

<p>LRB-2021-28 21/00719/FLL – Alterations and extension to dwellinghouse, Newhall Farm, Solsgirth</p>

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LRB-2021-28
21/00719/FLL – Alterations and extension to dwellinghouse,
Newhall Farm, Solsgirth

**PAPERS SUBMITTED
BY THE
APPLICANT**



Pullar House 35 Kinnoull Street Perth PH1 5GD Tel: 01738 475300 Fax: 01738 475310 Email: onlineapps@pkc.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100399724-002

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation: Andrew Megginson Architecture

Ref. Number:

You must enter a Building Name or Number, or both: *

First Name: *

Andrew

Building Name:

Andrew Megginson Architecture

Last Name: *

Megginson

Building Number:

Telephone Number: *

0131 557 9129

Address 1
(Street): *

128 Dundas Street

Extension Number:

Address 2:

New Town

Mobile Number:

Town/City: *

Edinburgh

Fax Number:

Country: *

Scotland

Postcode: *

EH3 5DQ

Email Address: *

andrew@andrewmegginsonarchitecture.com

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Other"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text" value="Mr./ Mrs."/>	Building Name:	<input type="text" value="Newhall Farm"/>
First Name: *	<input type="text" value="D"/>	Building Number:	<input type="text"/>
Last Name: *	<input type="text" value="Broome"/>	Address 1 (Street): *	<input type="text" value="Solsgirth"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Dollar"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="FK14 7NE"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="REDACTED"/>		

Site Address Details

Planning Authority:	<input type="text" value="Perth and Kinross Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="NEWHALL FARM"/>
Address 2:	<input type="text" value="SOLSGIRTH"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="DOLLAR"/>
Post Code:	<input type="text" value="FK14 7NE"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="694989"/>	Easting	<input type="text" value="298197"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Alterations and extension to dwellinghouse Newhall Farm Solsgirth Dollar FK14 7NE

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

See review statement

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

See document list in review statement

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

21_00719_FLL

What date was the application submitted to the planning authority? *

22/04/2021

What date was the decision issued by the planning authority? *

04/06/2021

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☐ Yes ☒ No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure *

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

To see first hand that the proposals are acceptable and gain a full understanding of the property. The planning officer did not visit the site and we feel this may have resulted in the property and site not being fully evaluated with all of its merits.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☒ Yes ☐ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Andrew Megginson

Declaration Date: 19/07/2021

Alterations and Extension to Newhall Farm, Solsgirth, Dollar

Mr. & Mrs. Broome

Review against a decision by Perth and Kinross Council to refuse a house extension
at Newhall Farm, Dollar

Application Reference: 21/00719/FLL

Date: July 2020

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1. Introduction
2. The Site and Context
3. The Proposed Works
4. Conclusion



Appeal Document List

Document	Title	Format
Review Document 1	Decision Notice	Electronic
Review Document 2	Planning Application Form	Electronic
Review Document 3	Rural Location Plan	Electronic
Review Document 4	Location Plan	Electronic
Review Document 5	Site Plan	Electronic
Review Document 6	Existing Plans	Electronic
Review Document 7	Proposed Site plan	Electronic
Review Document 8	Proposal Plans	Electronic
Review Document 9	Handling Report	Electronic



1. Introduction

- 1.1 This Review Statement has been prepared on behalf of Mr. & Mrs. Broome in support of a review against the refusal of a planning application to alter and extend their dwellinghouse at Newhall Farm, Dollar (Review Document 1).
- 1.2 The application was received by Perth and Kinross Council on Thursday 22nd of April 2021 and validated on Friday 7th May 2021, with the following documents;
- Planning application (Appeal document 2) and
 - Various Drawings and supporting information (Appeal documents 3-8).

The Decision for the planning application was issued on 4th June 2021 although the deadline date was more than a month later on the 6th July 2021.

- 1.3 The planning application has been refused for the following reason;
- *“The proposals, by virtue of their unsympathetic design, bulk, scale and visual massing, excessive proportions, poor form and composition would overwhelm and unbalance the existing cottage and compromise its architectural integrity, resulting in an adverse impact on the visual amenity of the cottage and surrounding area.*
- Approval would therefore be contrary to Policies 1A and 1B(c) of the Perth and Kinross Local Development Plan 2 (2019) which seek to ensure that development contributes positively to the character and amenity of the place by complementing its surroundings in terms of design, appearance, height, scale and massing.”*

- 1.4 This review statement has been prepared by Andrew Megginson Architecture (AMA) on behalf of Mr. & Mrs. Broome (hereafter referred to together as the ‘applicant’). The application site comprises the building and curtilage at Newhall Farm, Dollar (hereafter referred to as either the ‘application site’, ‘site’ or ‘property’). This document is structured as follows;
- Section 2 describes the site and context,
 - Section 3 provides a summary of the proposals, discusses these in the context of the refusal report and appraises material considerations against which the proposals should be judged.
 - Section 4 reaches conclusions in relation to the acceptability of the planning application in the context of material considerations.



2. The Site and Context



Figure 2.1 – Historic aerial view of the dwellinghouse and associated outbuilding, neighbouring dwelling and agricultural buildings adjacent to the site.



Figure 2.2 – View of the rear of the house, formerly the front however it is used as the rear by the applicant.





Figure 2.3 – View of the front of the house, formerly the rear however it is used as the front by the applicant with the main access point being the side door into the hall/ existing kitchen.

- 2.1 The property is a detached 1 ½ storey dwellinghouse with an adjacent outbuilding. The property lies within a collection of buildings including other residential properties and agricultural buildings. The property itself is in need of renovation but contains many features of note including traditional materiality and well ordered form and opening arrangements.
- 2.2 The character of the local area in which the property lies can be described as rural with the buildings laid out in a general formal layout to the access track.
- 2.3 Access is gained from an existing farm track that connects to the B913 to the West of the property.



3. The Proposed Works

3.1 The application seeks planning consent to alter and extend a dwellinghouse at Newhall Farm, Dollar

3.2 The main branches of the development include;

- Reconstructing a dilapidated roof onto the existing adjacent barn structure replicating that which was there historically to create a storage area.
- Extending the existing house by forming an infill between the house and the outbuilding.

3.3 Prior to going into detail in this section it should be noted that there is an error within the refusal report. The planning officer states that the proposed storage area has a ground and first floor area, this is not the case. The storage area is on the ground level only and has a vaulted ceiling to the roof structure, as the site slopes from front to back stairs connecting the higher level at the front and lower level at the rear are required. The planning officer has acknowledged this as an oversight.

3.4 Further to the above the planning officer has noted that the hip to the roof of the outbuilding is “incongruous”. As can be seen within figure 2.1, a hip historically existed to the outbuilding and was also reflected in the former barn building across the access track so this is not incongruous.

3.5 Upon further discussion and presentation of evidence provided to the planning officer we asked the following question; “I would assume a standalone application where we were looking to add a hipped roof replicating that historically would be seen as approvable?”, to which the planning officer replied “Yes I wouldn’t foresee any issues with that.”. On this basis we feel that the proposed work should be considered that we are simply reinstalling a former roof, which when the applicant came into ownership of the property still existed but had been allowed to fall into disrepair by the former owner so it had to be removed for safety related issues, and that the extension proposals are only really considered to be an infill between the existing house and outbuilding.



Figure 3.1 – North elevation drawing showing only the infill coloured.





Figure 3.2 – South elevation drawing showing only the infill coloured.

3.6 The brief was to create a new generous living space with an emphasis on height and openness, the Southern aspect and views to the garden. At present the main entrance, which is actually the side entrance to the kitchen is not very welcoming nor is this area externally either generally. The first part of the extension establishes an entranceway with a generous double door. Upon entering a visual link through to the garden via another set of glazed double doors with glazed panels to the sides draws one into the open plan living space. The double height, generous and light filled space will create a stunning feature upon arrival. A sitting, dining and kitchen area with a stove will connect to existing rooms of the house consisting of a snug/ library area and a scullery/ utility/ pantry area which will compliment this main space acting as the heart of the home.

The existing derelict barn will have the roof rebuilt replicating that which existed historically.

Externally glass and timber cladding are used between the existing house and derelict barn to signify that this part is a modern link between the two. This is further reinforced above where the roof material is zinc and a grey membrane between the existing slate of the house and the proposed slate of the former derelict barn. The roof line of the infill will be in line with the barn and will sit below the roof line of the house. At the rear (South) elevation set back glazing will infill between the house and barn reinforcing these as separate elements.

3.7 The placemaking policies state that development must contribute positively to the quality of the surrounding built and natural environment. The design, density and siting of development should respect the character and amenity of the place. At the beginning of the appraisal within the planning officers report of handling the following is noted;

“The new additions would provide an extremely generous footprint of approximately 180sqm more than doubling the existing, already extended, footprint..”

3.8 As noted before the proposals should be treated by way that the only the infill between the house and outbuilding is the only real extension to the house and site. The existing house footprint is 156sqm, the



existing outbuilding footprint is 107sqm and the proposed linking element will be 72sqm. As can be seen from this information the extension will actually have a footprint that is less than 50% of the footprint of the house meaning it will be subservient in terms of plan form.

- 3.9 The planning officer then goes on to discuss that the hip to the outbuilding is “incongruous”, as discussed previously a hip existed to the barn building historically and we are simply replicating that. To this the hip feature is respectful of the history of the outbuilding, the existing dwelling and the site overall. As the planning officer acknowledges in relation to the infill extension, the proposed South facing glazing has been set back from the dwelling and barn elevations, the eaves line is not forward of the South elevation and the ridge line of the roof, which is informed by the roof line of the barn, and subsequently the eaves line sits below that of the existing dwelling. With this in mind and the use of contrasting materiality of the infill, the extension is sympathetic in design, form and proportions to the existing house and site with the house and barn being fully interpreted against the new proposals. The proposals overall are also reminiscent of the form of the former barn building that existed across the track in terms of plan form.
- 3.10 The Southern boundary at present is lined with trees and hedging which screen the house and site from the road so the development will not be fully interpreted from the road, which itself is also lined with trees and hedging. However, what will be seen as discussed before will be read as sympathetic and fitting to the house, existing outbuilding and area as a whole.



Figure 3.3 – Aerial view of the application site and collection of nearby buildings which show the screening at the Southern boundary



3.11 As can be seen in figure 3.3 and 3.4, the neighbouring property to the North West of the application site has been allowed a large extension to their grounds under reference 20/01205/FLL. There was a retrospective planning application, after the garage had been built, submitted where the existing garden ground has been allowed to be extended into adjacent agricultural land with a new 'garage' building erected that has a larger footprint than that of the existing house. Our applicants modest and sympathetic extension within existing garden ground between two existing buildings is much more in keeping with the site and if the council are willing to accept these retrospective works in line with the same policies to which this application has been adjudged then we believe that our proposals should be seen as acceptable also.



Figure 3.4 – Aerial view of the site North West of the application site that has been allowed the large garage works under a retrospective planning application.



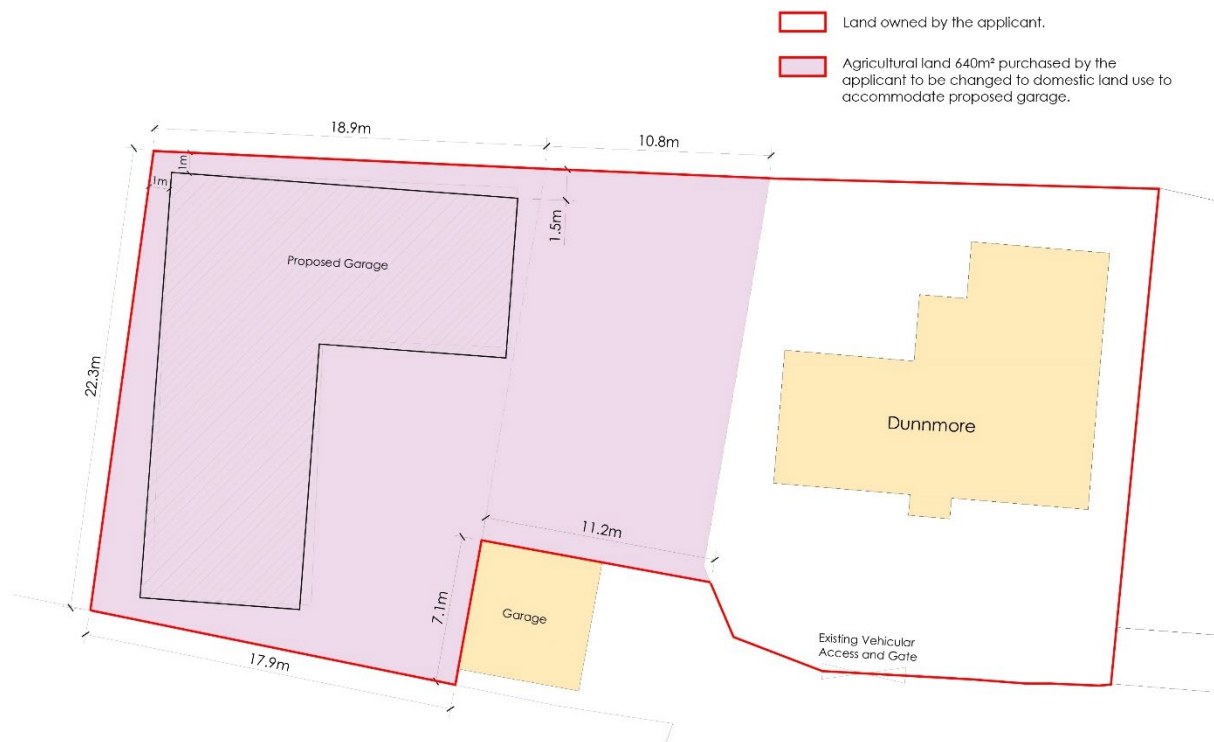


Figure 3.5 – Site plan from application 20/01205/FLL where the pink area is formerly agricultural land that has been changed in use to garden ground. As can be seen from the site plan the footprint of the garage is much larger than that of the house.



Figure 3.6 – Road view of the application site and collection of nearby buildings from the B913 which shows the screening at the Southern boundary, screening along the road and how far away the collection of buildings that include that of the application site are situated away from the road.



3.12 Further to the above discussion on the adjacent property, Dunnmore there is a property local to the application site which we have used as a precedent and feel there are similarities in what that has been formerly approved with and what we are proposing. As can be seen from figure 3.7, Perth and Kinross Council have allowed a side and rear extension to this property. The side extension to the right of the property as you look at it from the front has a slightly lowered ridge height, similar to our proposals, whilst the rear extension is similar in how it is formed to tie the side extension together with the existing property sympathetically. We feel we share the same design concept as these proposals where we are extending the application property in a manner that is considerate to the existing property and site.



Figure 3.7 – Garden Cottage has been extended to the rear and side.



Figure 3.8 – Aerial view of Garden Cottage showing the extensions to the original dwelling.



4. Conclusion

4.1 Planning consent is sought by Mr. & Mrs. Broome for an extension and alterations to their home at Newhall Farm, Dollar.

4.2 Planning permission has been refused for the following reason;

- *"The proposals, by virtue of their unsympathetic design, bulk, scale and visual massing, excessive proportions, poor form and composition would overwhelm and unbalance the existing cottage and compromise its architectural integrity, resulting in an adverse impact on the visual amenity of the cottage and surrounding area."*

Approval would therefore be contrary to Policies 1A and 1B(c) of the Perth and Kinross Local Development Plan 2 (2019) which seek to ensure that development contributes positively to the character and amenity of the place by complementing its surroundings in terms of design, appearance, height, scale and massing."

As is noted within the planning officers report 'The ridge and eaves line will sit lower than existing. (being compared to the existing house)'. We are content that this has been specifically mentioned as it supports the linking element being subservient to the existing house. Externally glass and timber cladding are used between the existing house and derelict barn to signify that this part is a modern link between the two. This is further reinforced above where the roof material is zinc and a grey membrane between the existing slate of the house and the proposed slate of the former derelict barn. The ridge and eaves height being lower than that of the existing and the use of the contrasting modern materials between two historic structures has been a principal design concept from the beginning and we feel this is achieved very well and produces a well informed and balanced extension.

We are looking to reconstruct a roof to an existing derelict barn in line with what has existed historically, this informs the proposals correctly.

4.3 The Applicant has successfully justified the new extension and alterations will not detrimentally affect the character of the existing house and barn or area but will form an extension that is sympathetic to these.

4.4 The applicant therefore respectfully requests that planning consent is granted for the reasons stated above.





Mr And Mrs D Broome
c/o Andrew Megginson Architecture
Andrew Megginson
128 Dundas Street
New Town
Edinburgh
EH3 5DQ

Pullar House
35 Kinnoull Street
PERTH
PH1 5GD

Date of Notice: 4th June 2021

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT

Application Reference: **21/00719/FLL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to refuse your application registered on 7th May 2021 for Planning Permission for **Alterations and extension to dwellinghouse Newhall Farm Solsgirth Dollar FK14 7NE**

David Littlejohn
Head of Planning and Development

Reasons for Refusal

- 1 The proposals, by virtue of their unsympathetic design, bulk, scale and visual massing, excessive proportions, poor form and composition would overwhelm and unbalance the existing cottage and compromise its architectural integrity, resulting in an adverse impact on the visual amenity of the cottage and surrounding area.

Approval would therefore be contrary to Policies 1A and 1B(c) of the Perth and Kinross Local Development Plan 2 (2019) which seek to ensure that development contributes positively to the character and amenity of the place by complementing its surroundings in terms of design, appearance, height, scale and massing.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

Notes

The plans and documents relating to this decision are listed below and are displayed on Perth and Kinross Council's website at www.pkc.gov.uk "Online Planning Applications" page

Plan Reference

01

02

03

04

05

06

07



Pullar House 35 Kinnoull Street Perth PH1 5GD Tel: 01738 475300 Fax: 01738 475310 Email: onlineapps@pkc.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100399724-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- ☒ Application for planning permission (including changes of use and surface mineral working).
- ☐ Application for planning permission in principle.
- ☐ Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- ☐ Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Extension and alterations to home.

Is this a temporary permission? *

☐ Yes ☒ No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) *

☐ Yes ☒ No

Has the work already been started and/or completed? *

☒ No ☐ Yes – Started ☐ Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Andrew Megginson Architecture		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Andrew	Building Name:	Andrew Megginson Architecture
Last Name: *	Megginson	Building Number:	
Telephone Number: *	0131 557 9129	Address 1 (Street): *	128 Dundas Street
Extension Number:		Address 2:	New Town
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	Scotland
		Postcode: *	EH3 5DQ
Email Address: *	andrew@andrewmegginsonarchitecture.com		
Is the applicant an individual or an organisation/corporate entity? *			
<input checked="" type="checkbox"/> Individual <input type="checkbox"/> Organisation/Corporate entity			

Applicant Details

Please enter Applicant details

Title:	Other	You must enter a Building Name or Number, or both: *	
Other Title:	Mr/ Mrs	Building Name:	Newhall Farm
First Name: *	D	Building Number:	
Last Name: *	Broome	Address 1 (Street): *	Solsgirth
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Dollar
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	FK14 7NE
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

Perth and Kinross Council

Full postal address of the site (including postcode where available):

Address 1:

NEWHALL FARM

Address 2:

SOLSGIRTH

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

DOLLAR

Post Code:

FK14 7NE

Please identify/describe the location of the site or sites

Northing

694989

Easting

298197

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

☐ Yes ☒ No

Site Area

Please state the site area:

1375.00

Please state the measurement type used:

☐ Hectares (ha) ☒ Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Residential

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

☐ Yes ☒ No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

<p>Are you proposing any change to public paths, public rights of way or affecting any public right of access? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.</p>	
<p>How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?</p>	<div style="border: 1px solid black; padding: 2px 10px;">3</div>
<p>How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *</p>	<div style="border: 1px solid black; padding: 2px 10px;">3</div>
<p>Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).</p>	
<h2 style="margin: 0;">Water Supply and Drainage Arrangements</h2>	
<p>Will your proposal require new or altered water supply or drainage arrangements? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>Do your proposals make provision for sustainable drainage of surface water?? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (e.g. SUDS arrangements) *</p> <p>Note:-</p> <p>Please include details of SUDS arrangements on your plans</p> <p>Selecting 'No' to the above question means that you could be in breach of Environmental legislation.</p>	
<p>Are you proposing to connect to the public water supply network? *</p> <p><input type="checkbox"/> Yes</p> <p><input type="checkbox"/> No, using a private water supply</p> <p><input checked="" type="checkbox"/> No connection required</p> <p>If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).</p>	
<h2 style="margin: 0;">Assessment of Flood Risk</h2>	
<p>Is the site within an area of known risk of flooding? * <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Don't Know</p> <p>If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.</p> <p>Do you think your proposal may increase the flood risk elsewhere? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Don't Know</p>	
<h2 style="margin: 0;">Trees</h2>	
<p>Are there any trees on or adjacent to the application site? * <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.</p>	
<h2 style="margin: 0;">Waste Storage and Collection</h2>	
<p>Do the plans incorporate areas to store and aid the collection of waste (including recycling)? * <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	

If Yes or No, please provide further details: * (Max 500 characters)

Provision as existing

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

☐ Yes ☒ No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

☐ Yes ☒ No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013 *

☐ Yes ☒ No ☐ Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

☐ Yes ☒ No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

☒ Yes ☐ No

Is any of the land part of an agricultural holding? *

☐ Yes ☒ No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Andrew Megginson

On behalf of: Mr/ Mrs D Broome

Date: 22/04/2021

☒ Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

☐ Yes ☐ No ☒ Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? *

☐ Yes ☐ No ☒ Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

☐ Yes ☐ No ☒ Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

☐ Yes ☐ No ☒ Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

☐ Yes ☐ No ☒ Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

☐ Yes ☐ No ☒ Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- ☒ Site Layout Plan or Block plan.
- ☒ Elevations.
- ☒ Floor plans.
- ☒ Cross sections.
- ☒ Roof plan.
- ☐ Master Plan/Framework Plan.
- ☐ Landscape plan.
- ☐ Photographs and/or photomontages.
- ☐ Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | |
|--|--|
| A copy of an Environmental Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Andrew Megginson

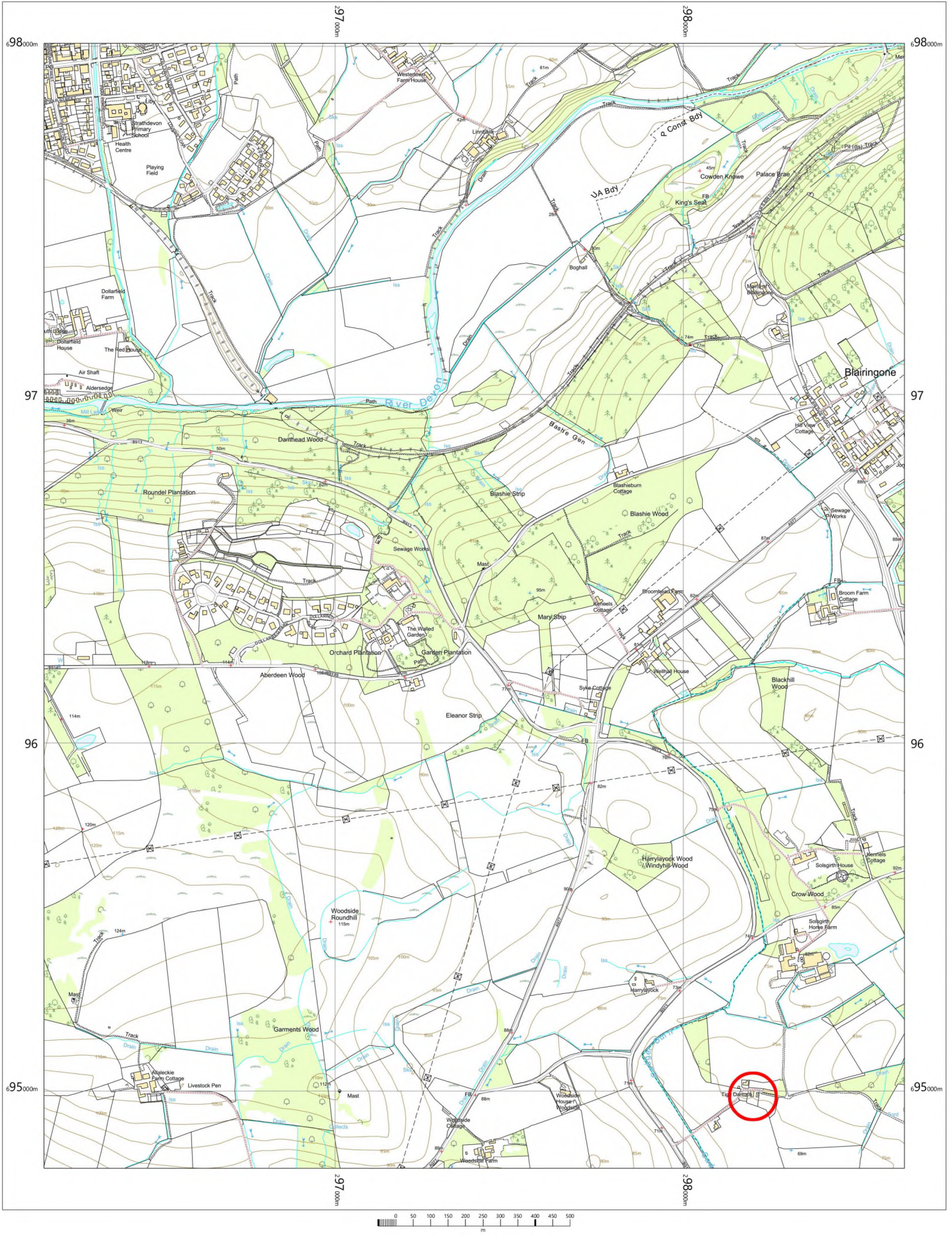
Declaration Date: 22/04/2021

Payment Details

Online payment: 022079

Payment date: 22/04/2021 09:58:00

Created: 22/04/2021 09:58



OS VectorMap Local - Landplan Style
 Wednesday, April 14, 2021, ID: HMC-00954013
 www.themapcentre.com

1:10000 scale print at A3, Centre: 297400 E, 696393 N

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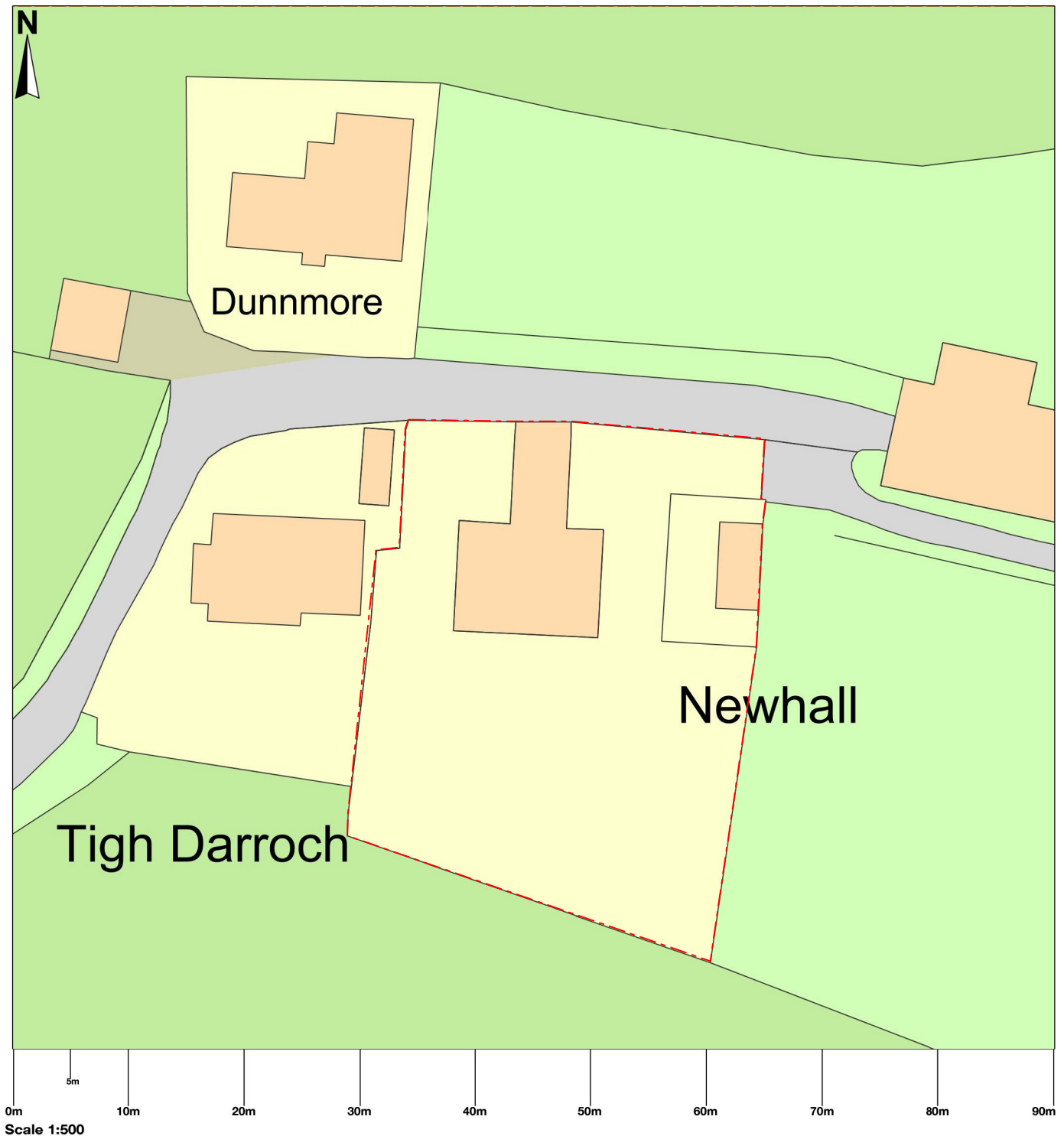
THE MAP CENTRE
 www.themapcentre.com



Newhall Farm, Solsgirth, Dollar, FK 14 7NE



Newhall Farm, Solsgirth, Dollar, FK 14 7NE



Map area bounded by: 298153,694948 298243,695038. Produced on 13 April 2021 from the OS National Geographic Database. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2021. Supplied by UKPlanningMaps.com a licensed OS partner (100054135). Unique plan reference: b90cuk/611451/829221

Floor Areas			
GIA	Net F1	Sq M	Sq Ft
Ground floor	1324	123	
First Floor	646	60	
Total	1970	183	

Key:-

door to ceiling height

door to head height

door to ceiling height

door to lowered ceiling height

door to beam height

door height

wall height

door to top of air light

ridge height

height to underside of joist

Only scale for planning purposes.
© Squaresfoot 2021.

10m 150'

0 1 2 3 4 5 6 7 8 9 10

North Arrow

N

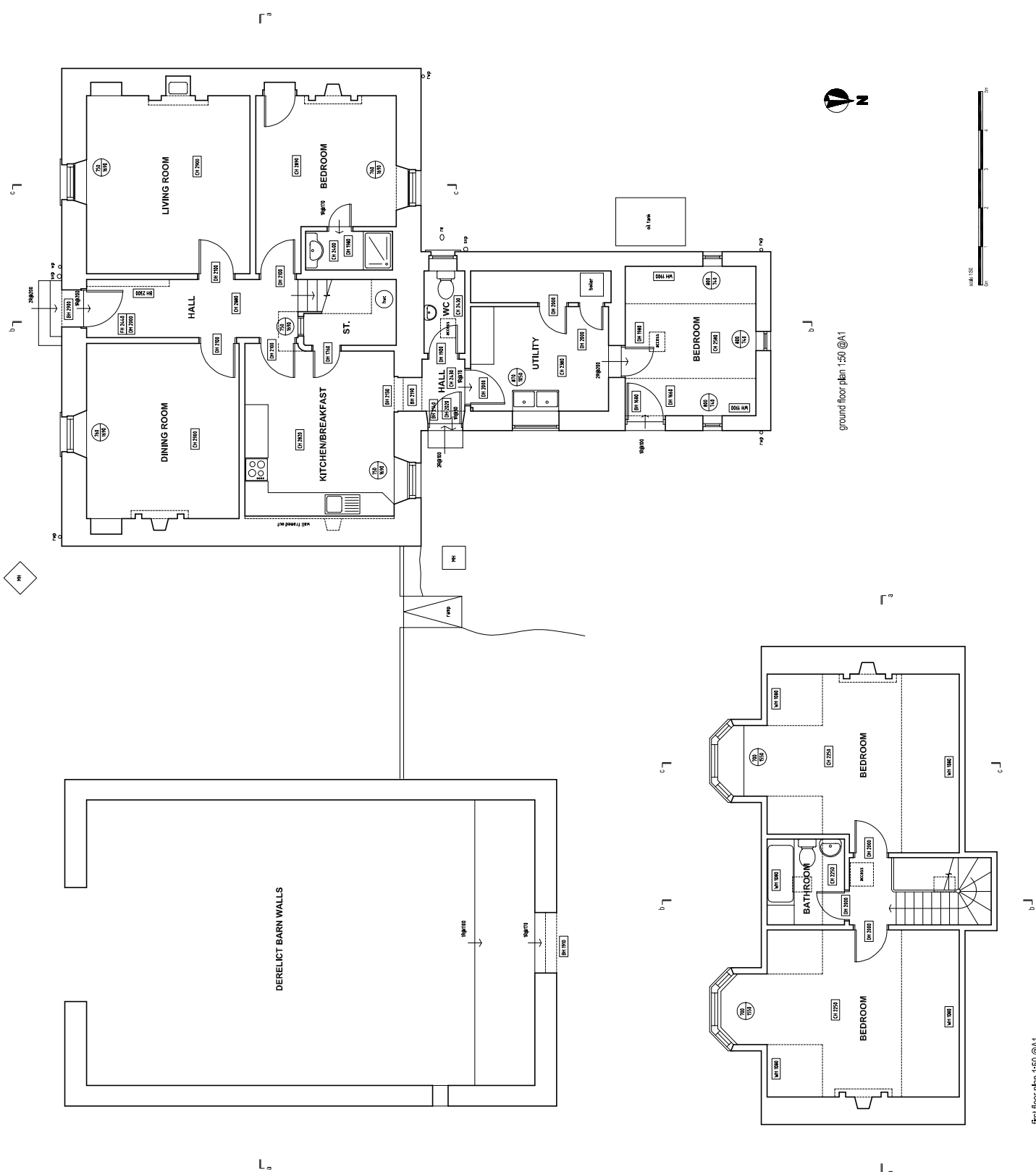
Floor plans at
Newhall Farm
Solsburgh, Dollar
FK14 7NE
for Andrew Megginson

Date: 14/02/21

Scale: 1/50

Squaresfoot

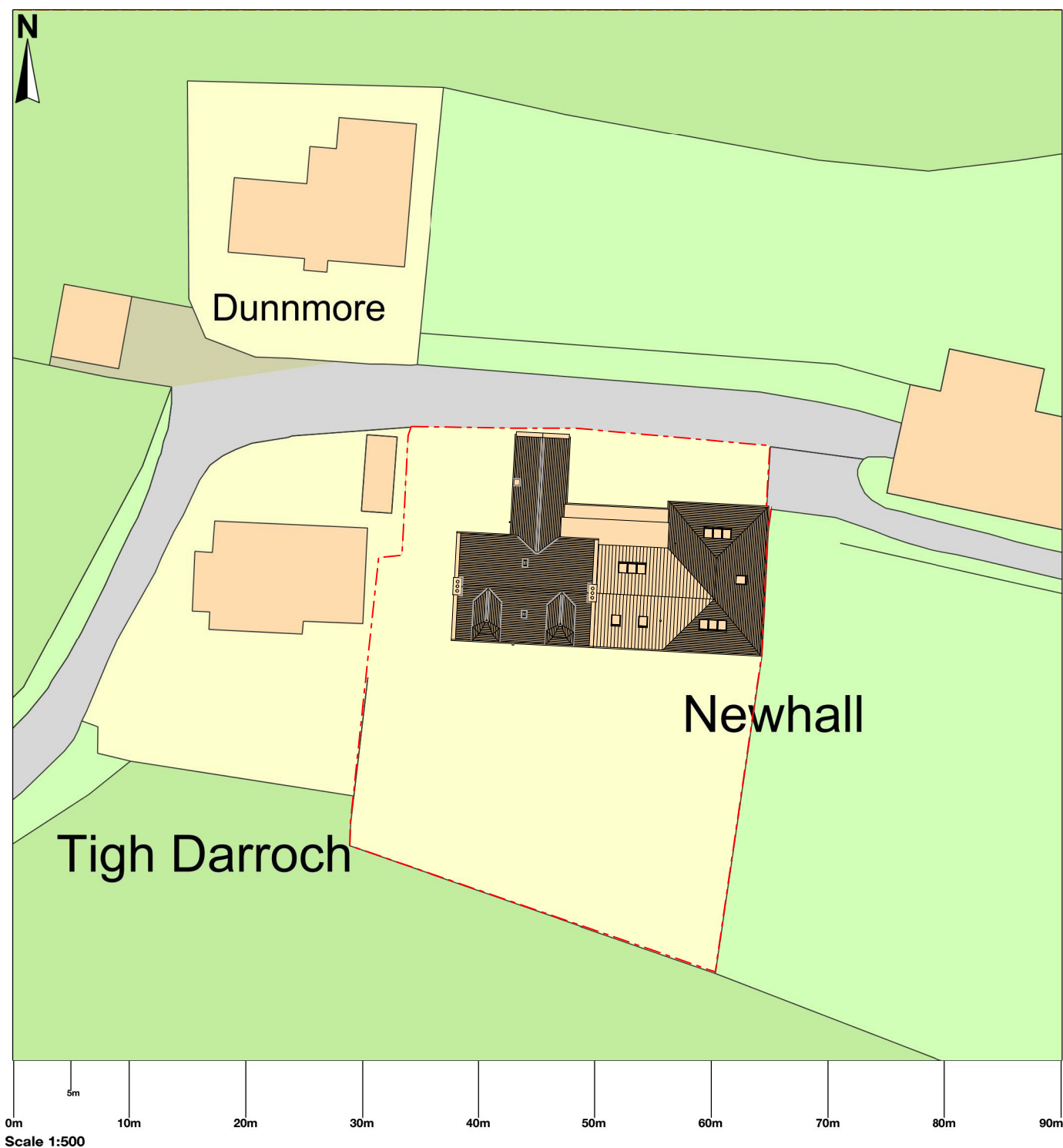
93 George Street, Edinburgh EH2 3ES
Telephone: +44 (0)131 557 2527
email: info@squaresfoot.co.uk



ground floor plan 1:50 @A1

first floor plan 1:50 @A1

Newhall Farm, Solsgirth, Dollar, FK 14 7NE



Map area bounded by: 298153,694948 298243,695038. Produced on 13 April 2021 from the OS National Geographic Database. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2021. Supplied by UKPlanningMaps.com a licensed OS partner (100054135). Unique plan reference: b90cuk/611451/829221

REPORT OF HANDLING

DELEGATED REPORT

Ref No	21/00719/FLL	
Ward No	P8- Kinross-shire	
Due Determination Date	6th July 2021	
Draft Report Date	2nd June 2021	
Report Issued by	GMP	Date 2nd June 2021

PROPOSAL: Alterations and extension to dwellinghouse

LOCATION: Newhall Farm Solsgirth Dollar FK14 7NE

SUMMARY:

This report recommends **refusal** of the application as the development is considered to be contrary to the relevant provisions of the Development Plan and there are no material considerations apparent which justify setting aside the Development Plan.

SITE PHOTOGRAPHS



BACKGROUND AND DESCRIPTION OF PROPOSAL

The application site relates to a detached dwellinghouse at Newhall Farm, Solsgirth. Full planning consent is sought for alterations and extension to the dwellinghouse utilising existing stone walls on site of what would appear to have been an outbuilding. A previous planning approval 15/01206/FLL allowed for the erection of a new dwellinghouse, also utilising these stone walls and subsequent sub-division of the site. That consent was not implemented and has since lapsed. A large agricultural building is positioned to the east of the application site. Access to the site is provided along an existing farm track to the B827 to the west of the site.

In accordance with the on-going restrictions of the coronavirus pandemic, the application site has not been visited by the case officer. The application site and its context have, however, been viewed by photographs submitted by the agent. This information means that it is possible and appropriate to determine this application as it provides an acceptable basis on which to consider the potential impacts of this proposed development.

SITE HISTORY

08/00406/OUT Erection of dwellinghouses (in outline) 8 January 2009
Application Approved

11/01568/IPL Modification of planning condition 2 (08/00406/OUT) to extend the time limit 23 April 2012 Application Approved

15/01206/FLL Erection of a dwellinghouse 13 October 2015 Application Approved

20/00730/PNA Erection of an agricultural building 9 July 2020 Application Approved

PRE-APPLICATION CONSULTATION

Pre application Reference: N/A

NATIONAL POLICY AND GUIDANCE

The Scottish Government expresses its planning policies through The National Planning Framework, the Scottish Planning Policy (SPP), Planning Advice Notes (PAN), Creating Places, Designing Streets, National Roads Development Guide and a series of Circulars.

DEVELOPMENT PLAN

The Development Plan for the area comprises the TAYplan Strategic Development Plan 2016-2036 and the Perth and Kinross Local Development Plan 2 (2019).

TAYplan Strategic Development Plan 2016 – 2036 - Approved October 2017

Whilst there are no specific policies or strategies directly relevant to this proposal the overall vision of the TAYplan should be noted. The vision states *“By 2036 the TAYplan area will be sustainable, more attractive, competitive and vibrant without creating an unacceptable burden on our planet. The quality of life will make it a place of first choice where more people choose to live, work, study and visit, and where businesses choose to invest and create jobs.”*

Perth and Kinross Local Development Plan 2 – Adopted November 2019

The Local Development Plan 2 (LDP2) is the most recent statement of Council policy and is augmented by Supplementary Guidance.

The principal policies are:

Policy 1A: Placemaking

Policy 1B: Placemaking

Policy 17: Residential Areas

Policy 54: Health and Safety Consultation Zones

OTHER POLICIES

Perth & Kinross Council's Placemaking Guide 2020 states that;

“New development should acknowledge the scale and form of the surrounding buildings. This can make a huge difference to the visual impact of a development. Whilst it is not desirable to copy traditional buildings, it is important to harmonise with them.

Proportion is a fundamental element of architecture, and relates to the building as a whole and also as sections working harmoniously together. Individual elements of a building must work together to create a coherent design that balances. The building envelope, windows and doors, eaves and roof ridgeline should all work in balance with each other”.

CONSULTATION RESPONSES

External

Scottish Gas Network – no comments.

HSE – do not advise against development.

LineSearchBeforeUdig – search carried out and services identified within the site.

REPRESENTATIONS

None at time of report.

ADDITIONAL STATEMENTS

Screening Opinion	EIA Not Required
-------------------	------------------

Environmental Impact Assessment (EIA): Environmental Report	Not applicable
Appropriate Assessment	AA Not Required
Design Statement or Design and Access Statement	Not Required
Report on Impact or Potential Impact eg Flood Risk Assessment	Not Required

APPRAISAL

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for the area comprises the approved TAYplan and the adopted LDP2.

The determining issues in this case are whether; the proposal complies with development plan policy; or if there are any other material considerations which justify a departure from policy.

Policy Appraisal

Alterations and extension to an existing domestic dwelling are generally considered to be acceptable in principle. Nevertheless, detailed consideration must be given to the specific details of the proposed development within the context of the application site, and whether it would have an adverse impact on residential and visual amenity.

The placemaking policies state that development must contribute positively to the quality of the surrounding built and natural environment. The design, density and siting of development should respect the character and amenity of the place.

This proposal is not considered to comply with the policies as noted above for the reasons stated elsewhere within the report.

Visual Amenity, Design and Layout

The existing property contains a good deal of architectural charm and characteristics, including the use of traditional materials, chimney stacks and skewed gables. It is, however, acknowledged the property could do with some maintenance/upgrading. Notwithstanding the detail on the drawings, the rear (south) elevation is the principal elevation.

The proposal is to extend the property on its eastern gable tying into the walls of the derelict stone barn. The new pitched roof infill extension will provide an open plan sitting/kitchen/dining area with adjoining entrance hall, vestibule and boot room to the rear (under a flat roof). This in turn will allow the internal arrangements of the existing property to be reworked. This extension will link into a further extension which will utilise the stone walls of the barn.

The barn walls will be made good and repointed. It will be interconnected to the main house via the new boot room/boiler room. The drawings indicate this extension will be used for storage purposes, albeit a generous amount of storage, at ground floor level and again at first floor level via the proposed internal staircase. The new additions would provide an extremely generous footprint of approximately 180sqm more than doubling the existing, already extended, footprint.

In terms of design, the proposed kitchen/dining/sitting room extension will be of pitched roof form with an adjoining front and rear hip at its eastern side. Of which the rear (north) will project beyond the rear building line of the original property and the front (south) will continue the existing building line. The ridge and eaves line will sit lower than existing. Finishing materials would comprise of grey slate and zinc for the pitched roofs and the flat roof section would be a grey membrane. The walls would be timber cladding/charcoal brick basecourse.

The proposals will more than double the footprint of the house; effectively rendering the existing modest dwelling with a footprint of around 155sqm as an ad-on to the new wing.

This proposal raises concerns as it does not respect the dimension, form or proportions of the existing property. The principal hip is incongruous when viewed in tandem with the main unit and any extension should reflect the gabled nature of the property. The existing extension is gabled and skewed to match existing. The proposal has poor detail. Whilst the screen has been set back on the north elevation, the roof hasn't and the ridge height is too high at chimney height.

The design, scale and massing of the proposed extension is not subordinate or subservient to the host building and little attempt has been made to reflect or harmonise with the proportions or appearance of the existing house. The works if approved will accordingly destroy the appearance and character of the existing property and be visually dominant within the wider landscape setting. The top of the property can also be seen from the public road to the north west. The proposal is not an acceptable design solution to achieve this level of accommodation.

Although the proposed accommodation in the main addition is physically attached to the existing dwellinghouse, its visual appearance is tenuous resulting in two distinct blocks.

Overall, it is considered that in this instance the proposal does not respect the form of the original cottage and is therefore contrary to Policies 1A and 1B(c) of the Local Development Plan, as the works will detrimentally alter the character and amenity of the area.

Landscape

While the works are contained within the plot boundaries and will not directly impact on any internal landscape features of merit, the new development will result in a negative visual impact to the wider environment.

Residential Amenity

The residential amenity of neighbouring properties would not be adversely affected by the proposed development in terms of overlooking or overshadowing, given their relative positions, orientations and distances.

Roads and Access

There are no road or access implications associated with this proposed development.

Drainage and Flooding

There are no drainage and flooding implications associated with this proposed development.

Pipeline

The application site is contained within the consultation zone of a Scotland Gas Networks (SGN) Pipeline. The consultation zone boundary traverses through the site. SGN have been consulted on the proposal but offered no comments, however, advised that gas pipe locations are available online at [linesearchbeforeudig](https://www.gasnetworks.co.uk/line-search). The Health and Safety Executives (HSE) Web App has also been consulted who have not advised against development.

Developer Contributions

The Developer Contributions Guidance is not applicable to this application and therefore no contributions are required in this instance.

Economic Impact

The economic impact of the proposal is likely to be minimal and limited to the construction phase of the development.

PLANNING OBLIGATIONS AND LEGAL AGREEMENTS

None required.

DIRECTION BY SCOTTISH MINISTERS

None applicable to this proposal.

CONCLUSION AND REASONS FOR DECISION

To conclude, the application must be determined in accordance with the adopted Development Plan unless material considerations indicate otherwise. In this respect, the proposal is considered to be contrary to the Development Plan. Account has been taken of the relevant material considerations and none has been found that would justify overriding the adopted Development Plan.

Accordingly, the proposal is refused on the grounds identified below:

Conditions and Reasons

1. The proposals, by virtue of their unsympathetic design, bulk, scale and visual massing, excessive proportions, poor form and composition would overwhelm and unbalance the existing cottage and compromise its architectural integrity, resulting in an adverse impact on the visual amenity of the cottage and surrounding area.

Approval would therefore be contrary to Policies 1A and 1B(c) of the Perth and Kinross Local Development Plan 2 (2019) which seek to ensure that development contributes positively to the character and amenity of the place by complementing its surroundings in terms of design, appearance, height, scale and massing.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

Informatives

N/A

Procedural Notes

Not Applicable.

PLANS AND DOCUMENTS RELATING TO THIS DECISION

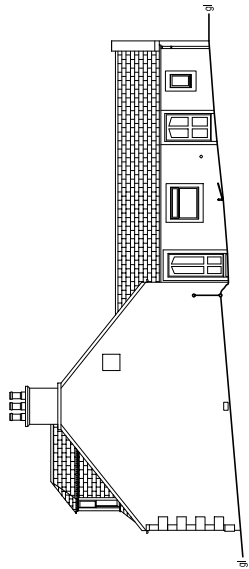
01
02
03
04
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07

<p>LRB-2021-28 21/00719/FLL – Alterations and extension to dwellinghouse, Newhall Farm, Solsgirth</p>

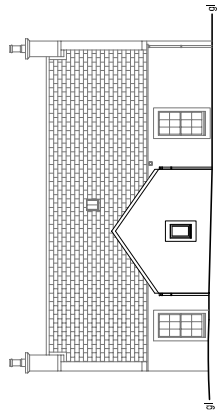
PLANNING DECISION NOTICE *(included in
applicant's submission, pages 181-182)*

REPORT OF HANDLING *(included in applicant's
submission, pages 197-203)*

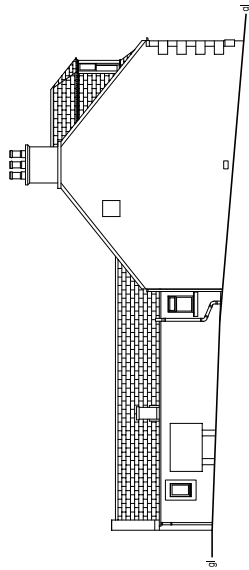
REFERENCE DOCUMENTS *(part included in
applicant's submission, pages 191-196)*



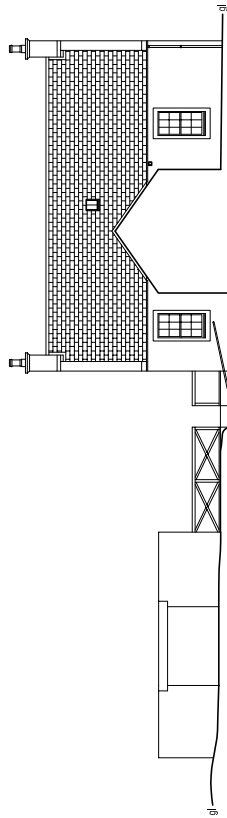
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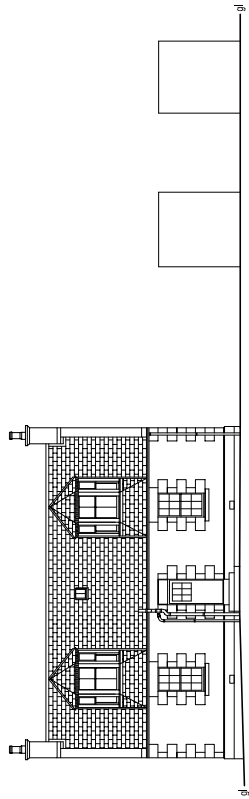
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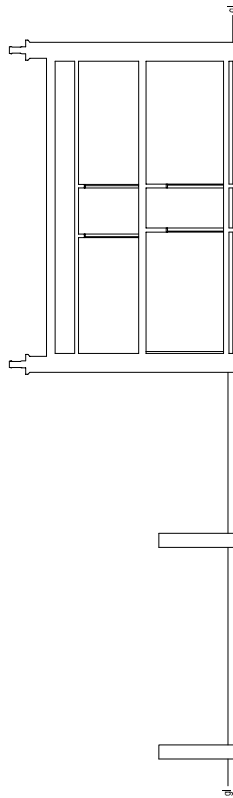
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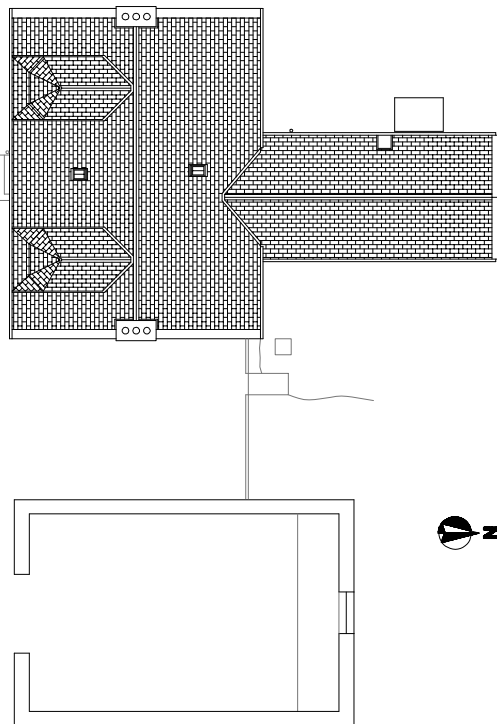
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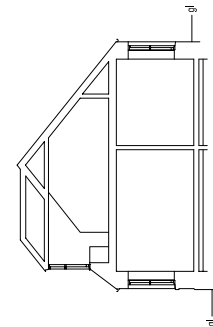
north elevation 1:100 @A1



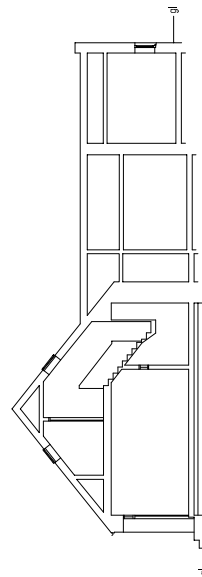
section c-a 1:100 @A1



roof plan 1:100 @A1



section c-c 1:100 @A1



section b-b 1:100 @A1



Only scale for planning purposes.
© Squarefoot 2021.

Elevations, sections & roof plan of
Newhall Farm, Solsgriff,
Dollar FK14 7NE
for Andrew Megginson

Date: 14/02/21 Scale: A1
Squarefoot
93 George Street, Edinburgh EH2 3ES
Telephone: +44 (0)131 357 2327
email: info@squarefootmedia.co.uk

LRB-2021-28
21/00719/FLL – Alterations and extension to dwellinghouse,
Newhall Farm, Solsgirth

REPRESENTATIONS

Development Management - Generic Email Account

From: Mcgeachy, Dawn {dawn.mcgeachy@sgn.co.uk} on behalf of Plant Location SGN
<plantlocation@sgn.co.uk>
Sent: 12 May 2021 13:54
To: Development Management - Generic Email Account
Subject: RE: Planning Application Consultation for Application No 21/00719/FLL

Classified as Internal

Thank you for contacting our Safety Admin team.

Our gas pipe locations are now available online at www.linesearchbeforeudig.co.uk. Not only can you access information about the location of our gas pipes in your proposed work area, but you can also search for information on other utility companies' assets at the same time.

All requests for maps and plant location information must now be submitted through this online service.

Please note your enquiry has not been processed on this occasion.

Please visit www.sgn.co.uk/Safety/Dig-safely/ for safety information and links to www.linesearchbeforeudig.co.uk, where you can register for our online service and view our gas pipe locations.

Our online service is not currently available in Northern Ireland. If you have contacted us about plant location or maps for Northern Ireland, we will respond to your enquiry within 15 working days.

If you have any questions about our new plant location online service, please contact us on 0800 912 1722 or if you have any system queries contact Linesearch on 0845 437 7365

Regards

Safety Admin team

Please note, it's your responsibility to follow SGN's Data Protection Policy at all times when handling personal data.

Regards

Dawn McGeachy, SHE Admin

T: +44 0131 365 4122

E: dawn.mcgeachy@sgn.co.uk

SGN, Fullarton House, 1 Fullarton Drive, Cambuslang, Glasgow, G32 8FD sgn.co.uk Find us on Facebook and follow us on Twitter: @SGNgas

Smell gas? Call 0800 111 999 (GB)
Find out how to protect your home from carbon monoxide

SGNNaturalGas.co.uk

SGN Natural Gas, 14 Silverwood Industrial Estate, Silverwood Road, Lurgan, County Armagh, BT66 6LN

Smell gas? Call 0800 002 001 (NI)
Stay safe from CO – install a carbon monoxide alarm

Advice : HSL-210602123815-317 DO NOT ADVISE AGAINST

Your Ref: 21/00719/FLL

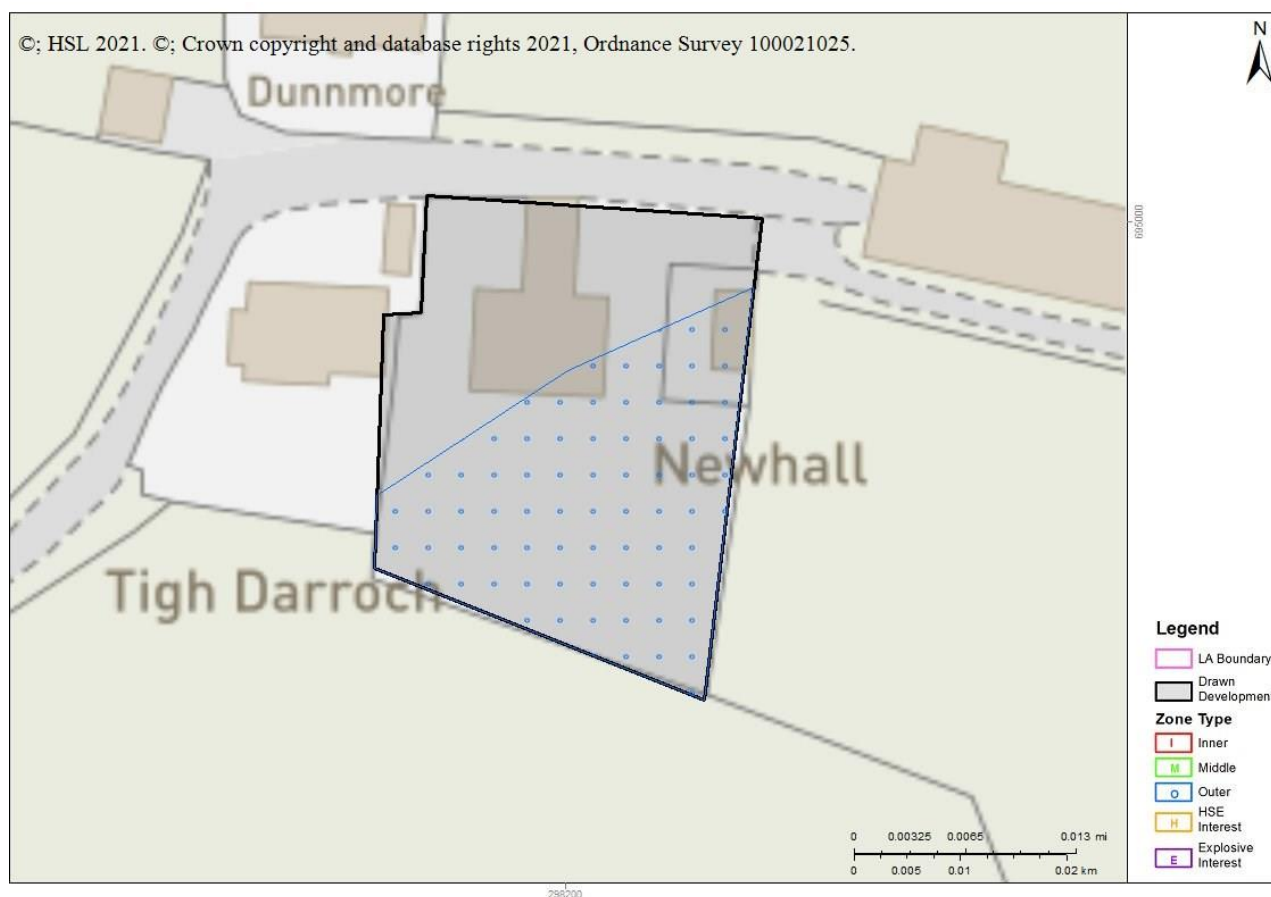
Development Name: Alterations and extension to dwellinghouse

Comments:

Land Use Planning Consultation with Health and Safety Executive [Town and Country Planning (Development Management Procedure) (England) Order 2015, Town and Country Planning (Development Management Procedure) (Wales) Order 2012, or Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013]

The Health and Safety Executive (HSE) is a statutory consultee for certain developments within the Consultation Distance of Major Hazard Sites/ pipelines. This consultation, which is for such a development and is within at least one Consultation Distance, has been considered using HSE's planning advice web app, based on the details input on behalf of Perth and Kinross.

HSE's Advice: Do Not Advise Against, consequently, HSE does not advise, on safety grounds, against the granting of planning permission in this case.



Breakdown:

Housing : Do Not Advise Against

How many dwelling units are there (that lie partly or wholly within a consultation distance)? Less than 3



Pipelines

- 8101_2360 Scotland Gas Network Ltd

As the proposed development is within the Consultation Distance of a major hazard pipeline you should consider contacting the pipeline operator before deciding the case. There are two particular reasons for this:

- The operator may have a legal interest (easement, wayleave etc.) in the vicinity of the pipeline. This may restrict certain developments within a certain proximity of the pipeline.
- The standards to which the pipeline is designed and operated may restrict occupied buildings or major traffic routes within a certain proximity of the pipeline. Consequently there may be a need for the operator to modify the pipeline, or its operation, if the development proceeds.

HSE's advice is based on the situation as currently exists, our advice in this case will not be altered by the outcome of any consultation you may have with the pipeline operator.

This advice report has been generated using information supplied by Gillian Peebles at Perth and Kinross on 02 June 2021.

Note that any changes in the information concerning this development would require it to be re-submitted.

Audrey Brown - CHX

From: sgn@safedigs.co.uk
Sent: 02 June 2021 15:24
To: Gillian Peebles
Subject: Plant Enquiry Ref Job No. 22286887
Attachments: 22286887_SGN.pdf; HP Planning Conveyencing Letter.pdf; Map key.pdf; Know what's below.pdf; Dig Safely Measures to avoid injury and damage to gas pipes.pdf; Valve safety advice.pdf

02/06/2021

LinesearchbeforeUdig ref: 22286887

Your ref: 21/00719/FLL

Dear Sir/Madam,

Thank you for contacting us

Please see attached information specific to your enquiry: (Please note if the attachment size was too large to send via email, you can download your information from the link provided below)

1. Plan. Extract from our mains record*. Please print in colour. For larger searches, do not rely on the 'overview' map for site works, use the details maps behind.

2. Letter. Including relevant safety information.

3. Other safety related information.

*Plans will not be sent if you receive a Mineral stop letter.

The Plan is an extract from our mains records of the proposed work area enclosed for your guidance. This plan only shows the pipes owned by SGN in our role as a Licensed Gas Transporter (GT). Please note that privately owned gas pipes or ones owned by other GTs may be present in this area and information regarding those pipes needs to be requested from the owners. If we know of any other pipes in the area we will note them on the plans as a shaded area and/or a series of x's.

The accuracy of the information shown on this plan cannot be guaranteed. Service pipes, valves, siphons, stub connections etc. are not shown but you should look out for them in your area. Please read the information and disclaimer on these plans carefully. The information included on the plan is only valid for 28 days.

A colour copy of these plans and the gas safety advice booklet enclosed should be passed to the senior person on site in order to prevent damage to our plant and potential direct or consequential costs to your organisation.

Safe digging practices, in accordance with HSE publication HSG47 "Avoiding Danger from Underground Services" must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all relevant people (direct labour or contractors) working for you on or near gas plant.

Damage to our pipes can be extremely dangerous for your employees and the general public. The cost to repair our pipelines following direct or consequential damage will be charged to your organisation.

Diversions

If you require any diversion costings, please visit the Dig Safely pages on sgn.co.uk for more information and email contact details.

If you require any further information please contact the number below.

Kind Regards,

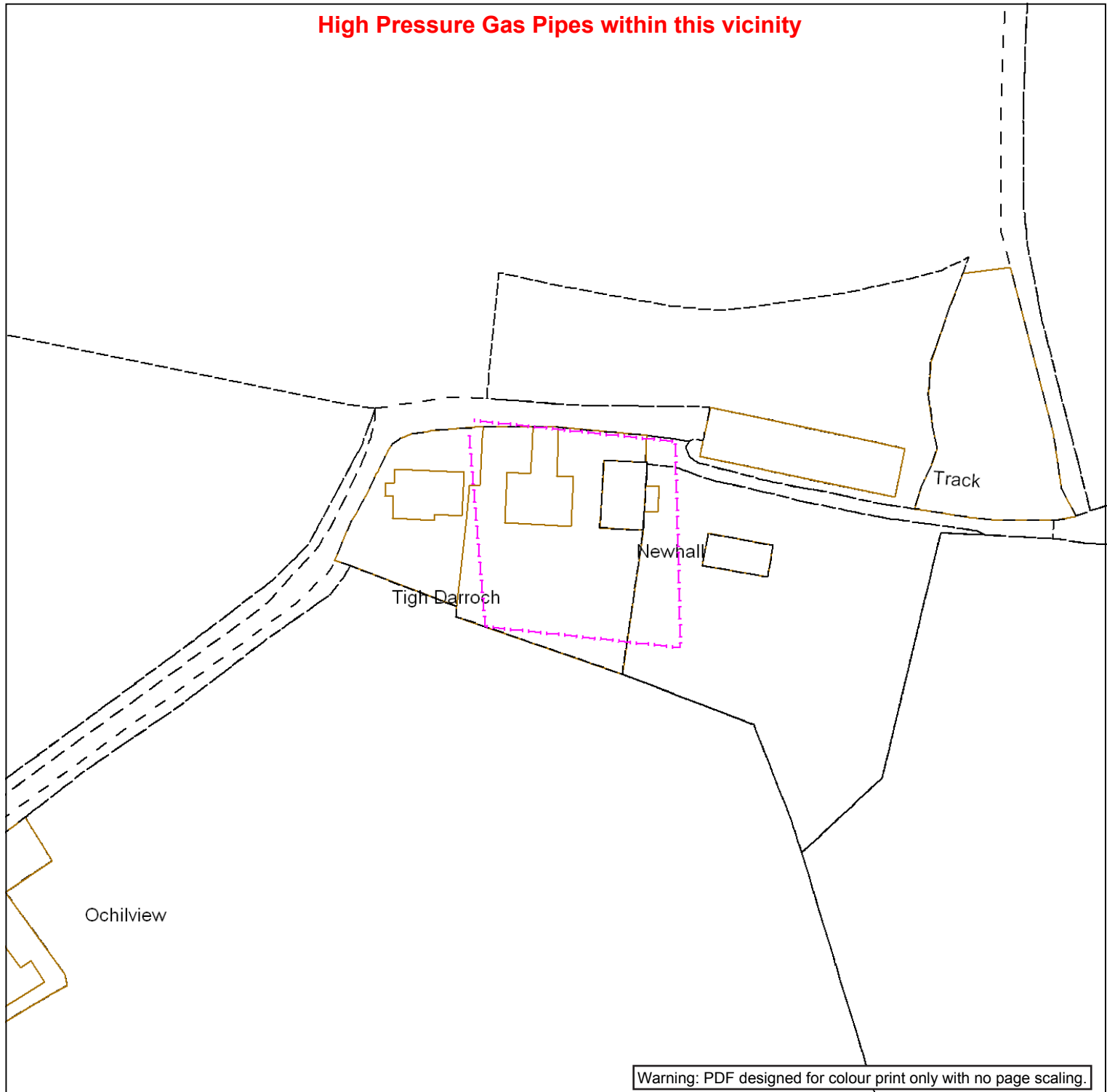
The Safety Admin Team

For more information, visit our Dig Safely pages on sgn.co.uk

Tel: 0800 912 1722

For IT or system based enquiries, please contact LSBUD directly on 0845 437 7365

High Pressure Gas Pipes within this vicinity



Warning: PDF designed for colour print only with no page scaling.



Contact Us

SGN Safety Admin Team:
0800 912 1722
Email:
plantlocation@sgn.co.uk

Low Pressure Mains

Medium Pressure Mains

Intermediate Pressure Mains

High Pressure Mains

Some Examples Of Plant Items

Valve



Syphon



Depth of Cover



Diameter Change



Material Change



Digsite:

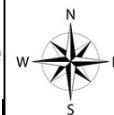
Line:

Area:

Las

GTs

SSSIs



This information is given as a guide only and its accuracy cannot be guaranteed.



This plan shows the location of those pipes owned by Scotia Gas Networks (SGN) by virtue of being a licensed Gas Transporter (GT). Gas pipes owned by other GTs or third parties may also be present in this area but are not shown on this plan. Information with regard to such pipes should be obtained from the relevant owners. No warranties are given with regard to the accuracy of the information shown on this plan. Service pipes, valves, siphons, sub-connections etc. are not shown but their presence should be anticipated. You should be aware that a small percentage of our pipes/assets may be undergoing review and will temporarily be highlighted in yellow. If your proposed works are close to one of these pipes, you should contact the SGN Safety Admin Team on 0800 912 1722 for advice. No liability of any kind whatsoever is accepted by SGN or its agents, servants or sub-contractors for any error or omission contained herein. Safe digging practices, in accordance with HS (G)47, must be used to verify and establish the actual position of mains, pipes, services and other apparatus on site before any mechanical plant is used. It is your responsibility to ensure that plant location information is provided to all persons (whether direct labour or sub-contractors) working for you on or near gas apparatus. Information included on this plan should not be referred to beyond a period of 28 days from the date of issue.

Report damage immediately – KEEP EVERYONE AWAY FROM THE AREA

0800 111 999

This plan is reproduced from or based on the OS map by Scotia Gas Networks plc, with the sanction of the controller of HM Stationery Office. Crown Copyright Reserved. Southern Gas – 100044373 and Scotland Gas – 100044366.

Plans generated by DigSAFE Pro (tm) software provided by LinesearchbeforeUdig

Date Requested: 02/06/2021
Job Reference: 22286887
Site Location: 298204 694982
Requested by:
Miss Gillian Peebles
Your Scheme/Reference:
21/00719/FLL

Exact Scales:
1:1000 Area or Circle dig site
1:1000 Line dig site

Our Ref: 22286887 Your Ref: 21/00719/FLL

Wednesday, 02 June 2021

Gillian Peebles
Pullar House 35 Kinnoull Street
Perth
Perth & Kinross
PH1 5GD

Dear Gillian Peebles

Thank you for your enquiry dated Wednesday, 02 June 2021

Thank you for using the linesearchbeforeudig.co.uk system for your 'Planning Application/Property Conveyance' enquiry for SGN asset maps for your site location.

Please note this response and any attached map(s) are only valid for 28 days.

There are high pressure pipelines in the vicinity of your proposed work area. SGN formally object to this planning application until such time as a detail consultation has taken place.

For your safety, it is essential that no work or crossing of this high pressure pipeline is carried out until a detailed consultation has taken place.

This response is for initial/scoping out work only. This response does not give permission to undertake any work. When consultation has taken place, your planning has been approved and works on site are due to start, another request for information and updated maps must be made via our on-line system as a 'planned works' enquiry.

Please find an extract from our mains records for your search area, any SGN assets are described in the map legend. On some occasions maps may be sent that do not contain any gas pipes, this is due to the location of your proposed work area and although there are no pipelines in the immediate vicinity, consultation is still required to ensure that your development has no other impact on our pipelines. SGN Personnel must confirm the actual location of all pipelines prior to commencement of any work. Please note there may also be additional gas pipes (low pressure, medium pressure, etc.) shown on the mains record.

This mains record only shows the pipes owned by SGN in our role as a Licensed Gas Transporter (GT). Please note that privately owned gas pipes or pipes owned by other GTs may be present in this area and information regarding those pipes needs to be requested from the owners. If we know of any other pipes in the area we will note them on the plans as a shaded area and/or a series of x's.

The information shown on this plan is given without obligation or warranty and the accuracy cannot be guaranteed. Service pipes, valves, siphons, stub connections etc. are not shown but their presence should be anticipated. Your attention is drawn to the information and disclaimer on these plans.

It must be stressed that both direct and consequential damage to gas plant can be dangerous for your employees and the general public and repairs to any such damage will incur a charge to you or the organisation carrying out work on your behalf.



To contact the Pipelines department directly to discuss a consultation for your proposed works, please email Maintenance.Land.Owner.Enquiries@sgn.co.uk in our southern area or PlantProtectionAndPipelinesNorth@sgn.co.uk in Scotland, quoting the LSBUD reference number.

If you require any further information please do not hesitate to contact us.

Yours sincerely,

The Safety Admin Team

For more information, visit our Dig Safety pages on sgn.co.uk

Tel: 0800 912 1722

Map Symbols						
VALVE OPEN	VALVE CLOSED	GOVERNOR	END CLOSURE	SYPHON	REDUCER	TEE
TEST POINT	CATHODIC PROTECTION	GENERAL REFERENCE	FLOW MEASURE	DIP POINT	MONO ETHYLENE GLYCOL	OILING POINT
FLOW STOP	PRESSURE MEASUREMENT	STAND PIPE	OFFICIAL MINISTRY RECORD	PURGE POINT	GAS CONDITIONER	DRAIN POINT
					LP MAINS	
SKETCH BUBBLE	DEPTH OF COVER	METER	MATERIAL CHANGE		MP MAINS	
					IP MAINS	
					LHP MAINS	
					HISTORY DATA	
					SSSI	
PIG TRAP	CROSSOVER CONNECTION	CHANGE OF DIAMETER	PIPE JOINT		CONTACT ZONE	
						LTS



SGN

Your gas. Our network.

Know what's below

Protecting you and your family

Protecting you and your family

Are you planning on carrying out any home improvements such as building a conservatory, an extension, a new pond, decking, concreting, landscaping, fencing or planting trees in your garden? You must make sure you have drawings/maps showing any pipes or cables around your home. To obtain copies of our gas drawings/maps please visit our Dig safely pages on sgn.co.uk and follow the link to our online system.

This service is free of charge.

Our Dig safely page is also where you'll find advice on any protective measures you may need to take before you start work, whether you're planning on doing it yourself or hiring a professional.

Damaging gas pipes is dangerous and could lead to a fire or an explosion. It could also cause large-scale loss of gas supply to the local community and is potentially very expensive.



Responsibilities

It's the responsibility of whoever is doing the work to make sure they've complied with the relevant legislation and Health and Safety Executive (HSE) guidance.

In practice, this means anyone carrying out work must obtain a copy of any available colour drawings showing the position of buried utilities for reference before and during the project.

Non-recording of service pipes >

Individual service pipes are not normally recorded on network drawings. This is accepted practice and reinforced by guidance given in Design, construction and installation of service pipes – approved code of practice, published by the HSE, and IGE/TD/4 – Gas Services, published by the Institute of Gas Engineers and Managers.

What you need to do when planning a conservatory or house extension, landscaping, fencing or any other groundworks

2 It's the responsibility of whoever is undertaking the work to check with utility companies before the work starts.

If you're planning any building or digging work remember that gas pipes, power cables, water pipes and sewers all run underground and could be right beneath your feet.

Construction or excavation work can damage underground services or prevent further maintenance.

Remember that obtaining planning permission or a building warrant from your local authority doesn't normally involve consultation with utility companies so you should get in touch with them when you start planning your project. This will help keep everyone safe.

Please visit our **Dig safely** pages on [sgn.co.uk](https://www.sgn.co.uk) for more information and our online mapping system.



< Service entry

Gas services/work in gardens

If you're going to be carrying out work around your home, or a third party is carrying out work on your behalf and you have requested a map from us, **your own gas service may not be marked**. The simplest way to understand the location of your gas service is to know where it enters your house, as pictured.

Your gas service pipe usually takes the shortest route to the gas main, as shown on the sample network map/drawing above.

If you're unsure and need further help, please contact us and we'll arrange for a Plant Protection officer to contact you.

What happens if you damage a pipe?

If you damage a gas pipe:

- Call the National Gas Emergency Service on 0800 111 999 immediately
- **DON'T** attempt to make repairs yourself
- **DON'T** handle or attempt to alter the position of the exposed pipe

Damaging a gas pipe can result in:

- Major fire/explosion leading to death or serious injury
- Asphyxiation due to gas exposure leading to death or serious injury
- Loss of gas supply to individuals or communities
- Financial costs to you for repair and remedial work
- Enforcement action by the HSE

We will recover all reasonable costs incurred in repairing damaged gas pipes.

Any damage, however minor, must be reported to the National Gas Emergency Service

224 Planting a tree or landscaping your garden

Tree roots can damage utilities.

If you're planting trees or shrubs, make sure you consider the type of plant, root type and their location in relation to buried gas pipes to avoid any damage. We may need access to repair and maintain our pipes and equipment in the future, and we reserve the right to remove any tree or bush if we need to.

Delivering gas safely, reliably and efficiently

Your safety is our top priority

We manage the network that distributes natural and green gas to over 5.9 million customers in Scotland and the south of England.

We own and operate 74,000km of gas mains, and associated plant and equipment. We're committed to delivering gas safely, reliably and efficiently to every one of our customers.

Accidental damage to our pipes could put you or members of the public at risk.



All our engineers and contractors carry a photo ID card with our company logo on it. Don't be afraid to check with our Security team on **0800 015 5170** that the person on your property is supposed to be there.



Service entry



Meter box

Help

If you're planning any work on or around your property and you need more information, you'll find everything you need on our Dig Safely pages.



sgn.co.uk



0800 912 1722

Smell gas? **0800 111 999**

Follow these six steps if you smell gas:



DO open windows and doors to help ventilate the gas



DO turn off the gas supply at the meter and make sure any gas appliances are turned off



DO call the **National Gas Emergency number on 0800 111 999**. Lines are open 24 hours a day, 365 days a year



DON'T smoke or use any naked flames



DON'T touch any electrical switches. Turning a switch on or off could ignite a gas leak



DON'T enter a cellar if you smell gas, even if your gas meter is located in the cellar



SGN

Your gas. Our network.

Dig safely

Measures to avoid injury
and damage to gas pipes



The following protective and precautionary measures MUST be taken when working in the vicinity of gas mains and services.

It is the responsibility of the property owner or company carrying out the work to make sure they've complied with the relevant legislation and Health and Safety Executive (HSE) guidance, eg HS(G)47. In practice, this means that whoever is carrying out the work MUST obtain gas mains location information and/or maps showing the indicative position of the gas network before any work takes place.

To avoid injury to yourself, your employees, colleagues and the general public you MUST suitably mark the position of the pipes on site.

HS(G)47 outlines best practice that should be followed to ensure you work safely:

1. Plan the work, obtain maps.
2. Detecting, identifying and marking underground services.
3. Safe excavation and safe digging practices.

In addition to the requirements under the Health and Safety At Work etc. Act 1974 to prevent injuries to employees and others (not employed), it is an offence under regulation 15 of the Pipelines Safety Regulations 1996 to cause damage to a pipeline (which includes gas mains and services as well as higher pressure pipelines) so as to give rise to a danger to persons.

You MUST make sure that current full colour copies of our maps are issued to all relevant personnel on site and they're aware of the presence and location of our gas mains and services prior to any excavation.

In a gas emergency

If you cause a gas leak or suspect a main or service pipe or equipment is leaking, you **MUST** take the following emergency actions immediately:

- **Ask people to move away from the area of the gas escape.**
- **Call 0800 111 999 immediately.**

1. **Don't attempt to repair the escape or stop the leakage.**
2. **As gas may enter buildings, ask people in the surrounding premises to leave until it's safe for them to return.**
3. **Stop anyone going near the immediate vicinity of the gas escape.**
4. **Prohibit smoking and extinguish all naked flames.**
5. **Don't use mobile phones or other ignition sources.**
6. **Assist our representatives and other emergency services such as the police, ambulance, and fire service as requested.**

Additional reference material

- SGN guidance for Safe Working in the Vicinity of Pipelines & Associated Installations operating >7barg. Applicable for HP only.
- HS(G)47 **Avoiding Danger from Underground Services** available from hse.gov.uk
- NJUG **Utilities Guidance on Positioning and Colour Coding of Apparatus** available from njug.org.uk





Making an enquiry for gas mains or services maps

Please visit our **Dig safely** pages on **[sgn.co.uk](https://www.sgn.co.uk)** for plant protection information and links to our online mapping system and other associated information and guidance.

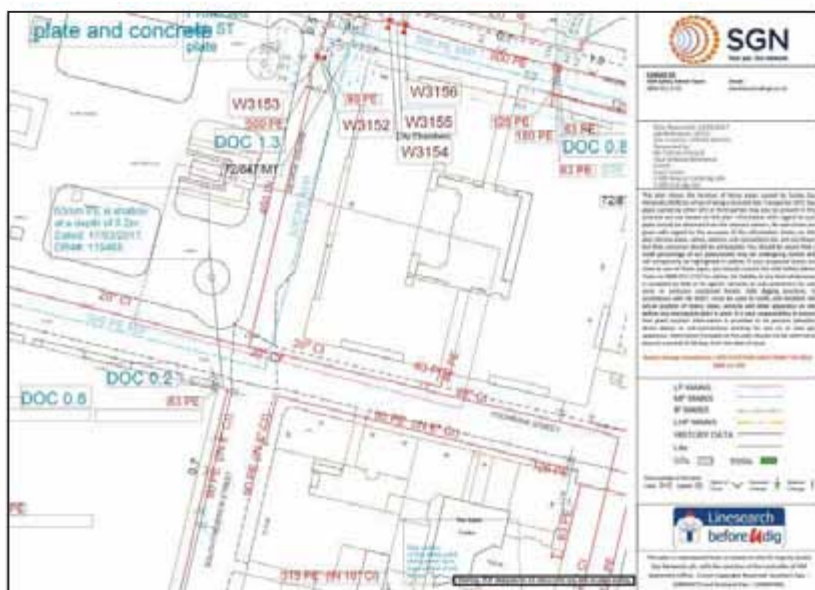
Our simple and easy to use online mapping system is available 24/7, 365 days a year.

You'll need to register/log in and provide a few details about your site location and the work you'll be carrying out. We'll respond immediately by email.

What you're likely to be sent

You'll be sent an email with a map. This will be an extract from our gas mains record, showing your site and any of our gas pipes as well as relevant safety information.

We always send out safety information, however we may forward your enquiry on to a local plant protection officer or a pipelines engineer to make direct contact with you depending on the work location.



Example of a gas map

Note: Service pipes are not shown on our maps

When working near our gas mains and services

Safe system of work

To satisfy ourselves that work in the vicinity of our gas mains is being carried out safely, we may ask for a copy of your risk assessment and/or method statement paperwork.

Where work falls under the Construction (Design and Management) Regulations 2015 reference to our gas mains and services **MUST** be made within your site Health and Safety file.

Financial

Every reasonable precaution **MUST** be taken to avoid personal injury or damage to our gas network at all times.

If we incur any costs to repair direct or consequential damage or divert any gas main or service, you'll be recharged in full.

HSE

Any damage to our gas mains or services will be subject to legislative reporting responsibilities to the Health and Safety Executive under Reporting of Injuries, Diseases & Dangerous Occurrences Regulations 2013, Gas Safety Management Regulations 1996, and the Pipelines Safety Regulations 1996.

Minimum safe working distances

Depending on the activity being undertaken and the gas mains or services you are working within the vicinity of, there are different safe distances that **MUST** be adhered to. SGN plant protection officers or pipeline engineers will inform you of these if required.

Surface boxes and manholes

Do not bury or move our surface boxes. Free access **MUST** be maintained during and after your work. No manhole cover or other structure can be built over, around or under a gas main, and no work is to be carried out that results in a reduction or increase in cover or protection without prior written agreement.

Deep excavations

Adequate protection, approved by us, **MUST** be applied for any deep excavations in the vicinity of our gas mains and services that may affect its security and integrity. Ground movement around gas mains **MUST** be prevented. We **MUST** be contacted if a sewer trench or any other water authority is to be constructed at greater than 1.5 metres depth near a buried gas main or service pipe. You **MUST** give us detailed drawings showing the line and width of the proposed sewer or other trench, together with the soil group classification of the area concerned.



Crossing our mains or services

The placing of heavy construction plant, equipment, materials or the passage of heavy vehicles over our gas mains is prohibited unless specifically agreed protective measures (ie the construction of reinforced crossing points) have been carried out. This is particularly important where reductions in side support or ground cover are planned. You **MUST NOT** carry out any work in servitudes/easements without our prior written consent.

Exposed plant

Where excavations in the vicinity of our gas mains affect its support, the plant **MUST** be adequately supported and protected in consultation with us and to our satisfaction. It **MUST** be protected from impact, restraints and thrust blocks, and supports **MUST NOT** be removed without our agreement.

Hot work

One of our representatives should be present when welding or other hot work involving naked flames is being carried out near our gas mains, as there's potential for heat damage to plastic pipeline/coatings.

Backfilling

Concrete backfill should not be placed closer than 300mm to our mains. No concrete or hard material should be placed under or adjacent to any of our gas mains. Shuttering **MUST** be constructed to maintain the stated clearances and prevent fresh concrete encasing our mains or services. Material used for backfill around our gas mains **MUST** conform to the following:

- If sand, it **MUST** be well-graded in accordance with BS EN 12620:2002.
- It **MUST NOT** contain any sharp particles (stones, bricks, lumps or corrosive materials).
- Foamed concrete **MUST NOT** be used.
- It **MUST** be laid to a minimum depth of 250mm above the crown of the gas main.

Note: Power ramming **MUST NOT** take place until a 300mm hand rammed layer has been completed over the crown of the main.

Access

Free access to our sites, mains and services, including temporary structures and spoil heaps **MUST** be available at all times.





Mechanical excavation

Mechanical excavators (including breaker attachments) **MUST NOT** be used within the following distances from the confirmed location of our gas mains and services shown on our gas maps without prior agreement:

Type of mains and services	Gas map identification	Hand excavation required inside	Pipe pressure indication shown on map
Low Pressure (LP)	0 – 75mbar	0.5 metres	
Medium Pressure (MP)	75mbar to 2 bar	0.5 metres	
Intermediate Pressure (IP)	2 – 7 bar	3.0 metres	
High Pressure (HP)	Above 7 bar	You must seek approval from us prior to any work	

Major accident hazard pipelines

High pressure pipeline

No work is to take place near an HP pipeline until it is agreed with us. After agreement and before any work does take place, the location of our pipeline **MUST** be marked up and its position confirmed by digging trial holes with our personnel in attendance.



Pipeline markers

High pressure

We will be involved in any work taking place near high pressure pipelines. We will provide you with additional information that you **MUST** familiarise yourself with before carrying out any work.

The default method of excavating near high pressure gas pipelines MUST always be by hand.



Wind turbines

The UK Onshore Pipelines Operations Association (UKOPA) has identified the appropriate exclusion zone (distance from the base of the wind turbine mast to the edge of the pipeline) as 1.5 times the turbine height. Contact MUST be made with us during the planning stages of a wind turbine or wind farm.



Tree planting

If trees or shrubs are to be planted in the vicinity of our gas mains and services, the selection of tree or shrub type and how it's planted **MUST** be considered carefully. This is to avoid root damage to buried mains or services, and to ensure our subsequent excavations for main repair and maintenance won't damage the trees or shrubs.

Written approval from us **MUST** be obtained before any tree planting is carried out on a servitude/easement. Any approval we grant to plant trees

The following trees and those of similar size (deciduous or evergreen) **MUST NOT** be planted within 6m of the centre line of the main: ash, beech, birch, most conifers, elm, maple, lime, horse chestnut, oak, and sycamore. Apple and pear trees are also included in this category.

Dwarf apple stocks may be planted up to 3m of the centre line of the main.



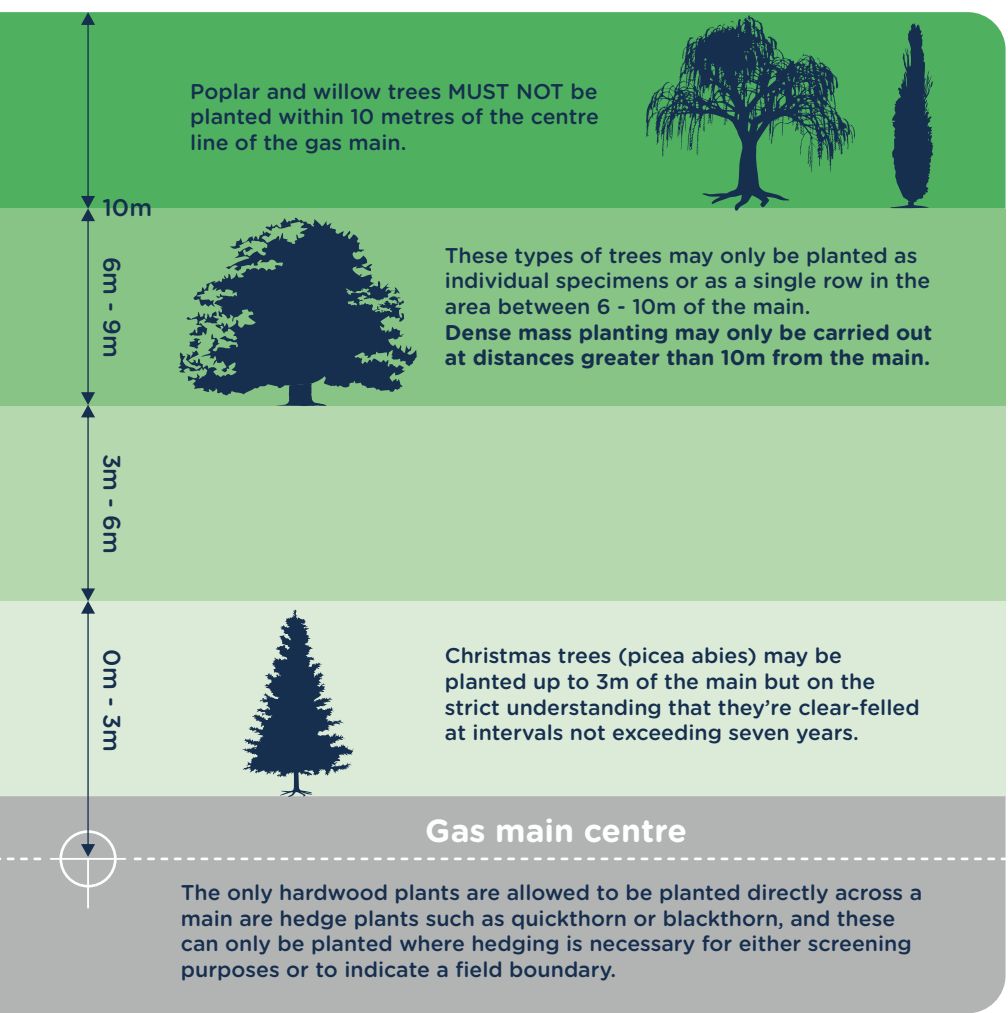
In cases where screening is required, the following are shallow rooting and may be planted close to the gas mains and services: blackthorn, broom, cotoneaster, elder, hazel, laurel, quickthorn, privet, snowberry and most ornamental shrubs.

Gas main centre

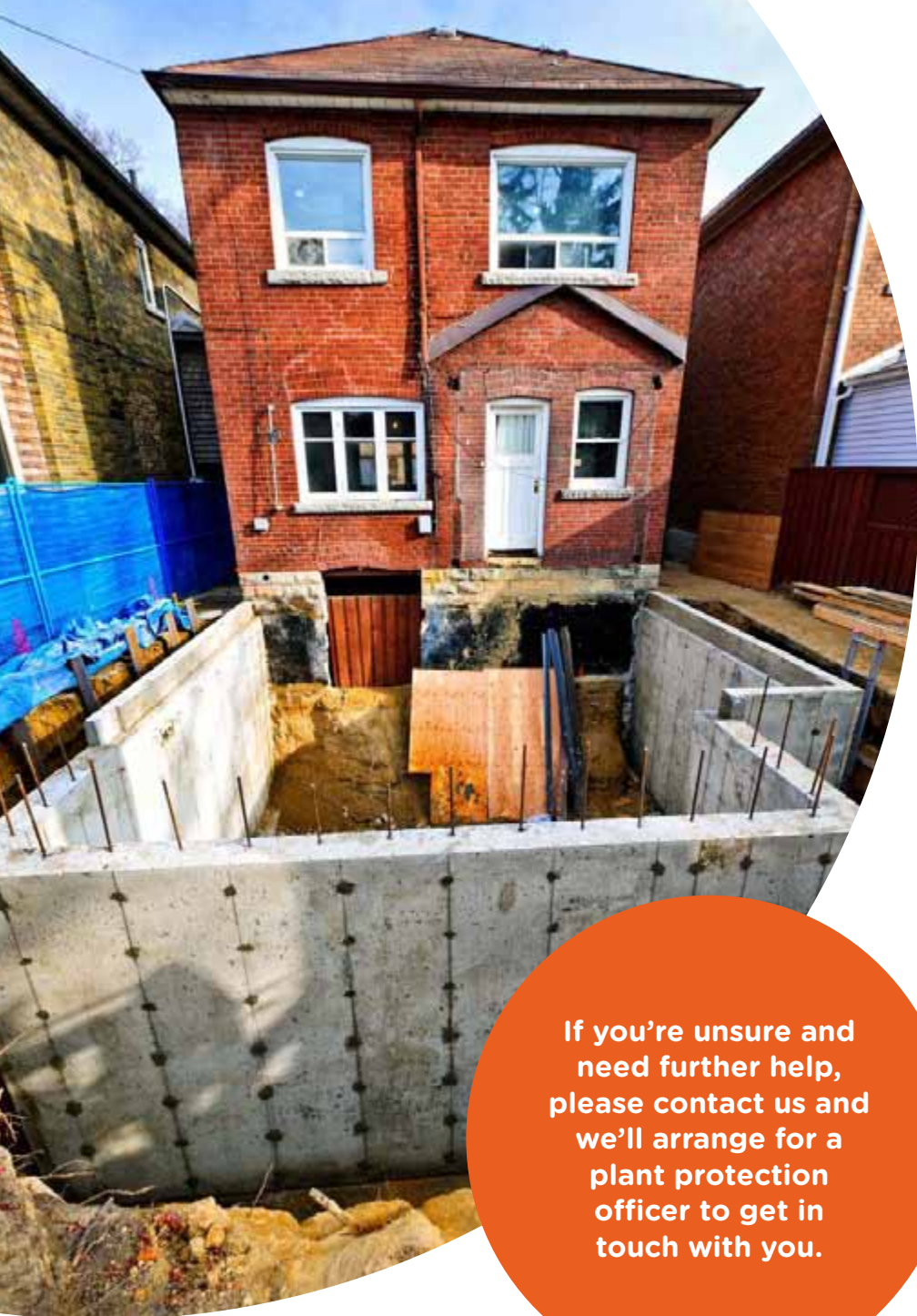
Raspberries, gooseberries and blackcurrants may be planted on the gas main, but a four metre strip, centred on the main, **MUST** be left clear at all times.

on a servitude/easement will be subject to us retaining the right to remove any tree, which in our opinion may become a danger to our mains in the future.

The written consent to plant trees will state what area may be planted and also the type of tree. The diagram details the specific species and the distances they **MUST** be planted from gas mains or services. You **MUST** contact us for further information.



Note: For further guidance, please refer to NJUG 10.

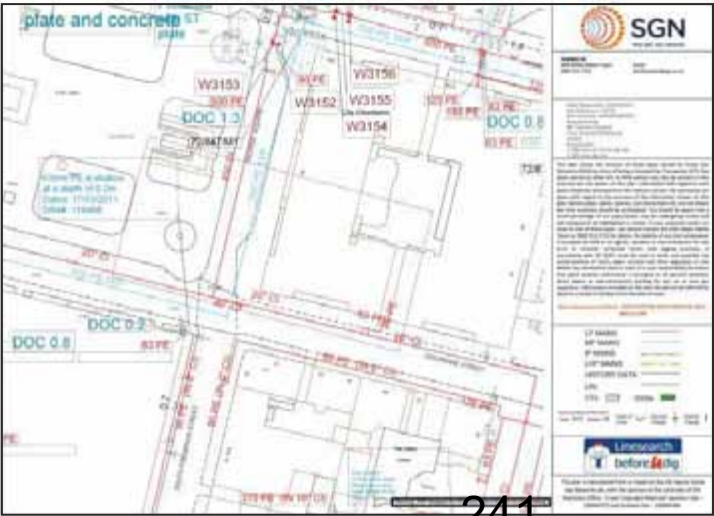


If you're unsure and need further help, please contact us and we'll arrange for a plant protection officer to get in touch with you.

Gas services/work in gardens

If you're going to be carrying out work around your home, or a third party is carrying out work on your behalf, we may send you a site map of our gas mains and services but your own gas service won't be marked.

The simplest way to understand the location of your gas service is to know where it enters your house.



< Your gas service pipe usually takes the shortest route to the gas main, as shown on the sample network map/drawing.



We provide a free plant location enquiry service and we're always happy to help.



Visit our **Dig safely** pages on **sgn.co.uk**



0800 912 1722 *

*All calls are recorded and may be monitored

Safety Advice - Valves

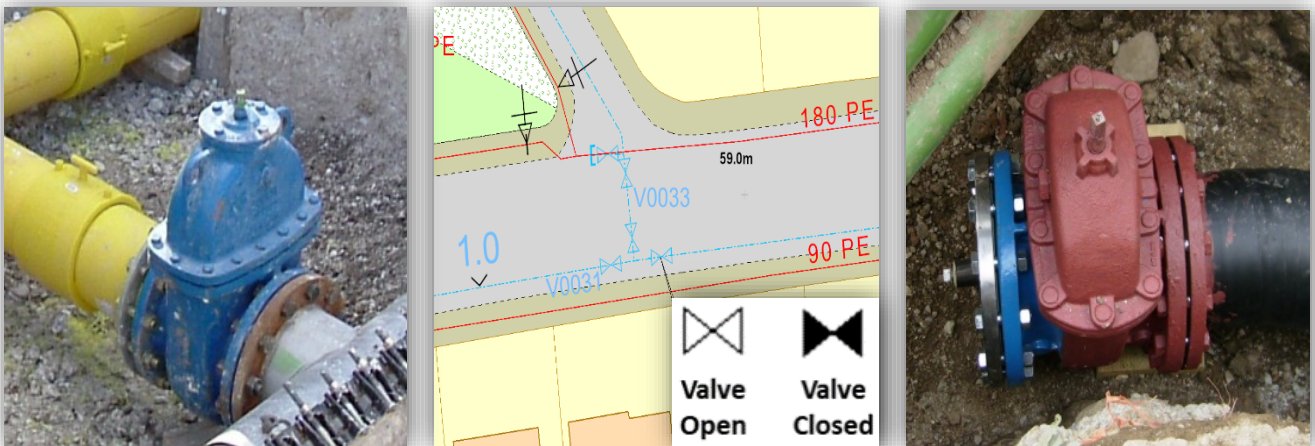
Guidance when undertaking work near gas valves in our network areas

SGN manages the network that distributes gas to 5.8 million homes and businesses across Scotland and the south of England.

Due to a manufacturing issue, we are currently replacing or upgrading certain valve types that are at risk of bolt failure. In extreme cases, this can lead to gas escapes. This is a safety hazard and we have produced this guide to ensure you undertake adequate safety precautions when working near gas valves.

Identifying gas valves

The images below are an illustration of typical gas valves. Please note, valves come in various colours, shapes and sizes, and you may come across a valve that looks different to those found in the images.



What should you do?

When planning to work in our network areas, please observe the following points:

1. You must contact us before starting any work activity within **3.0m** of a gas valve identified on our maps.
2. If an unexpected gas valve is exposed you must immediately stop excavation works and report this to us.
3. To protect yourself against the risks associated with exposing a valve, we advise that you contact us when in doubt.

Contact details

If you require further information or need assistance please contact us:

Safety Admin Team: 0800 912 1722
plantlocation@sgn.co.uk

Valve enquiries will be forwarded to a local engineer who will provide further safety information.

Our Ref: 22286887 Your Ref: 21/00719/FLL

Wednesday, 02 June 2021

Gillian Peebles
Pullar House 35 Kinnoull Street
Perth
Perth & Kinross
PH1 5GD

Dear Gillian Peebles

SSE Networks - Asset Network Plans

We have sent you the plans of our network records within the area requested. You will shortly receive responses each of the following; any High Voltage Mains cables and Low Voltage Mains cables.

Attached to this email is the 'Guide to Interpreting' which includes the legends for the plans on pages 7-9.

If a Service Cable is not shown on our maps sent, and you require the Cable to be Traced, please contact the General Enquiries Department on 0800 048 3516 (option 3) or via email, ge@ssen.co.uk


If you need further information on our network in this area or a quotation for any required works, please contact the Connections & Engineering Department on 0800 048 3516 or via email, connections@sse.com

Kind Regards,

Asset Data Team
01256 337 294
Asset.data@sse.com

GUIDE TO INTERPRETING MAINS RECORDS PLAN



Inveralmond House, 200 Dunkeld Road, Perth PH1 3AQ  **ssen.co.uk**

Scottish and Southern Electricity Networks is a trading name of: Scottish and Southern Energy Power Distribution Limited Registered in Scotland No. SC213459; Scottish Hydro Electric Transmission plc Registered in Scotland No. SC213461; Scottish Hydro Electric Power Distribution plc Registered in Scotland No. SC213460; (all having their Registered Offices at Inveralmond House 200 Dunkeld Road Perth PH1 3AQ); and Southern Electric Power Distribution plc Registered in England & Wales No. 04094290 having their Registered Office at No. 1 Forbury Place 43 Forbury Road Reading RG1 3JH which are members of the SSE Group www.ssen.co.uk

INTRODUCTION

The Health & Safety Executive have produced a document entitled 'Avoiding danger from underground services'. Copies are available from HMSO's accredited agents and good booksellers, Ref HS(G)47, ISBN 0118854925.

WHEN WORKING IN THE VICINITY OF ELECTRICITY CABLES AND OVERHEAD LINES PLEASE FOLLOW THE DO'S & DON'T'S LISTED BELOW.

DO'S

- Do** Make sure that you have plans of the cables in the area before any excavation work starts. Remember that some cables such as service cables may not be shown on the plans. Cables owned by other companies are not shown, e.g. local authorities, Department of the Environment, National Grid Co. etc.
- Do** Make sure that you understand the plans that have been supplied to you. For detailed explanation of the symbols used by Scottish & Southern Electricity Networks refer to this guide & the key shown on the plan
- Do** Use a cable avoidance tool (CAT) to determine the position of the existing cables in the work area. The positions should be clearly marked, and further tests made as work proceeds. **If in doubt, get advice from your supervisor.**
- Do** Hand dig trial holes over the indicated route of the cable, excavate alongside.
- Do** Ask for a cable to be made dead if it is buried in concrete. Please note that this is likely to be a costly process.
- Do** Watch for signs of cables as work progresses, such as marker tapes or cable covers which may be exposed.
- Do** Backfill carefully using stone free soil around cables, replacing marker tapes and covers.

- Do** Ensure that there is maximum clearance above all cable & joints.
- Do** Notify Scottish & Southern Electricity Networks immediately should accidental damage to cables occur however large or small. Arrange to keep people well clear of the cable that has been damaged. Do not backfill an area where cable damage has occurred.

DON'T'S

- Don't** Operate a bulldozer, scraper, dragline or excavator unless you are satisfied that there are no buried cables or overhead lines in the working area.
- Don't** Use picks, forks or pointed instruments in soft clay or soil where cables are present, exercise extreme caution where such instruments are used to free lumps of stone or to break up firmly compacted ground.
- Don't** Use exposed cables as a convenient step or handhold.
- Don't** Handle or attempt to alter the position of any cable.

REMEMBER THAT A DAMAGED CABLE MAY CAUSE EXTENSIVE LOSS OF SUPPLIES, MAKE EXPENSIVE REPAIRS NECESSARY AND CAUSE SERIOUS OR EVEN FATAL INJURY.

IF IN DOUBT ASK SCOTTISH & SOUTHERN ELECTRICITY NETWORKS

UNDERSTANDING THE INFORMATION ON THE PLANS.

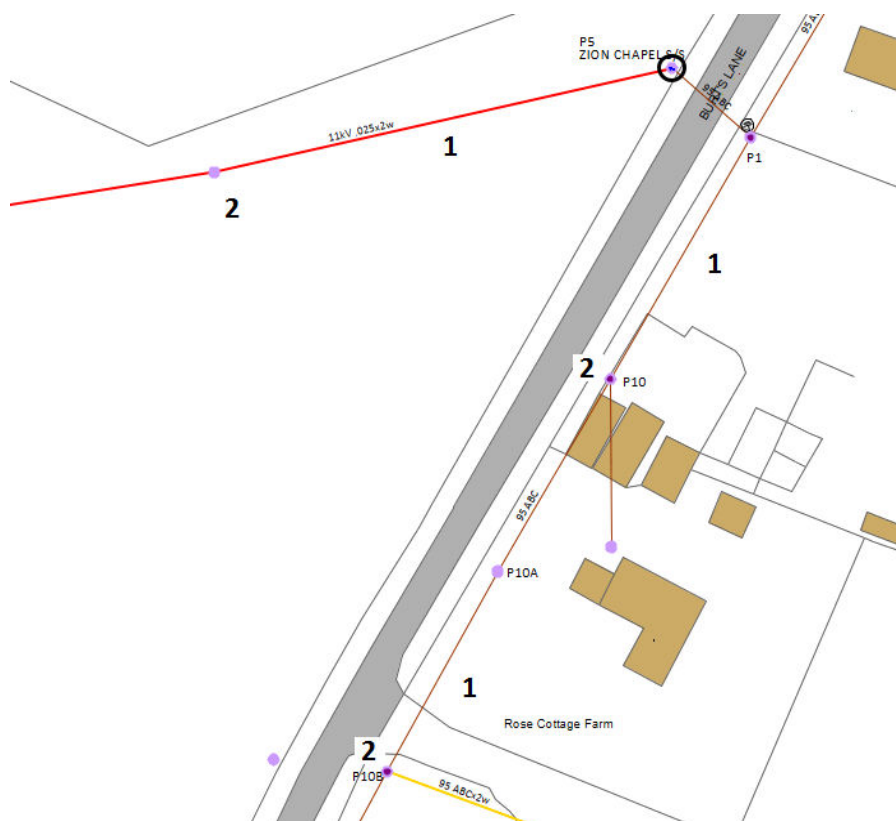
AVERAGE DEPTH OF CABLES: Footpaths 0.6 metres

Road Crossings 0.75metres

NB These depths are only approximate, depths may vary. It should also be noted that surface levels can change subsequent to the cables being laid.

Mains records symbols definitions and examples:

A) Overhead lines & Poles – These are depicted as follows:



1. Overhead Line – These can be either High Voltage or Low Voltage, colour denotes voltage.
2. Poles.
3. Pole Mounted Transformer.

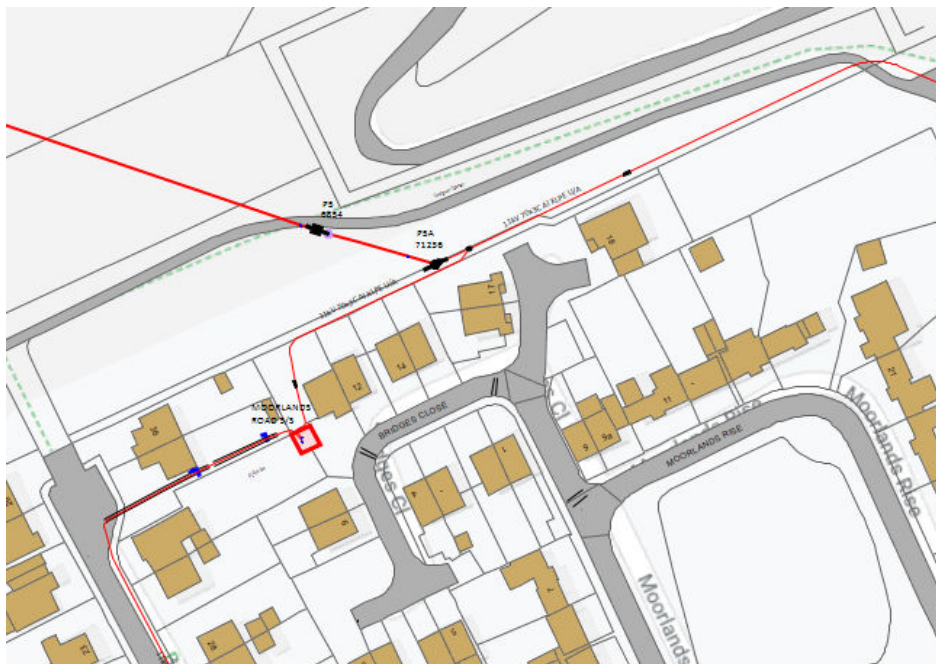
B) Typical example of Low Voltage cable records:



1. Sub Station
2. Low Voltage Underground cable.
3. Link Boxes: This is a box with a manhole cover marked as belonging to Scottish & Southern Energy containing links. Either two or four cables will lead away from a link box.
4. Straight Joint: This is where two separate cables are joined together.
5. Breach Joint: This is where another cable is attached to the main.
6. Pot End: This is the end of the cable. In certain circumstances service cables to properties can be taken from the pot end. These services may not be shown on the plans.
7. Road crossing duct where a cable is routed under a path or road.
8. Cable terminations/Pole Box: Where underground cables are connected to overhead lines
9. Overhead line.
10. Street Lamps.










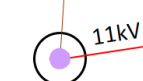

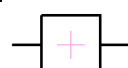











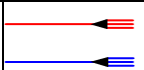





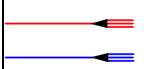
11. Services to properties: The service cable to an individual property are not always shown on the mains records that Scottish & Southern Electricity Networks supply. In some cases, a service can be looped from an adjacent property.



















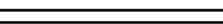









C) Typical example of High Voltage cable record.












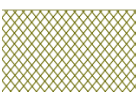


1. Sub Station
2. High Voltage Underground cable – Colour denotes voltage.
3. Straight Joint: This is where two separate cables are joined together.
4. Breech Joint: This is where another cable is attached to the main.
5. Cable terminations/Pole Box: Where underground cables are connected to overhead lines
6. Overhead Switch.

GIS ELECTRIC SYMBOLS

Service cable		Single Poles	
LV Mains		H Poles	
LV Mains and Services (Split Phase)		3 Poles	
2-3.3kV		Tower	
6.6kV		Pole Mounted Transformer	
11kV		Circuit Breaker	
22kV		Switch Disconnecter/ OH Air Break	
33kV		Pole Box	
66kV		Straight Joint	
132kV		Mains Breech Joint (Tee)	
275kV		Service Breech Joint	
320 kV		Trifurcating Joint	
400kV		Pot End	
Fibre Optic		Capped End	
Pilot Cable		Sealing End	

Assumed Route		Surge Diverters	
Out of Service		Pillar	
Service Connector Joint		Substation	
Overhead Connector		Non Electrical Item	
Wall Box Joint		Street Furniture	
Flying Stay		LV Link Box	
Stay		LV Supply Point	
PME Earth		Oil Pipeline	
Neutral Earth		Gas Pipeline	
Ducting		Areas of Outstanding Natural Beauty	
Pit		National Park	
Embedded Network		Borehole	
Other Network		ASLs	
Water Extraction Point		Sensitive Waterway	

Source Protection Zone		Site of Special Scientific Interest (SSSI)	
Vulnerability Zone		National Nature Reserve (NNR)	
Access		RAMSAR Special Area of Conservation (SAC)	
Ownership		Special Protection Area (SPA)	
Monuments		Ancient Woodland	
Flood Area		Restricted Access	

Watch it!

Safety advice brought to you by Scottish and Southern Electricity Networks

These notes are intended to help all those who have to work in the vicinity of electrical apparatus. Employers have a legal obligation to ensure that their operatives are fully instructed in the correct procedures.

The Electricity at Work Regulations 1989 impose health and safety requirements upon employers, employees and self-employed persons with respect to electricity at work. The regulations impose restrictions on persons being engaged in work activities on or near live conductors.

Regulation 14 requires that: "No person shall be engaged in any work activity on or near any live conductor (other than one suitably covered with insulating material so as to prevent danger) that danger may arise unless:

- ◆ it is **unreasonable** in all circumstances for it to be dead; and
- ◆ it is **reasonable** in all circumstances for him to be at work on or near it while it is live; and
- ◆ suitable precautions (including where necessary the provision of suitable protective equipment) are taken to prevent injury."

The purpose of the regulations is to require precautions to be taken against the risk of death or personal injury from electricity in work activities.

Publications

The Health and Safety Executive have produced a document entitled 'Avoiding Danger from Underground Services', and the Appendix 1 deals specifically with electric cables. Copies are available from the HSE's Accredited Agents and good booksellers, Ref. HS (G) 47.

Copies of Health and Safety Guidance note GS 6 relating to safe working in proximity to overhead lines, are available from the Health and Safety Executive's website - www.hse.gov.uk.

Note

In situations of emergency or danger, or where the advice contained in these notes cannot be followed, you must consult Scottish and Southern Electricity Networks immediately. Tel. 0800 0727282 for southern England or 0800 300999 for Scotland.

Additional copies of these "Watch it!" leaflets can be obtained from our Asset Data Team office upon request. Tel. 01256 337294, or Fax 01256 337295.

You must read and accept the following safety notes as part of the contract to receive our network plans. You will have the option to print these and issue them to site staff.

Watch it! - Working in the vicinity of underground cables

Our plans show the positions and normal depths for the buried cables and pipes at the time when they were installed. However, alterations to road alignments surface levels and buildings may have occurred subsequently without our knowledge. If you discover plant or cables that are not marked or incorrectly marked, then you are required to contact us as soon as possible to give us the opportunity to amend our plans.

These plans show the equipment owned by Scottish and Southern Electricity Networks. There may be other privately owned plant in the area, which is outside of our control. You should always check with the Local Authority, National Grid Company, Department of the Environment, other Electricity Companies and other utilities before proceeding.

It is not intended that the issue of these plans will absolve either party from their obligation under any of the acts that control digging in the public highways.

Supplies To Properties, etc.

The location of cables supplying individual properties, street lighting, traffic signs, telephone kiosks etc. are not always shown on the plans. You should assume that each property, streetlight etc. will have its own supply cable.

Major Circuits

Where our plans indicate the presence of cables with a voltage exceeding 11,000 volts, you are advised to contact our local depot (telephone number is on the plans), before commencing any excavations within the vicinity of these cables. These major circuits form an extremely important link in Scottish and Southern Electricity Networks' networks, and damaging or modifying these circuits is a major and costly undertaking. Any development should therefore be designed to allow these circuits to remain undisturbed and accessible in their present location.

For your own and your workmates' safety, please follow the **do's** and **don'ts** listed below:

- ü **do** make sure you have plans of the underground cables in the area **before** any excavation work starts. Remember that some cables may not be shown on plans. If carrying out emergency work, excavate as though there are buried live cables in the vicinity.
- ü **do** use a cable locator to determine the position of existing cables in the work area. The positions should be marked and tests made as work proceeds. **If in doubt, get advice from your supervisor.**
- ü **do** ask for a cable to be made dead if it is buried in concrete.

- ü **do** backfill carefully, using stone-free soil around the cables, replacing marker-tapes and / or covers.
- ü **do** notify us immediately if you accidentally damage our cables. Arrange to keep people well clear of a cable that has been damaged until we have confirmed it has been made safe.
- ü **do** make sure before starting to demolish a building that all cables have been disconnected. We welcome prior notice of the intention to demolish buildings. This enables us to ensure that the site has been made safe electrically.
- ü **don't** operate a bulldozer, scraper, dragline or excavator; unless you are satisfied that there are no buried cables in the working area.
- ü **don't** use picks, pins, forks or pointed instruments in soft clay or soil when cables are present. Exercise extreme caution where such instruments are used to free lumps of stone, or break up firmly compacted ground. **Never** throw a fork or sharp instrument into the ground.
- ü **don't** dig trial holes over the indicated route of the cable. Excavate alongside instead.
- ü **don't** use exposed cables as a convenient step or handhold.
- ü **don't** handle or attempt to alter the position of any cable.

Remember that a damaged cable may cause extensive loss of supplies, make expensive repairs necessary and cause serious or even fatal injury.

If effective measures are not adopted to protect our equipment, we will take steps to recover the cost of any damage caused. Persons causing damage resulting in loss of supply to customers can be held legally responsible for any claims made by those customers. Promptness in reporting an incident will minimise costs.

In most cases it is not practicable to make cables dead without interrupting supplies to our customers. But given adequate notice, we will wherever possible, give advice regarding special precautions which may be necessary on any site where particular problems are likely to be encountered. The right is reserved to make a charge for this service.

Electricity cables can exist anywhere - under paths or roads, in gardens or driveways, on new housing or industrial development sites or even farmland.

Watch it! - Working in the vicinity of overhead lines

For your own and your workmates' safety, please follow the **do's** and **don'ts** listed below

- ü **do** carefully note the position of all overhead lines before commencing work.
- ü **do** co-operate with us during planning and sitework stages.
- ü **do** follow the advice given in HSE Guidance Note GS 6 when siting barriers, goal posts, bunting etc.
- ü **do** keep overhead lines in view when moving scaffolding or machinery and take special care when felling or lopping trees.
- ü **do** remember that the raising or slewing of a crane or excavator jib may cause danger when operating near an overhead line.

- ü **do** avoid any machinery that is in contact with an overhead line until we confirm that conditions are safe.
- ü **do** warn others to keep well clear.
- ü **don't** drive a high vehicle below an overhead line when an alternative route is available.
- ü **don't** raise the bed of a tipper lorry beneath an overhead line or drive under the line with the body of the vehicle raised.
- ü **don't** steady any suspended load until you are satisfied that there is no danger from overhead lines.
- ü **don't** handle or use scaffold platforms, poles, pipes or ladders unless they are at a safe distance from overhead lines.
- ü **don't** transport long objects beneath overhead lines, unless they are carried in a horizontal position.
- ü **don't** approach or touch any broken or fallen overhead lines.

Always remember that:

- Electricity can jump gaps.
- Contact or near contact with a crane jib, scaffold or ladder can cause a discharge of electricity with a risk of fatal or severe shock and burns to any person in the vicinity.

If effective measures are not adopted to protect our equipment, we will take steps to recover the cost of any damage caused. Persons causing damage resulting in loss of supply to customers can be held legally responsible for any claims made by those customers. Promptness in reporting an incident will minimise costs.

In most cases it is not practicable to make overhead lines dead without interrupting supplies to customers. However, provided adequate notice is given, then we will, whenever possible, give advice regarding special precautions which may be necessary on site where specific problems may be encountered. The right is reserved to make a charge for this service.

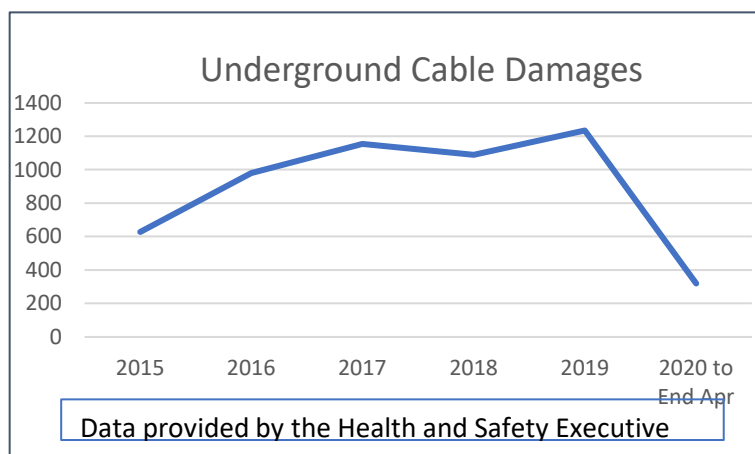
Scottish and Southern Electricity Networks is a trading name of: Scottish and Southern Energy Power Distribution Limited Registered in Scotland No. SC213459; Scottish Hydro Electric Transmission plc Registered in Scotland No. SC213461; Scottish Hydro Electric Power Distribution plc Registered in Scotland No. SC213460 (all having their Registered Offices at Inverlmond House 200 Dunkeld Road Perth PH1 3AQ); and Southern Electric Power Distribution plc Registered in England & Wales No. 04094290 having its Registered Office at No.1 Forbury Place 43 Forbury Road Reading RG1 3JH which are members of the SSE Group www.ssen.co.uk

‘Watch Out, Cables About!’

During the COVID-19 pandemic, construction work and projects across the UK have experienced a period of downtime, affecting the amount of excavation work undertaken. As a result, energy network companies have experienced a welcome reduction in third-party damages to their buried apparatus. In reality, this reduction in damage to underground cables, gas pipelines and other utility equipment, means a reduction in the risk of harm to those involved in the damage.

As lockdown restrictions begin to ease across the UK and work levels increase, it's essential that excavation teams remember the basic safety precautions necessary to ensure they stay safe.

When you are carrying out any excavations or work that involves breaking ground, **be aware of what is buried in the ground before you start. Work out how you are going to locate utility equipment and avoid the risk of damaging it.**



Follow the advice in Health and Safety Executive (HSE) [Guidance HSG47 'Avoiding danger from underground services'](#) and ENA's '[Watch Out, Cables About](#)' Safety advice leaflet. Complete your risk assessment before starting work and share the details of this with everyone involved in the work. Further guidance and advice is available via the Utility Strike Avoidance web site: <https://www.utilitystrikeavoidancegroup.org>

- Be aware of the location of underground utility equipment before digging or excavating.
- Request location details and plans from Utility Companies well in advance of work starting. Remember that these are a guide only – you are responsible for confirming the exact location of all equipment and avoiding damage.
- Use a cable avoidance tool to identify the presence of buried cables before you start to dig. Rescan the area as your work progresses. Hand Dig — use safe digging techniques to dig trial holes to establish the line and depth of underground utility equipment.
- Always assume underground cables are Live. If they appear to be damaged do not approach them and contact the Network Operator using 105 for GB (or 03457 643 643 in Northern Ireland). Take care when lowering the ground levels as there may be underground cables in the area.
- If you damage an underground cable, vacate the excavation immediately, phone your electricity network operator's emergency number and keep everybody clear.

In an emergency dial **999** and tell them electricity is involved. Call 105 for GB (or 03457 643 643 in Northern Ireland) if you have a safety concern related to the electricity network or if you spot damage to overhead power lines, underground cables and substations that could put you, or someone else, in danger. If you are in any doubt about whether an underground cable or other piece of equipment is safe, always assume it is live, keep away from it and contact your local electricity network operator.

Plan your work safely and help us to keep Britain's energy flowing.

To find the local electricity network operator, search 'electricity distribution map' on the ENA website at www.energynetworks.org.