policy Appraisal

In general terms developments which are ancillary to an existing domestic dwelling are considered to be acceptable in principle. However, consideration must be given to the scale, form, massing, design, position, proportions and external finishes of any proposal and whether it would have an adverse impact on visual or residential amenity.

Design and Layout

The existing bungalow has a rectangular footprint and is of a relatively plain design. The house is oriented towards the public road and is set 13m back from the grass verge. The house is situated within a fairly generous plot, measuring approximately 1,900sqm. The site is located adjacent to a handful of other houses which form a courtyard layout, with a builder's merchant building to the rear and open agricultural land to the Northwest and opposite.

The applicant's agent makes a strong case for the formation of ancillary accommodation within the curtilage of this house, and this is accepted.

However, the proposed development duplicates the footprint of the house, with an extended projection to the rear. The formation is to be linked to the house by a hall and porch, leaving a narrow corridor with a Northerly orientation in between the two living quarters. The proposed plan layout would result in a narrow corridor with an unwelcoming 'tunnel' effect as it would not receive sun light and little day light.

Landscape

The frontage of the application site is enclosed by a low-lying stock proof fence which is supplemented by juvenile beech plants. The North-western boundary has evergreen hedging and the South-western boundary is delineated by a tall wire fence. The boundary treatments would not be affected by the proposed development.

Residential Amenity

No neighbouring properties would be adversely affected by the proposals in terms of overlooking or overshadowing, given their relative positions, orientations and separation distances.

However, the concern of inadequate residential amenity within the application site itself has been noted above.

Visual Amenity

The proposals result in an awkward relationship with the existing house as they do not respect the shape, form, proportions or composition of the existing house. The proposed extension exceeds the size of the original building and it is considered to be particularly large and unsuitable as it overwhelms the existing house and compromises its architectural integrity. Approval would have an adverse impact on the visual amenity of the area, therefore the proposal is considered to be contrary to the aforementioned planning policies.

Roads and Access

There are no road or access implications associated with this proposed development.

Drainage and Flooding

There are no drainage and flooding implications associated with this proposed development.

Developer Contributions

The Developer Contributions Guidance is not applicable to this application and therefore no contributions are required in this instance.

Economic Impact

The economic impact of the proposal is likely to be minimal and limited to the construction phase of the development.

Conclusion

In conclusion, the application must be determined in accordance with the adopted Development Plan unless material considerations indicate otherwise. In this respect, the proposal is not considered to comply with the approved TAYplan 2012 or the adopted Local Development Plan 2014. I have taken account of material considerations and find none that would justify overriding the adopted Development Plan. On that basis the application is recommended for refusal.

APPLICATION PROCESSING TIME

The recommendation for this application has been made within the statutory determination period.

LEGAL AGREEMENTS

None required.

DIRECTION BY SCOTTISH MINISTERS

None applicable to this proposal.

RECOMMENDATION

Refuse the application

Reasons for Recommendation

- 1 The proposals, by virtue of their shape, form, proportions and composition, would overwhelm the existing house and compromise its architectural integrity, resulting in an adverse impact on the visual amenity of the house and surrounding area. Approval would therefore be contrary to Policies PM1A and PM1B and the Perth & Kinross Placemaking Guide which seek to ensure that development contributes positively to the quality of the surrounding built and natural environment by respecting the character and amenity of the place and by complementing its surroundings in terms of appearance, massing, materials, finishes and colours.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan

Informatives

Not Applicable.

Procedural Notes

Not Applicable.

PLANS AND DOCUMENTS RELATING TO THIS DECISION

15/00297/1

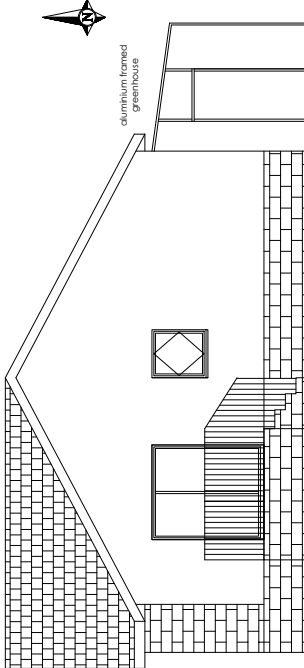
15/00297/2

15/00297/3

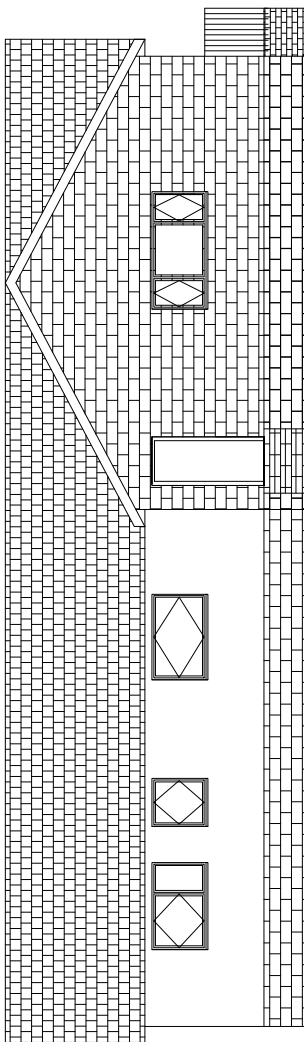
Date of Report 30.03.2015



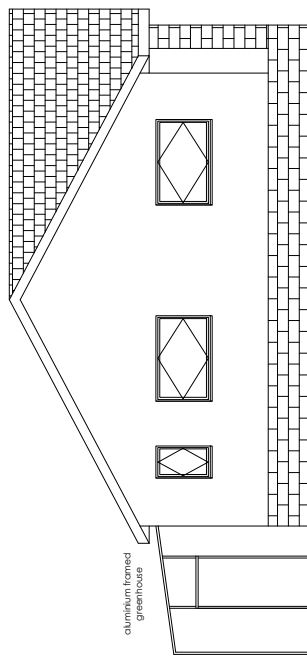
location plan
scale 1:10000



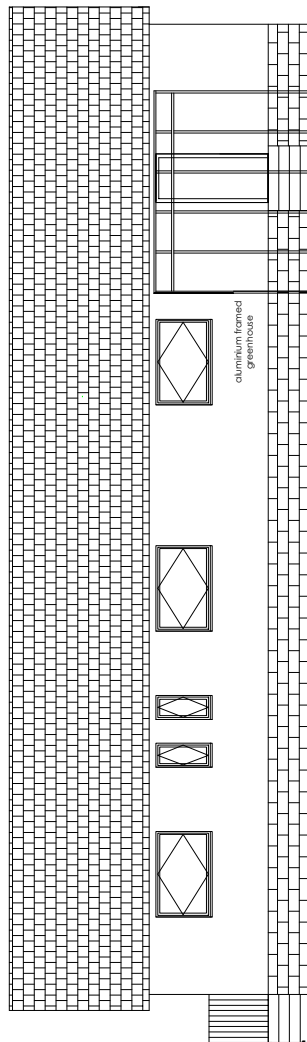
existing front elevation
looking south
scale 1:50



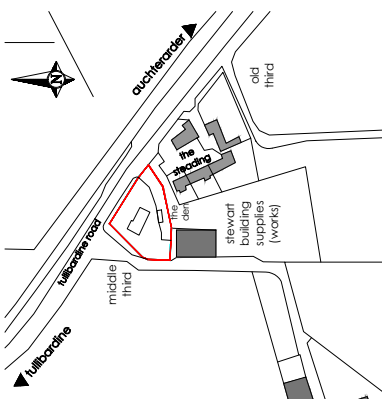
existing side elevation
looking east
scale 1:50



existing side elevation
looking west
scale 1:50

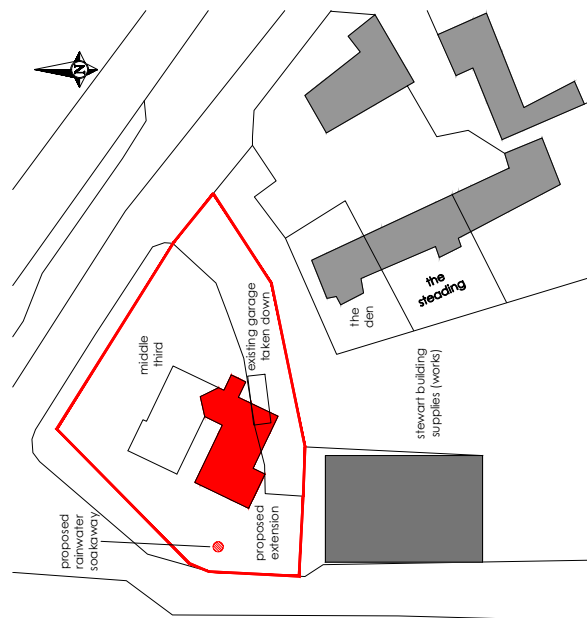


existing rear elevation
looking north
scale 1:50

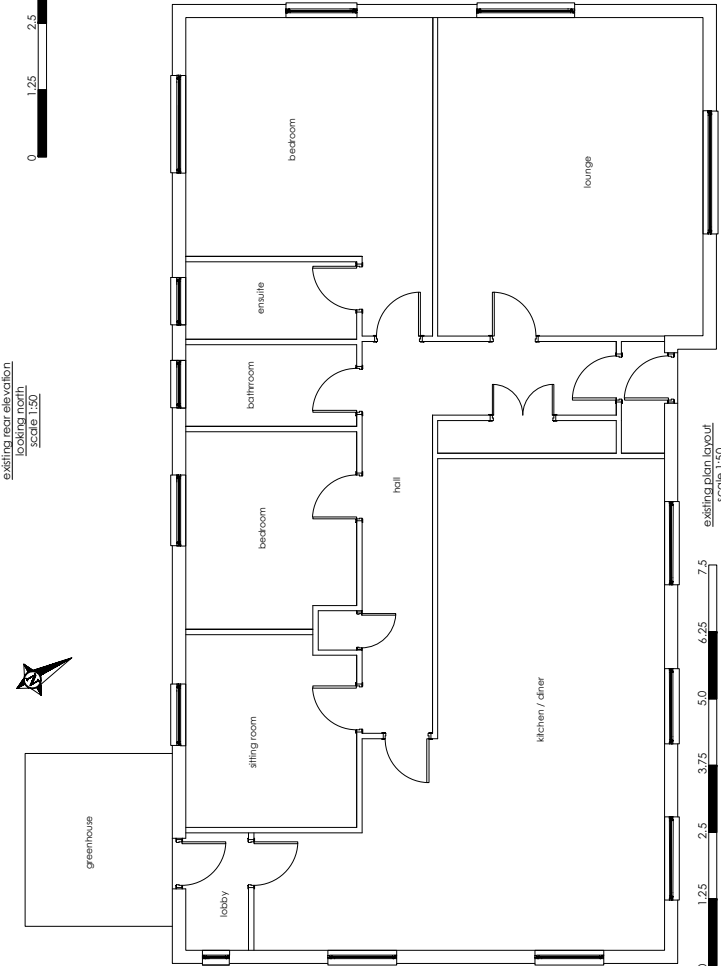


location plan
scale 1:2000

Existing dwelling materials
Roofing - grey/brown concrete tiles
External walls - white clay dash render with smooth render blond bonding around openings.
Front gable clad in random colour Mestone.
Underbuild in random colour Mestone.
Rainwater goods - brown UPVC.
Fences - brown timber with black boards.
Windows - double glazed UPVC.
Clits - blond precast concrete.



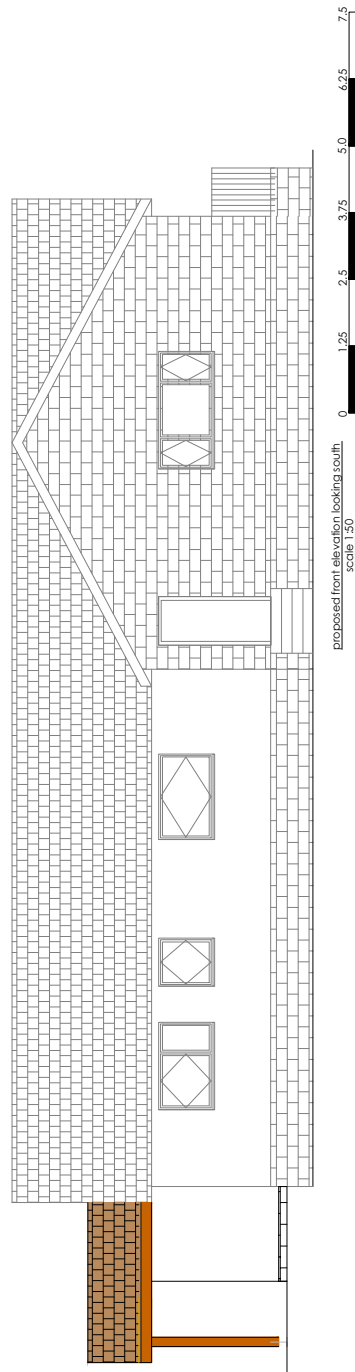
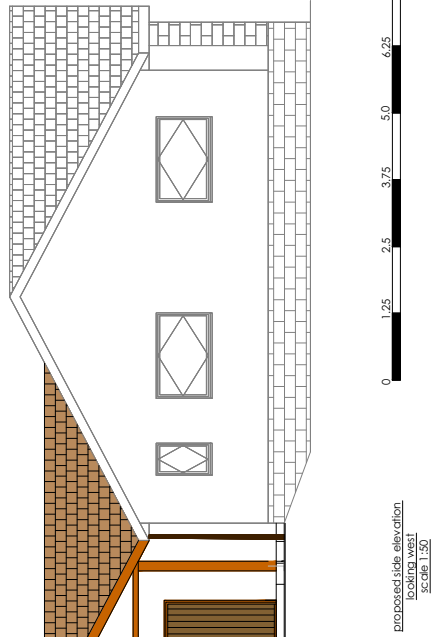
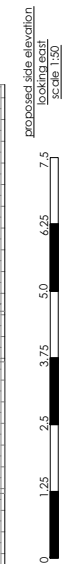
block plan
scale 1:500



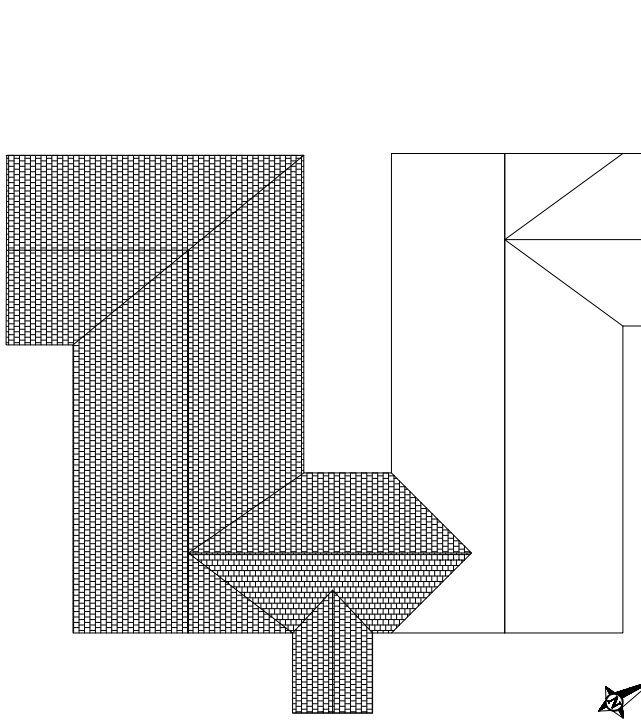
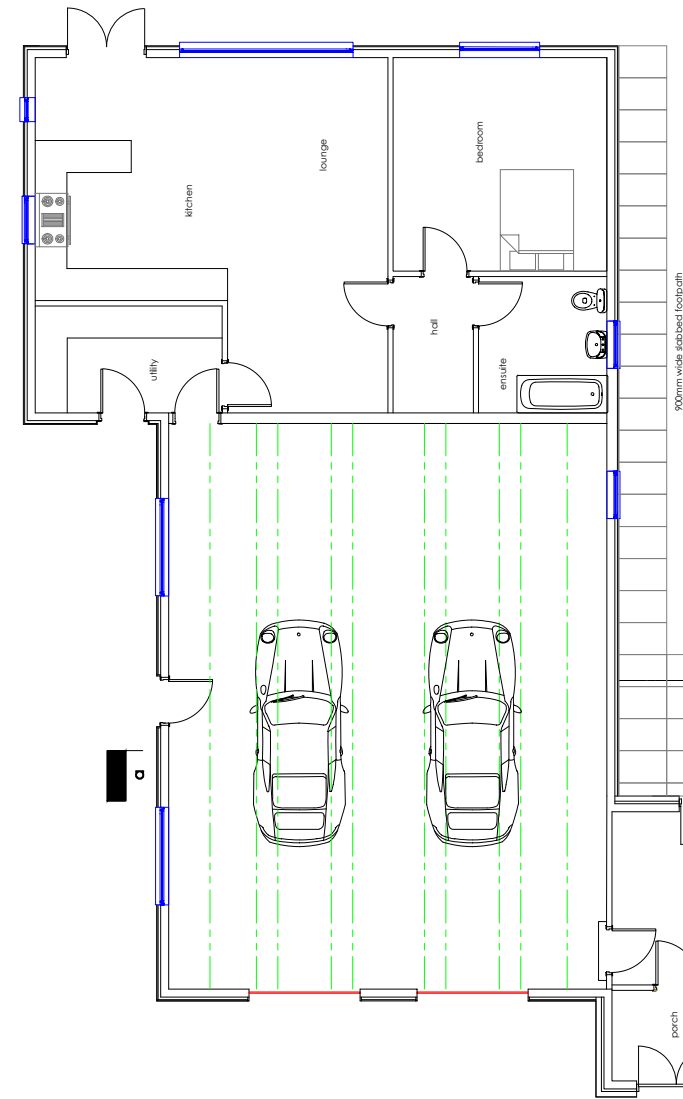
existing plan layout
scale 1:50

| | |
|--|------------------|
| client: david + wendy walace | |
| project: middle third - proposed extension | |
| dwg title: existing plan, elevations and location plan | dwg no: 19401/01 |
| scale as shown | date 2002.18 |

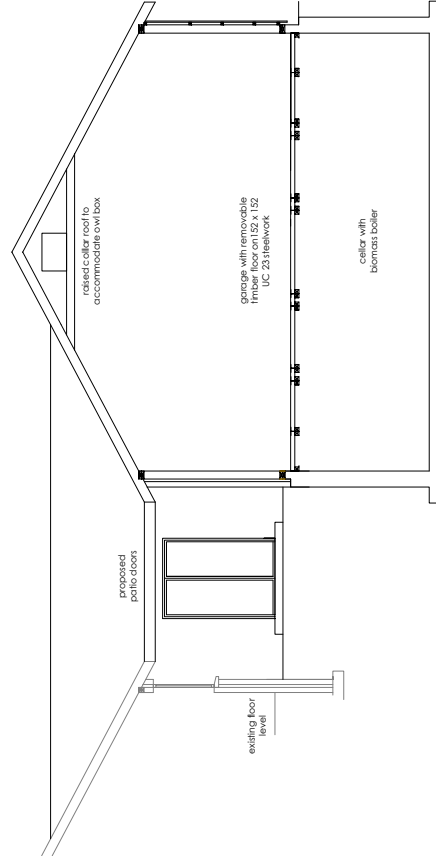
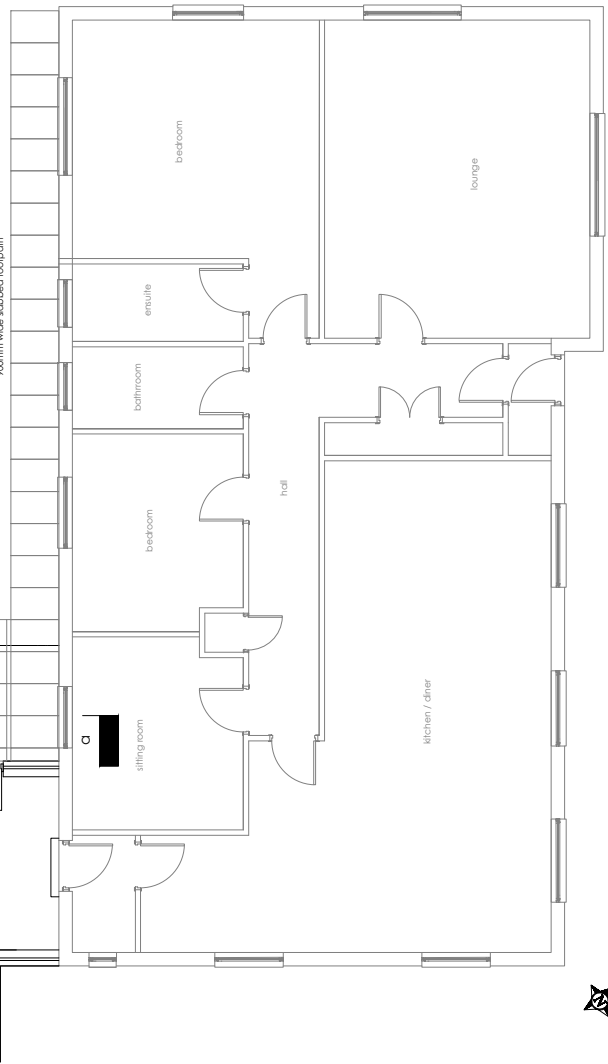
- Roofing - grey/brown concrete tiles - to match existing
- External walls - white dry cast render with smooth render bond banding around openings - to match existing
- Brown Timber cladding to garage area.
- Underbuilt in random colour Mestone - to match existing
- Reinwater/garage - brown uPVC - to match existing
- Fascias - brown timber with fascia boards - to match existing
- Windows and Doors - brown uPVC
- Clis - bond precast concrete or timber on timber clad areas - to match existing



| | | |
|--|-------------------|------------------|
| client: david + wendy wallace | | |
| project: middle third - proposed extension | | |
| dwg title: proposed elevations | scale as shown | date 20.02.14 |
| dwg no: 198/01/02 | | |



proposed roof layout
scale 1:100



section a-a
scale 1:50



rev a - scale revised on proposed roof plan

client: david + wendy wallace

project: middle third - proposed extension

dwg title: proposed plan

dwg no: 19101/00a

scale
as shown

date
20.03.18

TCP/11/16(358)

Planning Application 15/00297/FLL – Extension to form garage and ancillary accommodation, Middle Third, Tullibardine, Auchterarder, PH3 1NJ

REPRESENTATIONS

- Representation from the National Grid, dated 3 and 10 March 2015
- Email of support from Ronald Dalglish, dated 20 March 2015
(included in applicant's submission, see page 159)

Nick Brian
Perth and Kinross Council
Pullar House
35 Kinnoull Street
Perth
PH1 5GD

National Grid Electricity Emergency Number:
0800 40 40 90*

National Gas Emergency Number:
0800 111 999*

* Available 24 hours, 7 days/week.
Calls may be recorded and monitored.

www.nationalgrid.com

Date: 03/03/2015
Our Ref: XX_TS_Z3_3NWP_003887
Your Ref: 15/00297/FLL (jh)
RE: Formal Planning Application, PH3 1NJ, Middle Third Tullibardine Auchterarder

Thank you for your enquiry which was received on 27/02/2015.
Please note this response and any attached map(s) are valid for 28 days.

An assessment has been carried out with respect to National Grid Electricity Transmission plc's and National Grid Gas plc's apparatus. Please note it does not cover the items listed in the section "Your Responsibilities and Obligations", including gas service pipes and related apparatus.

For details of National Grid's network areas please see the National Grid website
(<http://www.nationalgrid.com/uk/Gas/Safety/work/>) or the enclosed documentation.

Are My Works Affected?

National Grid has identified that it has apparatus in the vicinity of your enquiry which may be affected by the activities specified.

Can you please inform National Grid, as soon as possible, the decision your authority is likely to make regarding this application.

If the application is refused for any other reason than the presence of National Grid apparatus, we will not take any further action.

Please let us know whether National Grid can provide you with technical or other information that may be of assistance to you in the determination of the application.

As your proposed activity is in close proximity to National Grid's Transmission assets we have referred your enquiry/consultation to our Asset Protection team for further detailed assessment. We request that you do not commence work or take further action with regards to your proposal until you hear from us. We will endeavour to contact you within 21 days from the date of this response. Please contact us at assetprotection@nationalgrid.com if you have not had a response within this time frame.

Due to the presence of National Grid apparatus in proximity to the specified area, the contractor should contact National Grid before any works are carried out to ensure our apparatus is not affected by any of the proposed works.

Your Responsibilities and Obligations

The "Assessment" Section below outlines the detailed requirements that must be followed when planning or undertaking your scheduled activities at this location.

It is your responsibility to ensure that the information you have submitted is accurate and that all relevant documents including links are provided to all persons (either direct labour or contractors) working for you near National Grid's apparatus, e.g. as contained within the Construction (Design and Management) Regulations.

This assessment solely relates to National Grid Electricity Transmission plc (NGET) and National Grid Gas plc (NGG) apparatus. This assessment does **NOT include:**

- National Grid's legal interest (easements or wayleaves) in the land which restricts activity in proximity to National Grid's assets in private land. You must obtain details of any such restrictions from the landowner in the first instance and if in doubt contact National Grid.
- Gas service pipes and related apparatus
- Recently installed apparatus
- Apparatus owned by other organisations, e.g. other gas distribution operators, local electricity companies, other utilities, etc.

It is **YOUR** responsibility to take into account whether the items listed above may be present and if they could be affected by your proposed activities. Further "Essential Guidance" in respect of these items can be found on the National Grid Website (<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>).

This communication does not constitute any formal agreement or consent for any proposed development work; either generally or with regard to National Grid's easements or wayleaves nor any planning or building regulations applications.

NGG and NGET or their agents, servants or contractors do not accept any liability for any losses arising under or in connection with this information. This limit on liability applies to all and any claims in contract, tort (including negligence), misrepresentation (excluding fraudulent misrepresentation), breach of statutory duty or otherwise. This limit on liability does not exclude or restrict liability where prohibited by the law nor does it supersede the express terms of any related agreements.

If you require further assistance please contact the National Grid Plant Protection team via e-mail ([click here](#)) or via the contact details at the top of this response.

Yours faithfully

National Grid Plant Protection Team

ASSESSMENT

Affected Apparatus

The National Grid apparatus that has been identified as being in the vicinity of your proposed works is:

- **National Gas Transmission Pipelines and associated equipment**

As your proposal is in proximity to National Grid's apparatus, we have referred your enquiry / consultation to the following department(s) for further assessment:

- **Land and Development Asset Protection Team (High Pressure Gas Transmission and Electricity Transmission Apparatus)**

We request that you take no further action with regards to your proposal until you hear from the above. We will contact you within 28 working days from the date of this response. Please contact us if you have not had a response within this timeframe.

Requirements

BEFORE carrying out any work you must:

- **Ensure that no works are undertaken in the vicinity of our gas pipelines and that no heavy plant, machinery or vehicles cross the route of the pipeline until detailed consultation has taken place.**
- Carefully read these requirements including the attached guidance documents and maps showing the location of National Grid apparatus.
- Contact the landowner and ensure any proposed works in private land do not infringe National Grid's legal rights (i.e. easements or wayleaves). If the works are in the road or footpath the relevant local authority should be contacted.
- Ensure that all persons, including direct labour and contractors, working for you on or near National Grid's apparatus follow the requirements of the HSE Guidance Notes HSG47 - 'Avoiding Danger from Underground Services' and GS6 – 'Avoidance of danger from overhead electric power lines'. This guidance can be downloaded free of charge at <http://www.hse.gov.uk>
- In line with the above guidance, verify and establish the actual position of mains, pipes, cables, services and other apparatus on site before any activities are undertaken.

GUIDANCE

High Pressure Gas Pipelines Guidance:

If working in the vicinity of a high pressure gas pipeline the following document must be followed:
'Specification for Safe Working in the Vicinity of National Grid High Pressure Gas Pipelines and Associated Installations - Requirements for Third Parties' (SSW22). This can be obtained from:
<http://www2.nationalgrid.com/WorkArea/DownloadAsset.aspx?id=33968>

National High Pressure Gas Pipelines Guidance:

<http://www.nationalgrid.com/NR/rdonlyres/9934F173-04D0-48C4-BE4D-82294822D29C/51893/Above7barGasGuidance.pdf>

Dial Before You Dig Pipelines Guidance:

<http://www2.nationalgrid.com/WorkArea/DownloadAsset.aspx?id=33969>

Standard Guidance

Essential Guidance document:

<http://www.nationalgrid.com/NR/rdonlyres/6D6525F9-59EB-4825-BA89-DBD7E68882C7/51319/EssentialGuidance.pdf>

General Guidance document:

<http://www2.nationalgrid.com/WorkArea/DownloadAsset.aspx?id=35103>

Excavating Safely in the vicinity of gas pipes guidance (Credit card):

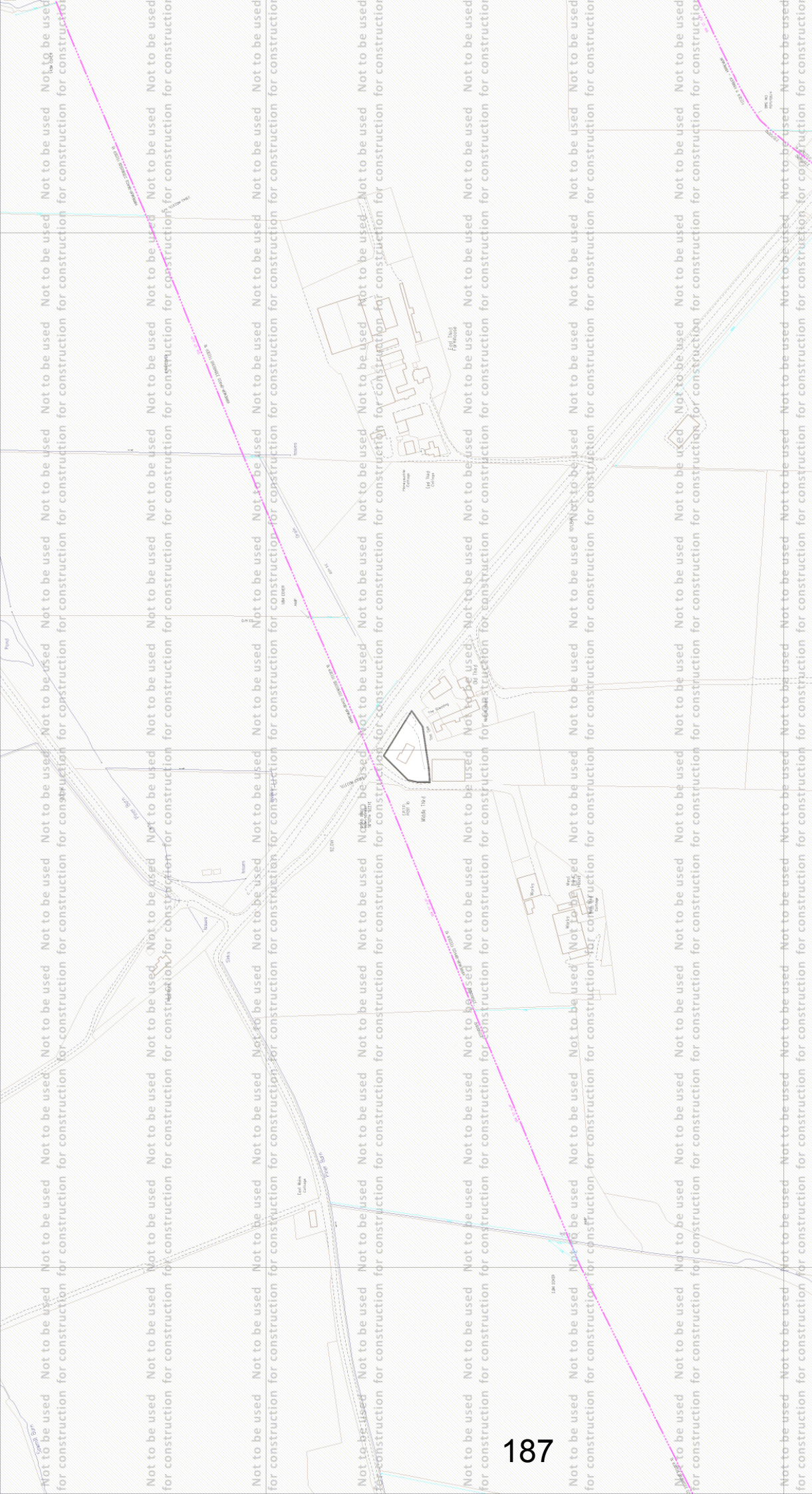
<http://www.nationalgrid.com/NR/rdonlyres/A3D37677-6641-476C-9DDA-E89949052829/44257/ExcavatingSafelyCreditCard.pdf>







Excavating Safely in the vicinity of electricity cables guidance (Credit card):

<http://www.nationalgrid.com/NR/rdonlyres/35DDEC6D-D754-4BA5-AF3C-D607D05A25C2/44858/ExcavatingSafelyCreditCardelectricitycables.pdf>

Copies of all the Guidance Documents can also be downloaded from the National Grid Website:

<http://www.nationalgrid.com/uk/Gas/Safety/work/downloads/>



| | | | | | | | |
|--|--|--|--|--|--|---|--|
| ID: XX_TS_Z3_3NWP_003887 | | View extent: 1445m, 785m | | Do not proceed without further consultation | | Map 1 of 1 (GAS) | |
| USER: Jodie.Hunter | | LP MAINS MP MAINS IP MAINS LHP MAINS NHP MAINS | |  | | <p>This plan shows those pipes owned by National Grid Gas plc in its role as a Licensed Gas Transporter (GT). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information with regard to such pipes should be obtained from the relevant owners. The information shown on this plan is given without warranty, the accuracy thereof cannot be guaranteed. Service pipes, valves, syphons, stub connections, etc., are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by National Grid Gas plc or their agents, servants or contractors for any error or omission. Safe digging practices, in accordance with HS(G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information included on this plan should not be referred to beyond a period of 28 days from the date of issue.</p> | |
| DATE: 03/03/2015 | | | | | | | |
| DATA DATE: 02/03/2015 | | | | | | | |
| REF: 15/00297/FLL (jh) | | | | | | | |
| MAP REF: NN9213 | | | | | | | |
| CENTRE: 292004, 713364 | | | | | | | |
|  Valve | |  Depth of Cover | |  Syphon | |  Diameter Change | |
| | | | | | |  Material Change | |
| 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| | | | | | | |

ENQUIRY SUMMARY

Received Date

27/02/2015

Your Reference

15/00297/FLL (jh)

Location

Centre Point: 292004, 713364

X Extent: 71

Y Extent: 46

Postcode: PH3 1NJ

Location Description: PH3 1NJ,Middle Third Tullibardine Auchterarder

Map Options

Paper Size: A4

Orientation: LANDSCAPE

Requested Scale: 500

Actual Scale: 1:5000 (GAS)

Real World Extents: 1445m x 785m (GAS)

Recipients

pprsteam@nationalgrid.com

Enquirer Details

Organisation Name: Perth and Kinross Council

Contact Name: Nick Brian

Email Address: nbrian@pkc.gov.uk

Telephone: 01738 475 310

Address: Pullar House, 35 Kinnoull Street, Perth, PH1 5GD

Description of Works

P/A Extension to form garage and residential annexe Middle Third Tullibardine Auchterarder (db)

Enquiry Type

Formal Planning Application

Development Types

Development Type: Development for use by General Public

Nick Brian
Perth and Kinross Council
Pullar House
35 Kinnoull Street
Perth
PH1 5GD

Taffy Chikandwa
Asset Protection Assistant
Business & Operation Support
Gas Transmission Asset Management
National Grid
Warwick
Direct Tel: 01926 655 619
Email: Taffy.Chikandwa@nationalgrid.com

Planning Work?

Contact us on 0800 688 588*

Mon-Fri 8am-4pm

(*Calls may be recorded and monitored)

E-mail: Plantprotection@nationalgrid.com

Electricity Emergency Number:

0800 40 40 90*

National Gas Emergency Number:

0800 111 999*

*Available 24 hours, 7 days/week.

Calls may be recorded and monitored.

www.nationalgrid.com

Date: 10th of March 2015
Our Reference: XX_TS_Z3_3NWP_003887
Your Reference: 15/00297/FLL

Dear Nick Brian,

Ref: Planning Application for the Extension to form Garage and Residential Annexe

National Grid has No Objection to the above proposal which is in close proximity to a High-Pressure Gas Pipeline – Feeder FM10 - Crieff to Bathgate.

I have enclosed a location map to show the location of National Grid high-pressure gas pipeline(s) within the vicinity of your proposal and associated information below.

Yours sincerely

Taffy Chikandwa

Asset Protection Assistant

EAGLES (Electricity And Gas Location Enquiry System)

Is now available to use simply click on the link to register www.beforeyoudig.nationalgrid.com, submit details of your proposed works and receive instant guidance and if appropriate maps showing the location of National Grid gas and electric apparatus.

PLEASE READ CAREFULLY

- No buildings should encroach within the Easement strip of the pipeline indicated above
- No demolition shall be allowed within 150 metres of a pipeline without an assessment of the vibration levels at the pipeline. Expert advice may need to be sought which can be arranged through National Grid.
- National Grid has a Deed of Easement for each pipeline which prevents change to existing ground levels, storage of materials. It also prevents the erection of permanent / temporary buildings, or structures. If necessary National grid will take action to legally enforce the terms of the easement.
- We would draw your attention to the Planning (Hazardous Substances) Regulations 1992, the Land Use Planning rules and PADHI (Planning Advise for Developments near Hazardous Installations) guidance published by the HSE, which may affect this development.
- To view the PADHI Document, please use the link below: <http://www.hse.gov.uk/landuseplanning/padhi.pdf>
- You should be aware of the Health and Safety Executives guidance document HS(G) 47 "Avoiding Danger from Underground Services", and National Grid's specification for Safe Working in the Vicinity of National Grid High Pressure gas pipelines and associated installations - requirements for third parties T/SP/SSW22. You should already have received a link to download a copy of T/SP/SSW/22, from our Plant protection Team, which is also available to download from our website.
- To view the SSW22 Document, please use the link below:
<http://www2.nationalgrid.com/WorkArea/DownloadAsset.aspx?id=33968>
- A National Grid representative will be monitoring the works to comply with SSW22.
- To download a copy of the HSE Guidance HS(G)47, please use the following link:
<http://www.hse.gov.uk/pubns/books/hsg47.htm>
- National Grid will also need to ensure that our pipelines access is maintained during and after construction.
- Our pipelines are normally buried to a depth cover of 1.1 metres however; actual depth and position must be confirmed on site by trial hole investigation under the supervision of a National Grid representative. Ground cover above our pipelines should not be reduced or increased.
- If any excavations are planned within 3 metres of National Grid High Pressure Pipeline or, within 10 metres of an AGI (Above Ground Installation), or if any embankment or dredging works are proposed then the actual position and depth of the pipeline must be established on site in the presence of a National Grid representative. A safe working method must be agreed prior to any work taking place in order to minimise the risk of damage and ensure the final depth of cover does not affect the integrity of the pipeline.
- Excavation works may take place unsupervised no closer than 3 metres from the pipeline once the actual depth and position has been confirmed on site under the supervision of a National Grid representative. Similarly, excavation with hand held power tools is not permitted within 1.5 metres from our apparatus and the work is undertaken with NG supervision and guidance.

Pipeline Crossings

- Where existing roads cannot be used, construction traffic should ONLY cross the pipeline at locations agreed with a National Grid engineer.
- All crossing points will be fenced on both sides with a post and wire fence and with the fence returned along the easement for a distance of 6 metres.
- The pipeline shall be protected, at the crossing points, by temporary rafts constructed at ground level. No protective measures including the installation of concrete slab protection shall be installed over or near to the National Grid pipeline without the prior permission of National Grid. National Grid will need to agree the material, the dimensions and method of installation of the proposed protective measure. The method of

installation shall be confirmed through the submission of a formal written method statement from the contractor to National Grid.

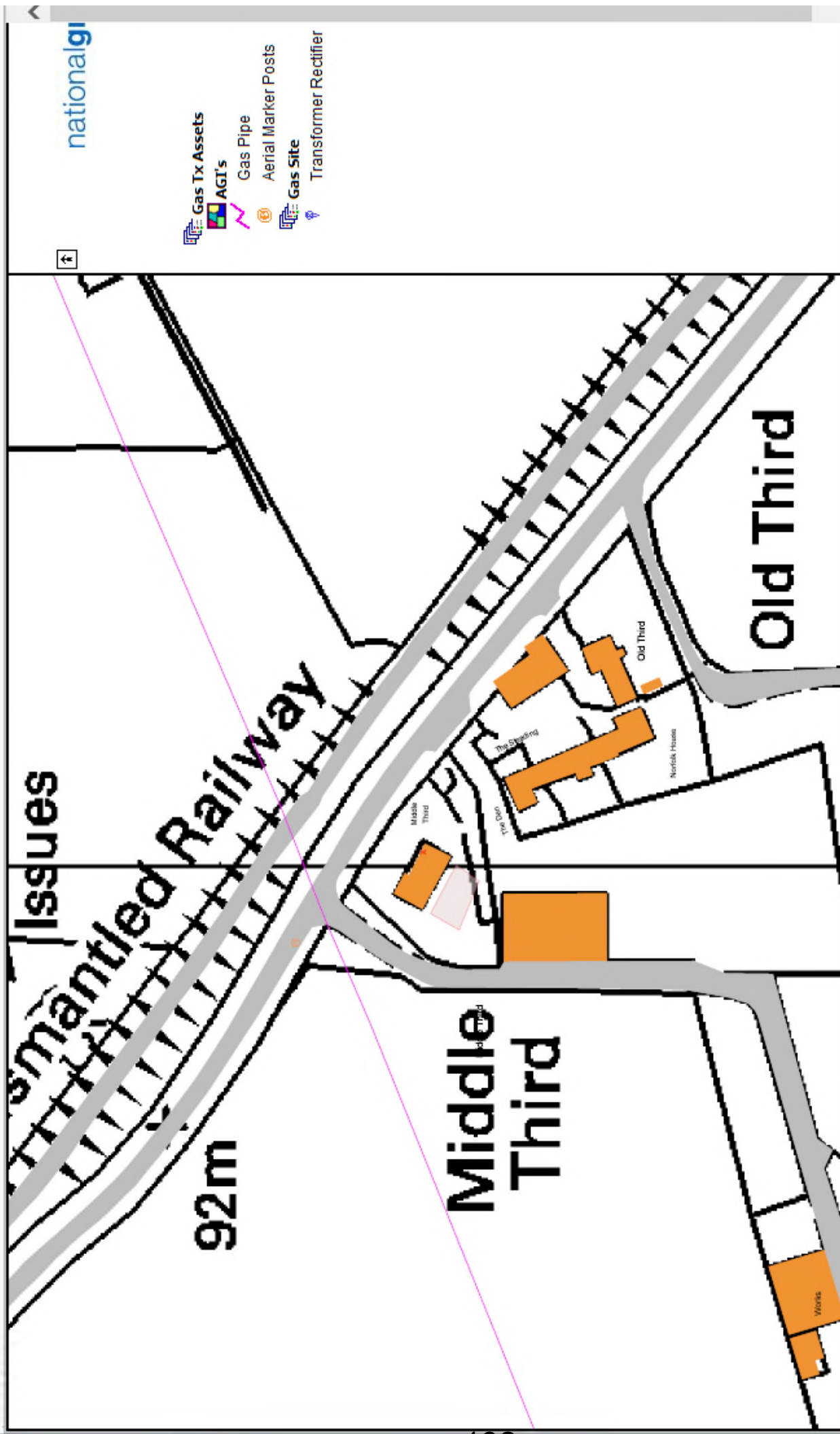
- Please be aware that written permission from National Grid is required before any works commence within the National Grid easement strip.
- A National Grid representative shall monitor any works within close proximity to the pipeline to comply with National Grid specification T/SP/SSW22.
- A Deed of Indemnity is required for any crossing of the easement including cables

Cables Crossing

- Cables may cross the pipeline at perpendicular angle to the pipeline i.e. 90 degrees.
- A National Grid representative shall supervise any cable crossing of a pipeline.
- An impact protection slab should be laid between the cable and pipeline if the cable crossing is above the pipeline.
- Where a new service is to cross over the pipeline a clearance distance of 0.6 metres between the crown of the pipeline and underside of the service should be maintained. If this cannot be achieved the service must cross below the pipeline with a clearance distance of 0.6 metres.

All work should be carried out in accordance with British Standards policy

- BS EN 13509:2003 - Cathodic protection measurement techniques
- BS EN 12954:2001 - Cathodic protection of buried or immersed metallic structures – General principles and application for pipelines
- BS 7361 Part 1 - Cathodic Protection Code of Practice for land and marine applications
- National Grid Management Procedures



Background Mapping information has been reproduced

Produced by 10.34.44.165 14:11 04/03/2015

National Grid UK Transmission. The asset position