

**LRB-2023-21**  
**23/00116/FLL - Extension to ancillary accommodation, 6**  
**Main Street, Keltybridge, Kelty, KY4 0JH**

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**LRB-2023-21**

**23/00116/FLL - Extension to ancillary accommodation, 6**

**Main Street, Keltybridge, Kelty, KY4 0JH**

**PAPERS SUBMITTED  
BY THE  
APPLICANT**





Pullar House 35 Kinnoull Street Perth PH1 5GD Tel: 01738 475300 Fax: 01738 475310 Email: [onlineapps@pkc.gov.uk](mailto:onlineapps@pkc.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100602588-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant  Agent

## Agent Details

Please enter Agent details

Company/Organisation:	Andrew Allan Architecture Ltd		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Andrew	Building Name:	AYE House
Last Name: *	Allan	Building Number:	
Telephone Number: *	01383730500	Address 1 (Street): *	Admiralty Park
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Dunfermline
Fax Number:		Country: *	UK
		Postcode: *	KY11 2YW
Email Address: *	info@andrewallanarchitecture.com		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="K"/>	Building Number:	<input type="text" value="6"/>
Last Name: *	<input type="text" value="Crombie"/>	Address 1 (Street): *	<input type="text" value="Keltybridge"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text" value="Blairadam"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Kelty"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="United Kingdom"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="KY4 0JH"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="neil@andrewallanarchitecture.com"/>		

## Site Address Details

Planning Authority:	<input type="text" value="Perth and Kinross Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="THE FLAT"/>
Address 2:	<input type="text" value="6 MAIN STREET"/>
Address 3:	<input type="text" value="KELTYBRIDGE"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="KELTY"/>
Post Code:	<input type="text" value="KY4 0JH"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="695345"/>	Easting	<input type="text" value="313893"/>
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## Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: \*  
(Max 500 characters)

Extension to dwellinghouse

## Type of Application

What type of application did you submit to the planning authority? \*

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? \*

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

## Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: \* (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please refer to supporting document.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? \*

Yes  No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: \* (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: \* (Max 500 characters)

Supporting statement (33 page document)

## Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

23/00116/FLL

What date was the application submitted to the planning authority? \*

28/01/2023

What date was the decision issued by the planning authority? \*

23/03/2023

## Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. \*

Yes  No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? \*

Yes  No

Is it possible for the site to be accessed safely and without barriers to entry? \*

Yes  No

## Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. \*

Yes  No

Have you provided the date and reference number of the application which is the subject of this review? \*

Yes  No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? \*

Yes  No  N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? \*

Yes  No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review \*

Yes  No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.



## **Declare – Notice of Review**

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Andrew Allan

Declaration Date: 07/06/2023

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PLANNING APPLICATION 23/00116/FLL

SINGLE STOREY REAR EXTENSION TO DWELLINGHOUSE

at

The Flat, 6 Main Street, Keltybridge

## APPEAL DESIGN STATEMENT



Photograph 1. Listed wall as highlighted in delegated report of handling 23/00116/FLL

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## APPEAL INDEX

1. INTRODUCTION
2. BACKGROUND TO 6 MAIN STREET, KELTYBRIDGE
3. EXISTING BUILT FORM OF KELTYBIDGE
4. APPEAL POLICY CONTEXT
5. REASONS FOR REFUSAL
6. CONCLUSION

## APPENDICIES

Appendix 1. Submitted Planning Application Form

Appendix 2. Perth and Kinross Council Planning Authority Site Notice

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## 1. INTRODUCTION

- 1.1. Planning application reference 23/00116/FLL was submitted to Perth and Kinross Council on 28<sup>th</sup> January, 2023, seeking planning permission, as specified in the completed planning application form (Appendix 1), for the erection of a “proposed single storey extension to rear of existing dwelling” at “The Flat, 6 Main Street, Keltybridge”.
- 1.2. The Flat, 6 Main Street, Keltybridge, as confirmed by the Council in their internal consultation response to the planning application dated 22<sup>nd</sup> February 2023, forms part of an unlisted traditional building. The application site, and that of the adjoining dwellinghouse “Bridge House” which has also been in the ownership of our client's family for over 60 years, is two-storey in height and includes traditional features such as natural stone walls, white sash and case windows, wall-head dormers and skews. The roof of 6 Main Street has red clay pantiles whereas the adjoining Bridge House has grey slates as shown on photograph 1. Crowsteps as opposed to skews are a feature on the gable of 6 Main Street which has been replicated in the design of the single storey proposed extension. The gable elevation of 6 Main Street and the existing single storey rear extension are finished in a dry-dash roughcast. In addition to the traditional building in which 6 Main Street forms part of not being listed, we also recognise that the settlement of Keltybridge is not a Conservation Area as identified in the Adopted Perth & Kinross Local Development Plan 2 2019 (LDP). The characteristics of the surrounding built environment of Keltybridge consists of a mix of modern and traditional buildings of various designs, scales, massing and finishing materials which also clearly demonstrates why the settlement is not designated by the Council as being a Conservation Area. Kelty Bridge, as shown on the photograph 1 of this Appeal Design Statement, is category B listed. The bridge is approximately 900mm in height from road level as shown on the photograph and is located at acute angle approximately 50 metres to the south of the proposed extension to the dwellinghouse.

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- 1.3. The planning application subject to the appeal, as also identified within the completed application form (Appendix 1), was a resubmission following an earlier refusal of planning permission on 9<sup>th</sup> December 2022 for the “erection of extension to the dwellinghouse” under planning reference 22/01793/FLL. Members of the Local Review Body can see that the Council make reference to this earlier planning application within the “Site History” section of their delegated report of handling for the planning application now subject to the appeal. We also note that the report also confirms that no letters of objection were received to the proposed development.
  
- 1.4. There were 3 reasons for refusal on the earlier 2022 planning application. Members are made aware that these related to (1) the design of the extension which the Council considered would not have a positive impact on the surrounding built environment, despite the surrounding areas mixed form, massing and setting; (2) the potential detrimental impact on the residential amenity of the family's adjoining dwellinghouse at Bridge House, despite its north facing aspect; and, (3) the detrimental impact on the setting of the adjacent B-listed Kelty Bridge (as shown on the photograph 1 on the front page of this Appeal Design Statement).
  
- 1.5. The decision to refuse the revised planning application for the single storey extension is now being appealed on the grounds that:-
  - Reason for refusal number 1 – it is unclear why this reason has been included which did not correctly form part of the earlier 2022 planning refusal for the site. The proposed development relates, consistent with the earlier 2022 planning application, to the erection of an extension to the existing dwellinghouse at 6 Main Street and not ancillary accommodation for the adjoining Bridge House which is a separate residential unit. The proposed extension does not therefore result in any form of additional ancillary accommodation within the grounds of 6 Main Street, or the adjoining Bridge House. This reason for refusal is not therefore applicable to the application under consideration and should not have formed part of the assessment of the application.

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- Reason for refusal number 2 – the proposed extension clearly complies with Policies 14(a) and (b) and 16(g) of NPF4; Perth & Kinross Placemaking Guide 2020; and, Policies 1A, 1B(c) and 17(c) of the Perth and Kinross Local Development Plan (LDP) as the development has been sensitively designed to reflect the characteristics of the overall traditional un-listed building and complements the design of extensions within the immediate built environment, and particularly the closest adjacent dwellinghouse to the north (Photograph 8).
- Reason for refusal 3 – the application should be supported as complying with Policy 7(a) and (c) of NPF4 and Policy 27A of the LDP, as in addition to it being set back from the east elevation, the respectful design of the single storey extension to the dwellinghouse and its distance, at an acute angle, from the listed bridge (as shown on front page photograph and below) ensures the proposed development would not have a negative impact on the setting of the listed building. This is also shown below.
- Reason for refusal 4 – due to its northerly aspect and the non-habitable nature of the adjacent window, the proposed extension would not have a detrimental impact on the amenity of our client's families adjoining dwellinghouse at Bridge House and therefore the application complies, again, with Policies 14(a) and (b) and 16(g) of NPF4; Perth & Kinross Placemaking Guide 2020; and, Policies 1A, 1B(c) and 17(c) of the LDP. Similar to reason 1, we note that reason 4 of the refusal also makes reference to the application being contrary to Perth & Kinross Council's Ancillary and Annex Accommodation 2021. As the application relates to a dwellinghouse, this guidance is also not applicable to the application.

1.6. It is also recognised that despite only a brief reference within the report of handling of Policy 16(h) of NPF4, this did not however form part of any of the 4 reasons for refusal made by the Planning Authority. We are however in agreement with this, as can be justified in detail below, as the proposed single storey extension meets the requirements set out in the nation framework under this policy.

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1.7. Members of the Local Review Body will also see that the “Principle” section of the report of handling presented by the Council incorrectly makes reference to “ancillary accommodation” as highlighted above and below in greater detail. For the re-submission householder planning application under consideration for the proposed single storey extension to the dwellinghouse (Appendix 1), the principle section of the Council’s report of handling should have instead made reference and explained the requirements of Policy 16(h) of NPF4, noted above, which states:-

**“householder development proposals that provide adaptations relating to people with health conditions that lead to particular accommodation needs will be supported.”**

1.7.1. The Local Review Body should be made aware that Policy 16(h) of NPF4 is a key material consideration in the assessment of the proposed development (as highlighted below in more detail) as the overall proposal relates to the adaptation and reconfiguration of 6 Main Street to provide an additional bedroom within the footprint of the existing one bedroomed dwellinghouse to enable our client’s grandfather of 83 years of age to live with his family and be cared for. The proposed single storey extension to the dwellinghouse is therefore necessary to provide a replacement lounge and dining area to accommodate the proposed bedroom and shower room for our client’s grandfather at one level. This would then critically enable our client’s 83-year-old grandfather to reside at the dwellinghouse and be cared for by our client.

1.7.2. The pandemic has a significant impact on many people and has made us all realise more so than ever the importance of taking care of those people we love and care. This is the key driver in the design of the extension to enable our client’s grandfather to live within the dwellinghouse and be cared for whilst making memories as a family within the grounds, including that of the adjoining Bridge House, in which 5 generations of our client’s family have resided in both adjoining dwellinghouses.

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## 2. BACKGROUND TO THE FLAT, 6 MAIN STREET, KELTYBRIDGE

2.1. 6 Main Street, Keltybridge is a two-storey dwellinghouse that forms part of an unlisted traditional two-storey building which is located within the settlement of Keltybridge. The adjoining dwellinghouse at Bridge House, whilst also within the ownership of our client's family for in excess of 60 years, is a separate residential dwellinghouse and it is therefore unclear why the planning application subject to this appeal to the Local Review Body has incorrectly now been described latterly by the Council as an extension to ancillary accommodation.

- The location plan below (Figure 1) outlines the application site boundary including the large amenity space to the north for 6 Main Street in red. The adjoining Bridge House dwellinghouse, and its substantial amenity space predominately to the west of the rear elevation, is outlined in blue on the location plan. The plan clearly demonstrates the two residential properties that form the host two-storey un-listed building, and their respective gardens.

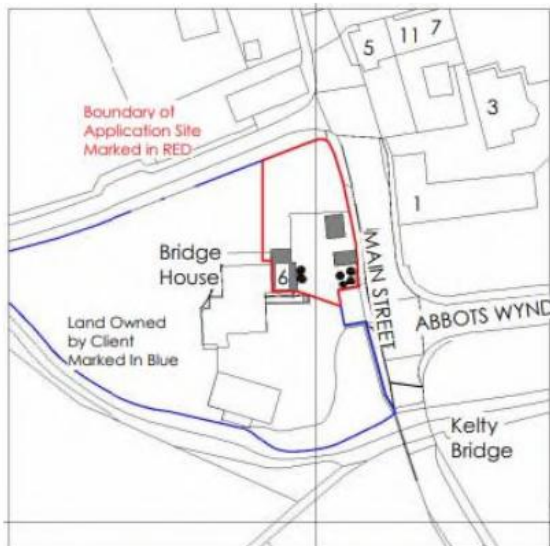


Figure 1. Location Plan

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2.2. Given, as shown on the location plan, there are two separate residential units contained within the host building, which are not ancillary to one another, surprisingly, the Council's report of handling for 6 Main Street also makes reference in the "Site History" section to 5 planning applications actually having been submitted for 6 Main Street dating from 2011 to 2022. It is unclear to us why this has been done. Whilst it is recognised that the Council's report does not include the full address of these 5 planning applications, we must advise the Local Review Body that only the following quoted application from the Council's report, and as highlighted above, is relevant to the application site:

- "22/01793/FLL Extension to dwellinghouse  
Application Refused – 9 December 2022".

2.3. The 4 other planning applications quoted within the Council's delegated report of handling relate to the adjoining separate dwellinghouse at Bridge House. These applications should not therefore have formed part of the site history for 6 Main Street. This was also wrongly identified within the Council's report of handling for the previous 2022 submission for 6 Main Street despite the report correctly specifying the overall building is two separate dwellinghouses in that report. This error within the delegated report of handling also caused confusion within our team prior to the resubmission now under consideration by the Local Review Body.

### 3. EXISTING BUILT FORM OF KELTYBRIDGE

3.1. Keltybridge is a settlement that is not characterised by a particular architectural vernacular whether it be traditional or modern. The surrounding built environment, which is not a Conservation Area, is of a mix of traditional and modern dwellinghouses of various designs, scales, massing and external finishing materials. This mixed built form is also demonstrated by the Planning Authority themselves within their committee report dated 25<sup>th</sup> August 2020 to planning permission 20/00230/FLL which was for the erection of a 3 storey dwellinghouse from road level in close proximity to our client's site to the north. This approved dwellinghouse is also visible from a number of public viewpoints and is located in much closer proximity to listed buildings than our client's site to the listed bridge shown on photograph 1. Despite objections also being

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received from neighbouring properties, including Kinross-shire Civic Trust, to that dwellinghouse regarding its design and size, with concerns expressed that the 3 storey dwellinghouse was not a good fit within the established settlement pattern, the Planning Authority's recommendation was for approval. The application was then approved at Committee in accordance with the recommendations made by the Planning Authority. We also note a minor amendment was made to the approved dwellinghouse (in retrospect) to include a porch under planning reference 21/01854/FLL. The Council's own Conservation Officer considered the dwellinghouse and amendments not to have a "significant" adverse impact on the setting of the listed buildings in close proximity to the site which are to the north and southeast of the dwellinghouse. The approved drawings of the dwellinghouse are detailed in Figure 2 to Figure 5 below to demonstrate to members its significant scale in the context of its historic surroundings to the north and southeast.

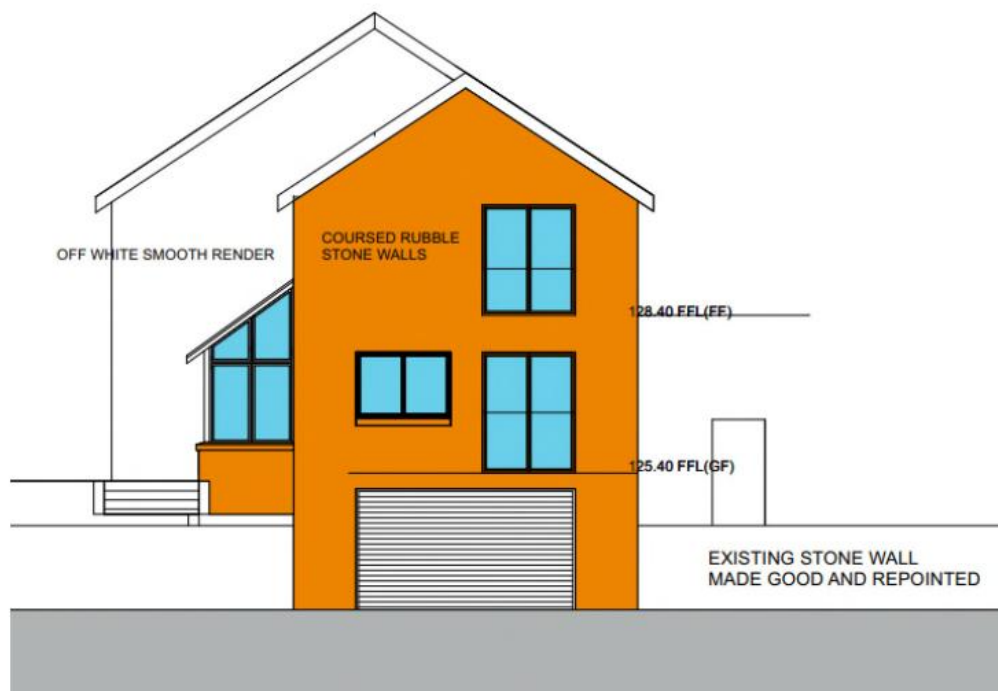


Figure 2. Approved Front Elevation of 3 storey dwellinghouse from Main Street road level adjacent to listed buildings from public elevation

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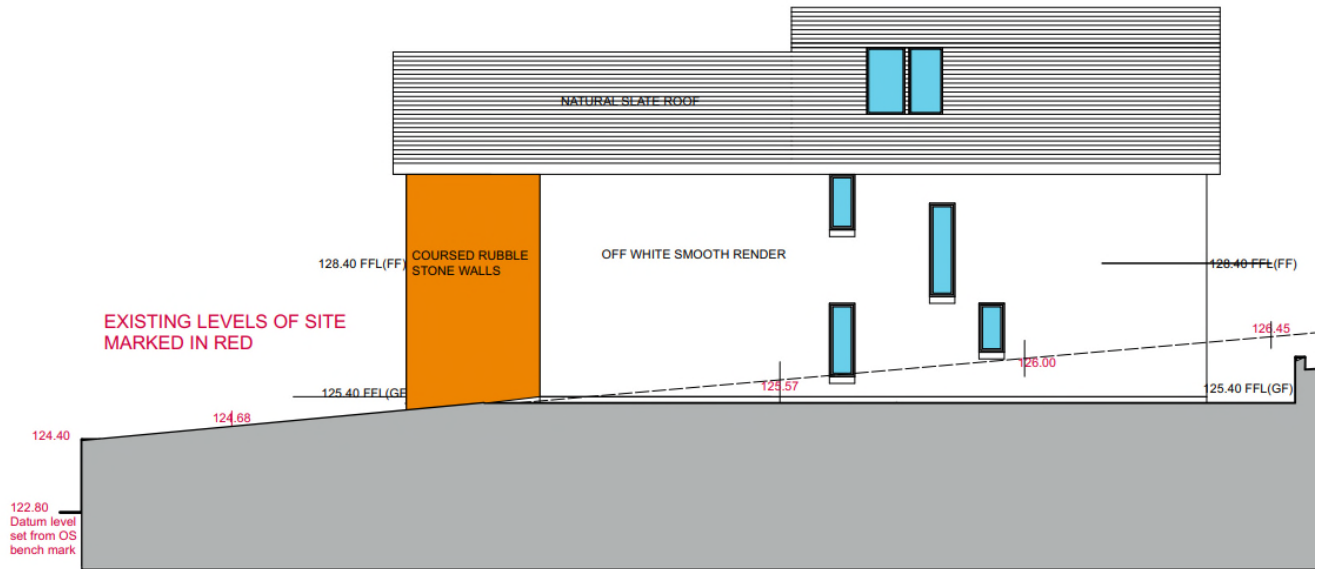


Figure 3. Approved side elevation

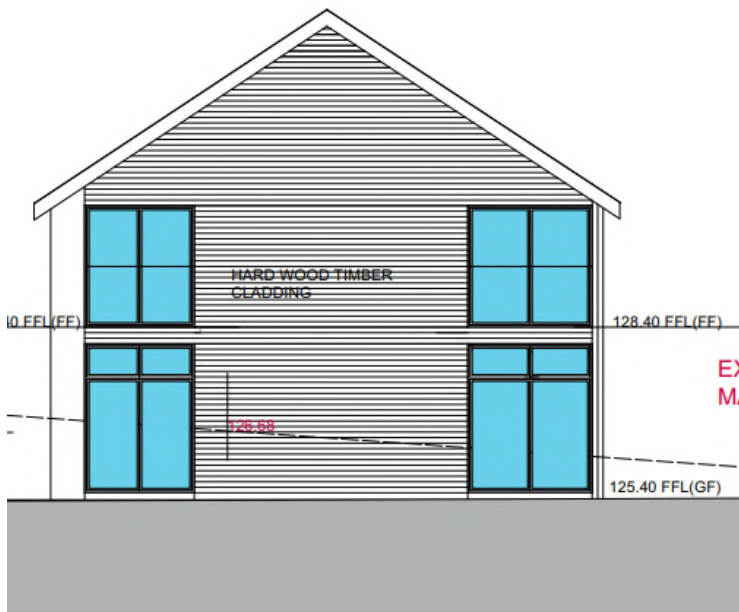


Figure 4. Approved rear elevation

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Figure 5. Approved side (south) from public elevation

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- 3.2 In addition to the above approved drawings, photograph 2 to photograph 7 below provide members of the Local Review Body with photographic examples of the mixed built environment of Keltybridge for consideration in their assessment of the carefully designed single storey extension to the dwellinghouse at 6 Main Street under review with the current appeal.



Photograph 2. Adjacent modern housing development to east of listed bridge

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Photograph 3. Built environment of Keltybridge



Photograph 4. Built environment of Keltybridge

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Photograph 5. Built environment of Keltybridge



Photograph 6. Built environment of Keltybridge

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Photograph 7. Built environment of Keltybridge

## 4. APPEAL POLICY CONTEXT

- 4.1. The Town & Country Planning (Scotland) Act 1997 (as amended) requires the determination of the application to be made in accordance with the provisions of the Development Plan, unless material considerations indicate otherwise. The Development Plan comprises NPF4 and the Perth & Kinross Local Development Plan 2 (2019) (LDP). The Council's relevant approved supplementary guidance also provides a basis for guidance on the assessment of planning applications.
- 4.2. In addition to the above, and as confirmed in the Council's delegated report of handling, we also note, unlike the approved 3-storey dwellinghouse detailed above, that there were no letters of objection submitted to our client's planning application by neighbouring residential properties notified of the planning application; by Kinross-shire Civic Trust; or, indeed as a result of Perth & Kinross Council's Planning Authority's site notice to the proposed extension to the dwellinghouse. The latter was published by the Council for a 21-day period from 2<sup>nd</sup> February 2023 (correct description of development and dates of the Site Notice is attached to this appeal for members to see under Appendix 2).

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## 5. REASONS FOR REFUSAL

1. ***The proposal, in addition to the two sets of ancillary accommodation, would result in an excessive provision of ancillary accommodation, which would further reduce the functional relationship to the host dwellinghouse.***

***Refusal would therefore be in line with Policy 14(c) of NPF4 and approval would be contrary to Policies 14 (a) and (b) and 16 (g) of NPF4, Policies 1A, 1B(c) and 17(c) of Perth & Kinross Local Development Plan 2 (2019) and Perth & Kinross Placemaking Guide, which seek to ensure that the density and siting of all developments respects the character and amenity of the place.***

***Furthermore, the proposals are contrary to Perth and Kinross Council's Ancillary and Annex Accommodation 2021 supplementary guidance, which seeks to ensure that there is a strong functional relationship between ancillary accommodation and the host dwellinghouse and that the extent of ancillary accommodation is reasonable and proportionate.***

- 5.1. The current planning application subject to the appeal, as detailed above and within the completed planning application form (Appendix 1), seeks planning permission for the erection of a single storey extension to the rear of the dwellinghouse and not an extension to existing ancillary accommodation. As advised, this is also a resubmission of an earlier refused planning application in December 2022 for a single storey extension to the dwellinghouse in which the Council's report of handling accurately described the proposed development as that.
- 5.2. We continue therefore to be confused by the late change in description made by the Planning Authority which differs from not only that applied for in the completed application form (Appendix 1) but is also different to correspondence sent to this office following the registration of the planning application; descriptions on the consultation responses available to view on the Council's planning portal; and, is also different to that detailed within the Planning Authority's site notice published on site on 2<sup>nd</sup> February 2023 (Appendix 2). No correspondence was sent to this office by the Planning Authority for comments or clarity on the revised description of the development subject to the appeal prior to the determination of the application.

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- 5.3. Whilst now only in a position to make assumptions, and for the reasons confirmed above, it is, to us, clear that the description of the application, to incorrectly include ancillary accommodation as opposed to extension to dwellinghouse, was a latter amendment made by the Planning Authority just prior to the determination of the application without any acknowledgement sent to this office as acting agent for agreement.
- 5.4. The above being the case, there is no reason to refuse the application on the basis that it would form an excessive amount of ancillary accommodation. The inclusion of this reason has therefore been made in error by the Planning Authority without any discussion or confirmation from this office as acting agent. This being the case, the policies and non-statutory guidance are clearly not applicable to the determination of this application and the application is not therefore contrary to the Development Plan on this matter.

**2. *The proposal, by combination of its prominent location, excessive projection, unsympathetic design and cluttered appearance, results in a development which is unsympathetic to the character of the host building, which would have a detrimental impact upon visual amenity.***

**Approval would therefore be contrary to Policies 14(a) and (b) and 16(g) of NPF4, Perth and Kinross Placemaking Guide 2020 and Policies 1A, 1B(c) and 17(c) of the Perth and Kinross Local Development Plan 2 2019, which seek to ensure that developments contribute positively to the quality of the surrounding built environment in terms of design, proportions, character and appearance, in order to respect the character and amenity of the place.**

- 5.5. With regard to design, the Planning Authority consider the proposed extension to be unsympathetic to the character of the host two-storey building due to proposals scale, projection and cluttered appearance, in addition to the single storey extension's prominent location. In addition to the supplementary guidance, 3 policies contained both within NPF4 and the LDP are quoted within the reason for refusal. On review of Policy 14 of NPF4, and specifically initially to criteria (a) and (b) quoted within the reason 2 for refusal, the proposed extension to the dwellinghouse has been designed in a respectful manner in the context of the scale, massing and appearance of the

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existing traditional, yet un-listed, two-storey "host building". Further to this, the design principles of the single storey extension in terms of projection from the gable, yet smaller on our client's site, is consistent with the design of the adjacent dwellinghouse to the north approximately 4 metres from the site. This adjacent dwellinghouse, including its stone gable, is shown below in Photograph 8.



Photograph 8. Two storey projecting development off gable of house to north

- 5.6. We also recognise that Council's report of handling also only makes reference to policies 14 (a) and (b) and provides no detailed literature to their requirements for development proposals. Members of the Local Review Body are therefore advised that Policy 14(a) of NPF4 confirms that development proposals will be designed to improve the quality of the area whether in urban or rural locations and regardless of scale. The proposed single storey extension is substantially subordinate to the existing two-storey pitched roof host building and all external finishing materials are proposed to match the existing dwellinghouse at 6 Main Street. Policy 14 (b) supports development proposals where they are consistent with the six qualities of successful places which are *Healthy; Pleasant; Connected; Distinctive; Sustainable and Adaptable*. Our client's proposal meets all these requirements. With specific reference to *Healthy*, of Policy 14 (b) we note that NPF4 confirms that developments

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that improve physical and mental health would be supported. As detailed above, the whole objective of the proposed extension is to enable the adaptation of the existing one bedroomed dwellinghouse into a two bedroomed dwellinghouse with necessary shower room at the same level to enable our client's grandfather to reside at the dwellinghouse and be cared for. The application therefore wholly complies with Policies 14 (a) and (b) of NPF4 quoted within the reason for refusal.

- 5.7. Policy 16 (g) of NPF4 is consistent with Policy 14 (a) and requires householder development not to have a detrimental impact on the character or environmental quality of the home and the surrounding area in terms of size, design and materials. In response, again the design of the extension of the dwellinghouse has responded to these requirements. The single storey extension is substantially below the ridge height of the two-storey host building and all external finishing materials would match the existing dwellinghouse. Again, as detailed above, the respectful design, scale and size of the single storey extension also ensures there is no detrimental impact of the surrounding built environment which, as seen above on photographs 2 to 8, is a mix of traditional and more recent development from single storey to, most recently and adjacent to a number of listed buildings, a three-storey dwellinghouse to the north of the application site as shown above. The application there complies with the requirements of Policy 16 (g) of NPF4.
- 5.8. With reference still made to NPF4, we also note that the report of handling makes no reference to Policy 14(c) or include it in reason 2 for refusal on the grounds of visual amenity. We would therefore advise members that Policy 14(c) of NPF4 confirms that development proposals that are poorly designed, detrimental to the amenity of the surrounding area or inconsistent with the six qualities of successful places, will not be supported. This to us suggests that the Council consider the single storey extension is not poorly designed and therefore meets the requirements of this policy.
- 5.9. In terms of the LDP, we note that quoted Policies 1A and 1B(c) in reason 2 of the refusal are consistent with the requirements of Policy 14(a) of NPF4 detailed above. This is also similar to Perth and Kinross Placemaking Guide 2020. The third policy quoted for refusal, 17(c) of the LDP, confirms that "Generally, encouragement will be given to proposals which will improve the character and environment of the area or village". The proposed single storey extension, for the reasons identified above, has been sensitively designed to ensure it is subservient to the host two-storey building and

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the adjacent two-storey dwellinghouse to the north of the site (Photograph 1 and Photograph 8). The Council also raise concerns on the cluttered appearance of the proposed extension. Again, as acting agent we were not informed of this during the assessment of the planning application and can only assume that this is in relation to the banding around the windows and doors and the chimney pot. This can however be easily addressed by members of the Local Review Body by an appropriate condition that requires the entire walls of the extension to be rendered and chimney pot deleted. Figure 4 below has been produced to allow members of the Local Review Body to see how the proposed extension would be viewed from the listed wall which is consistent with Photograph 1 taken at that viewpoint with such a condition included.



Figure 4. View of fully rendered extension from listed wall

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5.10. Finally, the Council makes reference in reason 2 for refusal to the projection of the proposed single storey extension. Again, we stress that we were not as acting agent made aware of this during the assessment of the application. Whilst we do not consider the proposed extension's projection to be excessive given the scale of the host building and its subservient addition, if we were however advised of this, we could have informed our client of this for their consideration during the assessment of the planning application. As detailed above, the proposed extension has been designed to maximise the floor space for their grandfather to live with them. Irrespective of this, the main objective is to have their grandfather cared for within the existing dwellinghouse. In turn, our client on the first opportunity of being asked has advised that they could reduce the projection of the extension by 2 metres which would provide, albeit smaller, enough space to provide an open planned lounge and dining room. Figure 5 to Figure 8 demonstrate how this would look on plan form. Again, this could be addressed by members of Local Review Body by the inclusion of a condition.



Proposed East Elevation

1 : 100

Figure 5. Proposed side elevation

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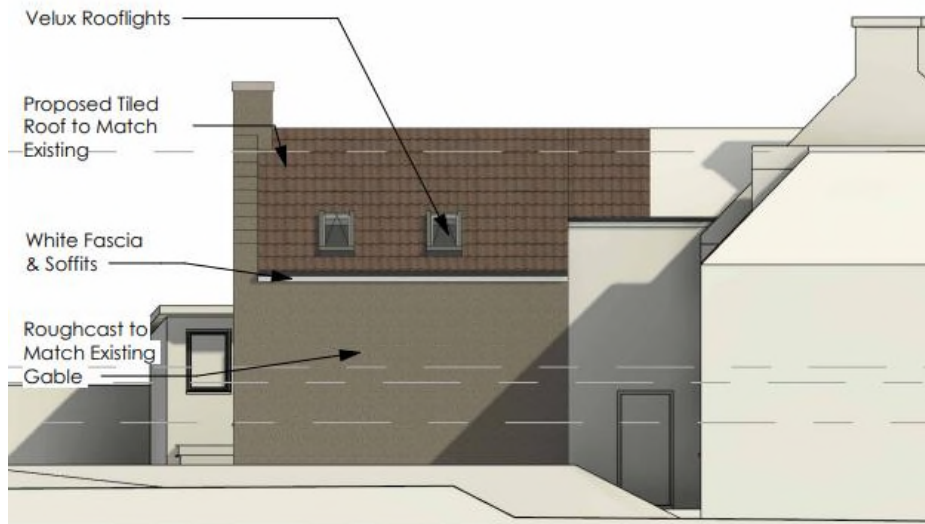
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## Proposed North Elevation

1 : 100

Figure 6. Proposed rear elevation



## Proposed West Elevation

1 : 100

Figure 7. Proposed side elevation to Bridge House

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○ Proposed Site Plan  
1 : 200

Figure 8. Proposed site plan

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- 5.11. Taking the above into consideration, the proposed single storey extension meets all the requirements of the policies detailed in reason 2 of the refusal on visual amenity. We have also demonstrated above the proposals compliance with other relevant policies which were not included in the refusal or addressed within the report of handling. Our client's willingness to make changes have also been demonstrated above as they seek the necessary extension to allow their grandfather to live with them in the existing dwellinghouse.
- 5.12. Overall, and taking the above into account, there is no basis for refusing the application on the grounds that the proposed development visually is contrary to the Development Plan.

**3. *The proposal, by virtue of its excessive proportions, unsympathetic design and cluttered appearance, would have an adverse impact on the setting of the adjacent category B-listed Kelty Bridge, HES ref:LB5722.***

***Approval would therefore be contrary to Policy 7(a) and (c) of NPF4 and Policy 27A of the Perth and Kinross Local Development Plan 2 2019, which seek to safeguard the setting of listed buildings from inappropriate development.***

- 5.13. The Council in reason 3 consider the proposed development to have a detrimental impact on the setting of the listed bridge due to the single storey extensions proportions, design and cluttered appearance – these reasons are similar to reason 2 detailed above but that relating to the host building. These considerations therefore have all been addressed above in relation to the policies quoted in reason 2. The proposed single storey extension is located at an acute angle approximately 50 metres to the northwest of the listed bridge (as shown in Photograph 1).
- 5.14. With regard to Policy 7(a) of NPF4, this we note from the national framework, confirms development proposals "with a potentially *significant* impact on historic assets will be accompanied by an assessment which is based on an understanding of the cultural significance of the historic asset". Again, we were not as acting agent asked during the assessment of the planning application by the Council to provide such an assessment. This suggests that the proposed extension is not considered by the Council to have a "potential significant impact" on the listed Kelty Bridge as illustrated on Photograph 1. This would also appear to be the professional consideration made

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by the Council's Conservation officer which we see from the planning portal, post refusal, that they acknowledge the sympathetic siting of the extension which "is to the north of the property and set back from the east elevation, **which reduces the potential adverse visual impact on the bridge.**" The application there clearly complies with the requirements of Policy 7(a) of NPF4.

- 5.15. Policy 7(c) of NPF4 confirms development proposals affecting the setting of a listed building should preserve its character, and its special architectural or historic interest. Again, we are at odds as to why the Council consider the single storey extension and its sympathetic siting set back from the east elevation, as observed and detailed by their own Conservation officer, is also therefore contrary to Policy 7(c). In addition to this, we also recognise the Council's Conservation officer makes no reference to the proposed extension having a detrimental impact on the setting of the bridge. Clutter is mentioned again but this, as detailed above, can be addressed by members of the Local Review Body by an appropriate condition as detailed in paragraph 5.9. The updated visualisation of the proposed extension from the listed bridge, should members of the Local Review Body include a planning condition on the decision relating to finishing materials, is again shown below in Figure 4 below.



Figure 4. View of fully rendered extension from listed wall

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- 5.16. Lastly, Policy 27A of the LDP confirms “there is a presumption in favour of the retention and sympathetic restoration, correct maintenance and sensitive management of listed buildings to enable them to remain in active use, and any proposed alterations or adaptations to help sustain or enhance a building’s beneficial use should not adversely affect its special architectural or historic interest”. Further requirements are provided but this relates to alterations to a listed building. 6 Main Street is not however listed and equally not located within a Conservation Area. The policy also does not make reference to development affecting the setting of a listed building. It is therefore unclear why Policy 27A of the LDP has been quoted in the report of handling and included as a reason for refusal. The proposed single storey extension is therefore clearly not contrary to Policy 27A of the LDP.
- 5.17. In addition to the above, we also note in the preparation of this appeal under review by the Local Review Body that the Council has made no reference in the report of handling, or indeed included as a reason for refusal, to Policy 2 of the LDP which is a key consideration in the assessment of proposals, unlike Policy 27A, to planning applications that affect the setting of a listed building. Policy 2 of the LDP confirms that “design statements will normally need to accompany a planning application if the development affects the character and/or appearance of a Conservation Area or the setting of a Listed Building.” Again, consistent with the advice provided above to the Local Review within this Appeal Design Statement, we were not asked by the Council to provide a Design Statement during the assessment of the application or that too, like this statement, would have been provided for consideration. No such information formed part of the householder application and other than a covering letter that addressed the resubmitted revised application appropriate scale drawings and visualisations were submitted. Given the Council’s clear position to Policy 2, it is therefore evident that they consider this policy not to be relevant in the assessment of the setting of the listed bridge.
- 5.18. In respect to the listed bridge, and that also demonstrated with the larger scaled approved development for the three-storey dwellinghouse in closer proximity to listed buildings than our client’s proposal to the bridge, we have demonstrated in the appeal that there is no basis for refusing the application on the grounds that the proposed extension would have an adverse impact on the setting of the listed bridge. The application therefore meets the requirements of the Development Plan and conform with the policies set out in reason 3 and Policy 2 of the LDP.

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- 4. The proposal, by virtue of its position, height, orientation and projection, would have an imposing, overbearing and significant adverse impact upon the residential amenity of the adjacent window and garden, in terms of overshadowing in the morning and loss of daylight generally.**

**Approval would therefore be contrary to Policies 14(a) and (b) and 16(g) of NPF4, Perth & Kinross Placemaking Guide 2020, Perth & Kinross Ancillary and Annex Accommodation 2021 and Policies 1A, 1B(c) and 17(c) of the Perth and Kinross Local Development Plan 2 2019, which seek protect and where possible improve existing residential amenity.**

- 5.19. In terms of this reason for refusal, we note that it makes reference to the proposed extension having an adverse impact upon the residential amenity of the adjacent window and garden (Bridge House). However, and again, the report of handling we note fails to provide a clear and extensive description of the existing levels of residential amenity currently enjoyed at Bridge House overall or, indeed, on the window on the gable elevation in question and the adjoining garden to the north for the dwellinghouse, and in particular to the morning.
- 5.20. In regards to the window, and given its northerly aspect as we advised in a supporting letter to the re-submission, and as can be clearly seen in Photograph 9 and Figure 9 below, the proposed extension would not create any further significant detrimental impact on residential amenity. Members of the Local Review Body should also be advised that the window in question is also not for a habitable room. Irrespective of this, the photograph and elevation drawing below clearly demonstrates to the Local Review Body that there is no further loss in residential amenity to the adjacent window.

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Photograph 9. Morning sunlight on northern elevation from existing two-storey host building.

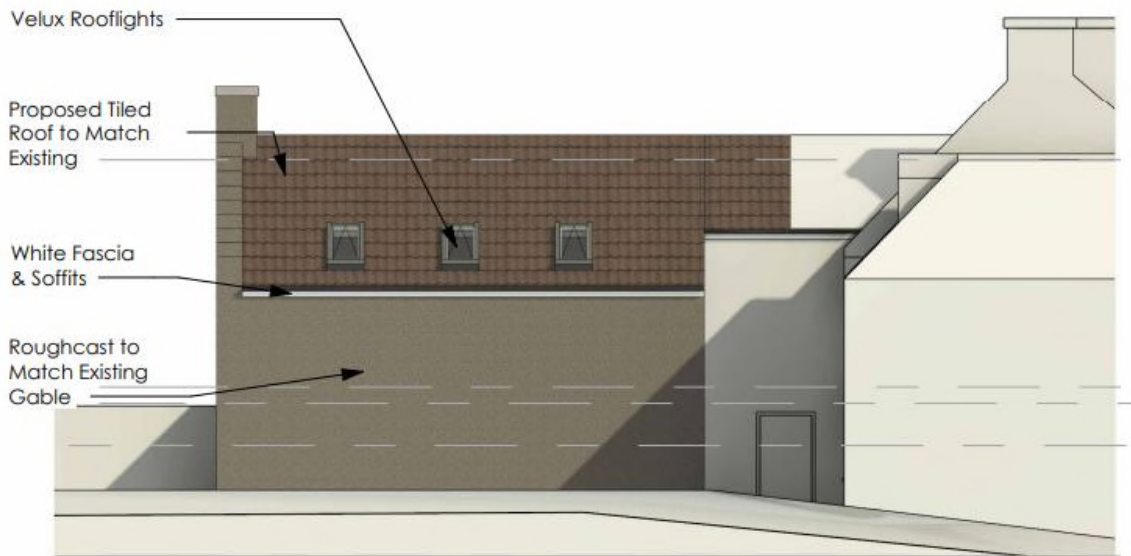


Figure 9.- Side elevation of proposed extension demonstrating no adverse impact on amenity of adjacent window.

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5.21. Lastly, and in direct response to the reason that the proposed extension would have an adverse impact on the garden to Bridge House, we are again surprised by this inclusion as a reason for refusal and the lack of detail provided within the report of handling relating to this. As we have detailed above, the area of garden ground in question is off the gable elevation of Bridge House and, as can be seen on Photograph 9 above, this small area of ground in relation to the overall rear garden for the dwellinghouse currently has little amount of morning light due to its northerly aspect and the massing of the existing two-storey dwellinghouse. Irrespective of this, the report of handling also fails to address, as members of the Local Review Body can see from the location plan (Figure 10 below), the rear elevation of Bridge House (west elevation) provides access to an extensive area of garden ground for the dwellinghouse which is in excess of 2,000 square metres. The proposed extension therefore has no additional adverse impact upon the residential amenity of the garden at Bridge House.

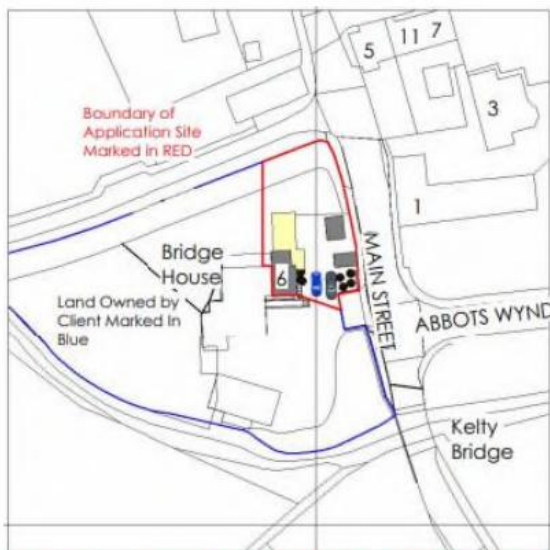


Figure 10. Location Plan detailing the area of garden ground for Bridge House outlined in blue.

5.22. We have clearly demonstrated that the proposed development has been sensitively designed to ensure the extension would not have any adverse impact on the residential amenity of the adjoining dwellinghouse at Bridge House and that the application clearly complies with the appropriate policies of the Development Plan and supplementary guidance. Taking this, and the above into account, there is no basis for refusing the application on these grounds.

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## 6. CONCLUSION

6.1. The Local Body will see, taking the above points raised in the appeal into account, that it is clear that the reasons for refusal of the application for the single storey extension to the dwellinghouse, as set out in the Council's Decision Notice dated 20<sup>th</sup> March 2023, are not justified. Given this, the proposed development: -

- should be supported as being in compliance with Policy 16(h) of NPF4 which is the primary policy against which the principle of the proposed erection of extension to the dwellinghouse should have been assessed;
- complies with Policies 14(a) and (b) and 16(g) of NPF4, Perth and Kinross Placemaking Guide 2020 and Policies 1A, 1B(c) and 17(c) of the Perth and Kinross Local Development Plan 2 2019, as the proposed single storey extension has been sensitively designed to ensure it is both respectful to the character and appearance of the existing dwellinghouse with all external finishing materials proposed to match those existing and the proposal is also entirely subservient to the host two-storey building. We have also recommended conditions that the Local Review Body could include in the permission should they see necessary that we were not provided the opportunity with during the Council's assessment of the application;
- due to its sympathetic set back from the east elevation; its single storey subservient massing and respectful design; in combination with the distance, at an acute angle to the bridge approximately 50 metres away; the application would not have a detrimental impact on the setting of the listed bridge, as detailed above, and is therefore in compliance with Policy 7(a) and (c) of NPF4. We have also demonstrated the application is not contrary to Policy 27A of the Perth and Kinross Local Development Plan 2 2019; and

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- complies with Policies 14(a) and (b) and 16(g) of NPF4 and Policies 1A, 1B(c) and 17(c) of the Perth and Kinross Local Development Plan 2 2019, as the proposed single storey extension would not have any further adverse impact on the amenity of Bridge House. We have also demonstrated that the Perth & Kinross Ancillary and Annex Accommodation non-statutory guidance 2021 is not relevant to the proposed extension to the dwellinghouse and is not therefore clearly contrary to this either.

- 6.2. The proposed single storey extension to the dwellinghouse has been demonstrated above to the Local Review Body to be supported by all the relevant Development Plan and material planning guidance applicable to the proposal, and no material considerations clearly indicate otherwise. We have also demonstrated the errors in the report of handling; the lack of information sent to us as acting agent for clarity and or changes to the proposal for consideration; demonstrated the sympathetic design of the proposed development with the host building and the surrounding mixed built environment; and, also shown our clients willingness to work with the Council to achieve their main objective to have their 83-year-old grandfather live with them in the existing dwellinghouse and be cared for as a result of approval of the proposed extension if we were presented with the chance to make alterations.
- 6.3. The appeal under review by members of the Local Review Body should, for the reasons identified in this appeal statement, therefore respectfully be upheld, and the application approved as the application complies with the Development Plan.

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## APPENDICIES

### Appendix 1. Submitted Planning Application Form



Pullar House 35 Kinnoull Street Perth PH1 5GD Tel: 01738 475300 Fax: 01738 475310 Email: [onlineapps@pkc.gov.uk](mailto:onlineapps@pkc.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE      100602588-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

### Description of Proposal

Please describe accurately the work proposed: \* (Max 500 characters)

Proposed Single Storey Extension to Rear of Existing Dwelling. - Resubmission following refusal (Previous application Ref: 22/01793/FULL)

### Site Address Details

Planning Authority:

Full postal address of the site (including postcode where available):

Address 1:

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

Post Code:

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## Appendix 2. Perth and Kinross Council Planning Authority Site Notice

### **The Planning (Listed Building Consent and Conservation Area Consent Procedure) (Scotland) Regulations 2015**

NOTICE IS HEREBY GIVEN that application has been made to PERTH AND KINROSS COUNCIL as Planning Authority for

**Extension to dwellinghouse at 6 Main Street Keltybridge Kelty KY4 0JH**

**Application Reference 23/00116/FLL**

Details and plans submitted may be inspected online at [www.pkc.gov.uk](http://www.pkc.gov.uk) using the Planning application reference as above. Internet access may be available for viewing applications at local libraries. In the case of any special circumstances please contact 01738 475000 for further assistance.

Any person wishing to make representations about the application should do so in writing by emailing [Developmentmanagement@pkc.gov.uk](mailto:Developmentmanagement@pkc.gov.uk) or by writing to the address as above within **21 days** of the date of the publication of this notice.

The date of publication of this Notice is **2nd February 2023**

David LittleJohn  
Head of Planning & Development

aye house, admiralty park, rosyth, dunfermline ky11 2yw  
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**LRB-2023-21**

**23/00116/FLL - Extension to ancillary accommodation, 6**

**Main Street, Keltybridge, Kelty, KY4 0JH**

**PLANNING DECISION NOTICE**

**REPORT OF HANDLING**

**REFERENCE DOCUMENTS**





Mr K Crombie  
c/o Andrew Allan Architecture Ltd  
Andrew Allan  
AYE House  
Admiralty Park  
Rosyth  
Dunfermline  
KY11 2YW

Pullar House  
35 Kinnoull Street  
PERTH  
PH1 5GD

Date of Notice: **20th March 2023**

## **TOWN AND COUNTRY PLANNING (SCOTLAND) ACT**

Application Reference: **23/00116/FLL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to refuse your application registered on 28th January 2023 for Planning Permission for **Extension to ancillary accommodation 6 Main Street Keltybridge Kelty KY4 0JH**

**David Littlejohn**  
**Head of Planning and Development**

### **Reasons for Refusal**

1. The proposal, in addition to the two existing sets of ancillary accommodation, would result in an excessive provision of ancillary accommodation, which would further reduce the functional relationship to the host dwellinghouse.

Refusal would therefore be in line with Policy 14(c) of NPF4 and approval would be contrary to Policies 14(a) and (b) and 16(g) of NPF4, Policies 1A, 1B(c) and 17(c) of Perth & Kinross Local Development Plan 2 (2019) and Perth & Kinross Placemaking Guide, which seek to ensure that the density and siting of all developments respects the character and amenity of the place.

Furthermore, the proposals are contrary to Perth & Kinross Council's Ancillary and Annex Accommodation 2021 supplementary guidance, which seeks to ensure that there is a strong functional relationship between ancillary accommodation and the host dwellinghouse and that the extent of ancillary accommodation is reasonable and proportionate.

2. The proposal, by combination of its prominent location, excessive projection, unsympathetic design and cluttered appearance, results in a development which is unsympathetic to the character of the host building, which would have a detrimental

impact upon visual amenity.

Approval would therefore be contrary to Policies 14(a) and (b) and 16(g) of NPF4, Perth & Kinross Placemaking Guide 2020 and Policies 1A, 1B(c) and 17(c) of the Perth and Kinross Local Development Plan 2 2019, which seek to ensure that developments contribute positively to the quality of the surrounding built environment in terms of design, proportions, character and appearance, in order to respect the character and amenity of the place.

3. The proposal, by virtue of its excessive proportions, unsympathetic design and cluttered appearance, would have an adverse impact upon the setting of the adjacent category B-listed Kelty Bridge, HES ref: LB5722.

Approval would therefore be contrary to Policy 7(a) and (c) of NPF4 and Policy 27A of Perth and Kinross Local Development Plan 2 2019, which seek to safeguard the setting of listed buildings from inappropriate development.

4. The proposal, by virtue of its position, height, orientation and projection, would have an imposing, overbearing and significant adverse impact upon the residential amenity of the adjacent window and garden, in terms of overshadowing in the morning and loss of daylight generally.

Approval would therefore be contrary to Policies 14(a) and (b) and 16(g) of NPF4, Perth & Kinross Placemaking Guide 2020, Perth & Kinross Council's Ancillary and Annex Accommodation 2021 and Policies 1A, 1B(c) and 17(c) of the Perth and Kinross Local Development Plan 2 2019, which seek protect and where possible improve existing residential amenity.

### **Justification**

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

### **Notes**

- 1 The red line site boundary to the west of the extension does not appear to be consistent with the physical boundaries presently on the site or the records held by Register Scotland.
- 2 The proposed development lies within an area that has been defined by the Coal Authority as containing potential hazards arising from former coal mining activity. These hazards can include: mine entries (shafts and adits); shallow coal workings; geological features (fissures and break lines); mine gas and previous surface mining sites. Although such hazards are seldom readily visible, they can often be present and problems can occur in the future, particularly as a result of development taking place.

It is recommended that information outlining how the former mining activities affect the proposed development, along with any mitigation measures required (for example the need for gas protection measures within the foundations), be

submitted alongside any subsequent application for Building Warrant approval (if relevant).

Any form of development over or within the influencing distance of a mine entry can be dangerous and raises significant safety and engineering risks and exposes all parties to potential financial liabilities. As a general precautionary principle, the Coal Authority considers that the building over or within the influencing distance of a mine entry should wherever possible be avoided. In exceptional circumstance where this is unavoidable, expert advice must be sought to ensure that a suitable engineering design is developed and agreed with regulatory bodies which takes into account of all the relevant safety and environmental risk factors, including gas and mine-water. Your attention is drawn to the Coal Authority Policy in relation to new development and mine entries available at:

[www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries](http://www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries)

Any intrusive activities which disturb or enter any coal seams, coal mine workings or coal mine entries (shafts and adits) requires a Coal Authority Permit. Such activities could include site investigation boreholes, digging of foundations, piling activities, other ground works and any subsequent treatment of coal mine workings and coal mine entries for ground stability purposes. Failure to obtain a Coal Authority Permit for such activities is trespass, with the potential for court action.

Property-specific summary information on past, current and future coal mining activity can be obtained from: [www.groundstability.com](http://www.groundstability.com) or a similar service provider.

If any coal mining features are unexpectedly encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848. Further information is available on the Coal Authority website at: [www.gov.uk/government/organisations/the-coal-authority](http://www.gov.uk/government/organisations/the-coal-authority)

- 3 The applicant is advised to refer to Perth & Kinross Council's Supplementary Guidance on Flood Risk and Flood Risk Assessments 2021 as it contains advice relevant to your development. <https://www.pkc.gov.uk/ldp2floodrisk>

**The plans and documents relating to this decision are listed below and are displayed on Perth and Kinross Council's website at [www.pkc.gov.uk](http://www.pkc.gov.uk) "Online Planning Applications" page**

Plan Reference

02

03

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## REPORT OF HANDLING

### DELEGATED REPORT

Ref No	23/00116/FLL	
Ward No	P8- Kinross-shire	
Due Determination Date	27th March 2023	
Draft Report Date	14th March 2023	
Report Issued by	KS	Date 14th March 2023

**PROPOSAL:** Extension to ancillary accommodation  
**LOCATION:** 6 Main Street Keltybridge Kelty KY4 0JH  
**SUMMARY:**

This report recommends **refusal** of the application as the development is considered to be contrary to the relevant provisions of the Development Plan and there are no material considerations apparent which justify setting aside the Development Plan.

#### BACKGROUND AND DESCRIPTION OF PROPOSAL

The application site is 6 Main Street, Keltybridge, which is a stone-built property that has a distinctive traditional appearance. This application seeks detailed planning permission for alterations and extensions to the north.

The application follows a recently refused application for an extension of relatively similar proportions, Ref: 22/01793/FLL. The previous application was submitted on the basis that it would form an extension to a dwelling, whereas clarification has been provided in this re-submission that the extension is to established ancillary accommodation.

#### SITE HISTORY

11/01947/FLL	Alterations to garage to form ancillary accommodation Application Approved – 13 January 2012 Review to delete condition 3 dismissed – 3 May 2012
14/00542/FLL	Alterations and extension to garage/ancillary accommodation Application Approved – 25 April 2014
18/00112/UNAUSE	Alleged plumbing business operating at house, storage of waste in skip
18/02063/FLL	Change of use of ancillary accommodation to flat (in retrospect) Application Refused – 8 January 2019
22/01793/FLL	Extension to dwellinghouse Application Refused – 9 December 2022

#### PRE-APPLICATION CONSULTATION

Pre application Reference: Not Applicable.

#### DEVELOPMENT PLAN

The Development Plan for the area comprises National Planning Framework 4 (NPF4) and the Perth and Kinross Local Development Plan 2 (2019) (LDP2).

#### **National Planning Framework 4**

The National Planning Framework 4 (NPF4) is the Scottish Government's long-term spatial strategy with a comprehensive set of national planning policies. This strategy sets out how to improve people's lives by making sustainable, liveable and productive spaces.

NPF4 was adopted on 13 February 2023. NPF4 has an increased status over previous NPFs and comprises part of the statutory development plan. The Council's assessment of this application has considered the following policies of NPF4:

Policy 7(a) and (c): Historic assets and places  
Policy 14: Design, quality and place  
Policy 16: Quality homes  
Policy 22: Flood risk and water management

#### **Perth and Kinross Local Development Plan 2 – Adopted November 2019**

The Local Development Plan 2 (LDP2) is the most recent statement of Council policy and is augmented by Supplementary Guidance. The principal policies are:

Policy 1A: Placemaking  
Policy 1B: Placemaking  
Policy 17: Residential Areas  
Policy 27A: Listed Buildings  
Policy 52: New Development and Flooding  
Policy 58B: Unstable Land

#### **Statutory Supplementary Guidance**

- [Supplementary Guidance - Flood Risk and Flood Risk Assessments](#) (adopted in 2021)
- [Supplementary Guidance - Placemaking](#) (adopted in 2020)

#### **Non Statutory Guidance**

- [Planning Guidance - Ancillary & Annex Accommodation](#)

#### **NATIONAL GUIDANCE**

The Scottish Government expresses its planning policies through The National Planning Framework, Planning Advice Notes, Creating Places, Designing Streets, National Roads Development Guide and a series of Circulars.

## Planning Advice Notes

The following Scottish Government Planning Advice Notes (PANs) and Guidance Documents are of relevance to the proposal:

- PAN 40 Development Management

### Creating Places 2013

Creating Places is the Scottish Government's policy statement on architecture and place. It sets out the comprehensive value good design can deliver. It notes that successful places can unlock opportunities, build vibrant communities and contribute to a flourishing economy and set out actions that can achieve positive changes in our places.

### Designing Streets 2010

Designing Streets is the policy statement in Scotland for street design and changes the emphasis of guidance on street design towards place-making and away from a system focused upon the dominance of motor vehicles. It was created to support the Scottish Government's place-making agenda, alongside Creating Places.

## CONSULTATION RESPONSES

Scottish Water

*No objections – informative note recommended for any approval.*

## INTERNAL COMMENTS

Structures And Flooding

*No objections – informative note recommended for any approval.*

Conservation Team

*Concerns over proportions, scale, detailing, finishes and visually prominent position having an adverse impact upon the historic character and setting of the adjacent category B-listed Kelty Bridge.*

## REPRESENTATIONS

No letters of representation have been received in relation to this proposal.

## ADDITIONAL STATEMENTS

Screening Opinion	Not Applicable
Environmental Impact Assessment (EIA): Environmental Report	Not Applicable
Appropriate Assessment	Habitats Regulations – AA Not Required
Design Statement or Design and Access Statement	Not Required
Report on Impact or Potential Impact eg Flood Risk Assessment	Not Required

## **APPRAISAL**

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan comprises NPF4 and the Perth and Kinross Local Development Plan 2019. The relevant policy considerations are outlined in the policy section above and are considered in more detail below. In terms of other material considerations, involving considerations of the Council's other approved policies and supplementary guidance, these are discussed below only where relevant.

In this instance, section 14(2) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 places a duty on planning authorities in determining such an application as this to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

The determining issues in this case are whether; the proposal complies with development plan policy; or if there are any other material considerations which justify a departure from policy.

### **Policy Appraisal**

Developments which are ancillary to an existing domestic dwellinghouse are generally considered to be acceptable, where they are of appropriate proportions, design, and functional relationship to the host dwelling. In this respect, consideration must be given to whether the proposal would have a suitable physical and functional relationship to the host dwellinghouse and surrounding built environment.

### **Design and Layout**

The application site relates to ancillary accommodation at 6 Main Street, Keltybridge. The ancillary accommodation sits at right angles to the main adjoining block, which has a similar traditional appearance, albeit with a slate roof and skews instead of pantiles and crow-stepped gables. Detailed planning permission is sought for alterations and extensions to the north of the ancillary accommodation, with a raised terrace and balustrade to the east.

The existing ancillary accommodation consists of a bedroom and bathroom at ground floor level, with a lounge and kitchen at first floor level. The proposed floor plan shows that the first-floor lounge would be converted into a second bedroom/shower room, with a 7.23 metre extension forming an open-plan dining room and replacement lounge off the kitchen. There is no internal link between the ancillary accommodation and the host dwelling, which reduces the functional link and allows it to operate as though it is independent.

It should also be noted that further ancillary accommodation was historically approved and built above the detached garage to the south of the house, Ref: 11/01947/FLL. This incorporates a lounge, kitchen, bedroom and shower, which also risks this functioning as an independent unit. It was historically under enforcement investigation for being sub-let separately from the house, contrary to condition 3 of

the planning permission. A review of the condition was subsequently dismissed by Local Review Body.

## **Principle**

Various factors must be taken into account in assessing proposals for ancillary accommodation. These include; the siting, proportions, extent and design of the accommodation, as well as the physical and functional relationship to the host dwellinghouse.

The term “*ancillary*” infers that there should be a strong functional link to the host dwellinghouse, and that it fulfils a minor supplementary function. The rationale is that by minimising the extent of accommodation in the ancillary building, it has more of a functional dependence on the host dwellinghouse.

Therefore, the assessment of the ancillary nature of the unit (including its relative proportions and functional relationship to the house) is down to a matter of fact and degree, taking into account the circumstances of the particular site.

The Council’s Ancillary and Annex Accommodation 2021 supplementary guidance states that “*Proposals should be minimal in size (i.e. normally one bedroom with limited additional living space)*”.

Two sets of self-contained ancillary accommodation already exist within this planning unit. The ancillary accommodation which is subject to this application has no internal link and it has all facilities associated with an independent unit. Additionally, the ancillary accommodation above the garage has no physical connection to the host dwelling and its functional connection is severely limited as it also has all features associated with an independent unit.

The extension to form a two-bedroomed unit within this application constitutes an excessive provision of ancillary accommodation, which would further reduce the functional relationship to the host dwelling. Accordingly, approval would be contrary to Policies 1A, 1B(c) and 17(c) of Perth & Kinross Local Development Plan 2 (2019) and Perth & Kinross Placemaking Guide, which seek to ensure that the density and siting of all developments respects the character and amenity of the place.

Furthermore, the proposals are contrary to Perth & Kinross Council’s Ancillary and Annex Accommodation 2021 supplementary guidance, which seeks to ensure that there is a strong functional relationship between ancillary accommodation and the host dwellinghouse and that the extent of ancillary accommodation is reasonable and proportionate.

## **Visual Amenity**

The stone-built property has a distinctive traditional appearance, with a wall-head dormer window, crow-stepped gables and six-over-six windows. It has a modest sized hipped roof kitchen extension, of modern construction, to the rear (north).

The proposed extension has an elongated footprint. When combined with the existing hipped roof kitchen extension, it would project 9.3 metres from the rear elevation of the ancillary accommodation. As the gable end of the property measures

5.64 metres in width, the proposed extension has a disproportionate projection and excessive proportions. The existing kitchen extension has a much more modest projection, which limits its visual impact.

Given the height of the lounge/dining room over an excessive projection, and its close proximity to the windows and garden of the host dwellinghouse, the proposed extension would also have a particularly imposing appearance.

An attempt has been made to replicate some of the traditional detailing of the host dwellinghouse by incorporating crow-stepped gables. However, the gable end is asymmetrical and the glazing arrangements and keystone lintol details are at odds with the existing building.

The design, detailing, proportions and expanse of rendered walling on the proposed extension would appear out of place and out of keeping in the context of this building. Additionally, the raised terrace and associated balustrade would create visual clutter, which is uncharacteristic of the building, in a position which is visible from the public road.

Overall, by combination of its excessive projection, uncharacteristic design features and expansive use of rendered finish, the proposal would have a significant adverse impact on the visual amenity of the application site and surrounding built environment.

Approval would therefore be contrary to Policies 14(a) and (b) and 16(g) and (h) of NPF4, Perth & Kinross Placemaking Guide 2020 and Policies 1A, 1B(c) and 17(c) of the Perth and Kinross Local Development Plan 2 2019, which seek to ensure that developments contribute positively to the quality of the surrounding built environment in terms of design, proportions, character and appearance, in order to respect the character and amenity of the place.

### **Residential Amenity**

The proposed extension is within close proximity to the host dwellinghouse to the west and it has been moved closer to the adjacent garden and window than the previously refused proposal. A vertical 45-degree line drawn down from the proposed gutter line on the north elevation now breaches the mid-point of the adjacent window to the west.

Additionally, a horizontal 45-degree line drawn back from the north-west point of the roof towards the adjacent window would completely cover the window. Whilst the window is oriented north, this combination of 45-degree line breaches demonstrates that the proposed extension would have a significant and unacceptable adverse impact upon the residential amenity of the adjacent window and garden, in terms of overshadowing in the morning and loss of daylight in general.

Whilst it is accepted that the drawings indicate that the host dwellinghouse is also owned by the applicant, it is necessary to consider the residential amenity of the property (not what the present owner may consider acceptable), as the property could be sold at any time.

Approval would therefore be contrary to Policies 14(a) and (b) and 16(g) and (h) of NPF4, Perth & Kinross Placemaking Guide 2020, Perth & Kinross Council's Ancillary and Annex Accommodation 2021 and Policies 1A, 1B(c) and 17(c) of the Perth and Kinross Local Development Plan 2 2019, which seek protect and where possible improve existing residential amenity.

### **Conservation Considerations**

The application site is located approximately 30 metres to the northwest of Kelty Bridge over Kelty Burn, a category B-listed structure dating from the 18<sup>th</sup> century, HES ref: LB5722. The location of the proposed extension, terrace and balustrades can readily be seen from the bridge and is inter-visible with it.

Accordingly, given the excessive proportions, unsympathetic design and adverse impact upon visual amenity, the proposed extension would also have a detrimental impact on the setting of the listed bridge.

Approval would therefore be contrary to Policy 7(a) and (c) of NPF4 and Policy 27A of Perth and Kinross Local Development Plan 2 2019, which seek to safeguard the setting of listed buildings from inappropriate development.

### **Drainage and Flooding**

The application site is located within Scottish Environmental Protection Agency's low-medium flood risk envelope. The Council's Flooding Team has stated that whilst the site is at risk of fluvial flooding from the Kelty Burn, there is no increase in land use vulnerability. Therefore, the proposed development is considered to be acceptable in terms of flooding, however, the Council's Flood Risk Guidance should still be taken into account.

### **Coal Mining**

The application site is located on land which The Coal Authority has identified as being at high risk from former works. However, as the development is of a "householder" type, it is exempt from requiring to be passed to The Coal Authority for consultation and the Standing Advice is applicable. An informative note on the decision notice should raise the applicant's awareness of potential implications.

### **Developer Contributions**

The Developer Contributions Guidance is not applicable to this application and therefore no contributions are required in this instance.

### **Economic Impact**

The economic impact of the proposal is likely to be minimal and limited to the construction phase of the development.

## **PLANNING OBLIGATIONS AND LEGAL AGREEMENTS**

None required.

## **DIRECTION BY SCOTTISH MINISTERS**

None applicable to this proposal.

## **CONCLUSION AND REASONS FOR DECISION**

To conclude, the application must be determined in accordance with the Development Plan unless material considerations indicate otherwise. In this respect, the proposal is considered to be contrary to the Development Plan. Account has been taken of the relevant material considerations and none has been found that would justify overriding the Development Plan. Accordingly, the proposal is refused on the grounds identified below.

### **Reasons for Refusal**

- 1 The proposal, in addition to the two existing sets of ancillary accommodation, would result in an excessive provision of ancillary accommodation, which would further reduce the functional relationship to the host dwellinghouse.

Refusal would therefore be in line with Policy 14(c) of NPF4 and approval would be contrary to Policies 14(a) and (b) and 16(g) of NPF4, Policies 1A, 1B(c) and 17(c) of Perth & Kinross Local Development Plan 2 (2019) and Perth & Kinross Placemaking Guide, which seek to ensure that the density and siting of all developments respects the character and amenity of the place.

Furthermore, the proposals are contrary to Perth & Kinross Council's Ancillary and Annex Accommodation 2021 supplementary guidance, which seeks to ensure that there is a strong functional relationship between ancillary accommodation and the host dwellinghouse and that the extent of ancillary accommodation is reasonable and proportionate.

- 2 The proposal, by combination of its prominent location, excessive projection, unsympathetic design and cluttered appearance, results in a development which is unsympathetic to the character of the host building, which would have a detrimental impact upon visual amenity.

Approval would therefore be contrary to Policies 14(a) and (b) and 16(g) of NPF4, Perth & Kinross Placemaking Guide 2020 and Policies 1A, 1B(c) and 17(c) of the Perth and Kinross Local Development Plan 2 2019, which seek to ensure that developments contribute positively to the quality of the surrounding built environment in terms of design, proportions, character and appearance, in order to respect the character and amenity of the place.

- 3 The proposal, by virtue of its excessive proportions, unsympathetic design and cluttered appearance, would have an adverse impact upon the setting of the adjacent category B-listed Kelty Bridge, HES ref: LB5722.

Approval would therefore be contrary to Policy 7(a) and (c) of NPF4 and Policy 27A of Perth and Kinross Local Development Plan 2 2019, which seek to safeguard the setting of listed buildings from inappropriate development.



- 4 The proposal, by virtue of its position, height, orientation and projection, would have an imposing, overbearing and significant adverse impact upon the residential amenity of the adjacent window and garden, in terms of overshadowing in the morning and loss of daylight generally.

Approval would therefore be contrary to Policies 14(a) and (b) and 16(g) of NPF4, Perth & Kinross Placemaking Guide 2020, Perth & Kinross Council's Ancillary and Annex Accommodation 2021 and Policies 1A, 1B(c) and 17(c) of the Perth and Kinross Local Development Plan 2 2019, which seek protect and where possible improve existing residential amenity.

### **Justification**

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

### **Informative Notes**

- 1 The red line site boundary to the west of the extension does not appear to be consistent with the physical boundaries presently on the site or the records held by Register Scotland.
- 2 The proposed development lies within an area that has been defined by the Coal Authority as containing potential hazards arising from former coal mining activity. These hazards can include: mine entries (shafts and adits); shallow coal workings; geological features (fissures and break lines); mine gas and previous surface mining sites. Although such hazards are seldom readily visible, they can often be present and problems can occur in the future, particularly as a result of development taking place.

It is recommended that information outlining how the former mining activities affect the proposed development, along with any mitigation measures required (for example the need for gas protection measures within the foundations), be submitted alongside any subsequent application for Building Warrant approval (if relevant).

Any form of development over or within the influencing distance of a mine entry can be dangerous and raises significant safety and engineering risks and exposes all parties to potential financial liabilities. As a general precautionary principle, the Coal Authority considers that the building over or within the influencing distance of a mine entry should wherever possible be avoided. In exceptional circumstance where this is unavoidable, expert advice must be sought to ensure that a suitable engineering design is developed and agreed with regulatory bodies which takes into account of all the relevant safety and environmental risk factors, including gas and mine-water. Your attention is drawn to the Coal Authority Policy in relation to new development and mine entries available at:

[www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries](http://www.gov.uk/government/publications/building-on-or-within-the-influencing-distance-of-mine-entries)

Any intrusive activities which disturb or enter any coal seams, coal mine workings or coal mine entries (shafts and adits) requires a Coal Authority

Permit. Such activities could include site investigation boreholes, digging of foundations, piling activities, other ground works and any subsequent treatment of coal mine workings and coal mine entries for ground stability purposes. Failure to obtain a Coal Authority Permit for such activities is trespass, with the potential for court action.

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If any coal mining features are unexpectedly encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is available on the Coal Authority website at:

[www.gov.uk/government/organisations/the-coal-authority](http://www.gov.uk/government/organisations/the-coal-authority)

- 3 The applicant is advised to refer to Perth & Kinross Council's Supplementary Guidance on Flood Risk and Flood Risk Assessments 2021 as it contains advice relevant to your development. <https://www.pkc.gov.uk/ldp2floodrisk>

### **Procedural Notes**

It is recommended that an updated review is carried out by the Council's Enforcement Officer, to ensure that the ancillary accommodation units are both being used for their intended purpose and that they are not sold, let or occupied separately from the host dwellinghouse.

### **PLANS AND DOCUMENTS RELATING TO THIS DECISION**

01

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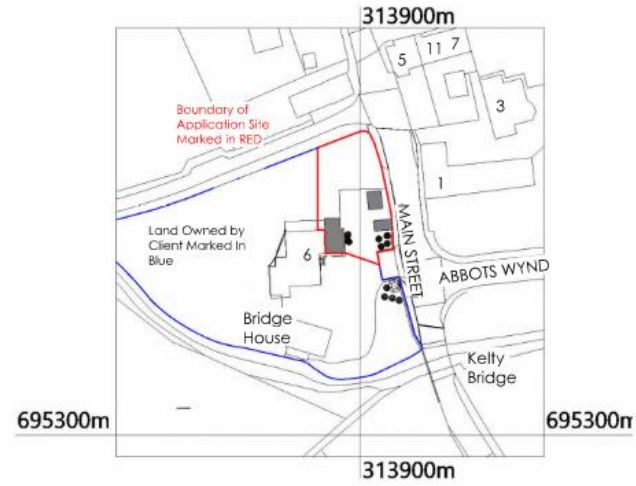
08

09

10



Existing Site Plan  
1 : 200



Existing Location Plan  
1 : 1250



VISUAL SCALE 1:200



VISUAL SCALE 1:1250

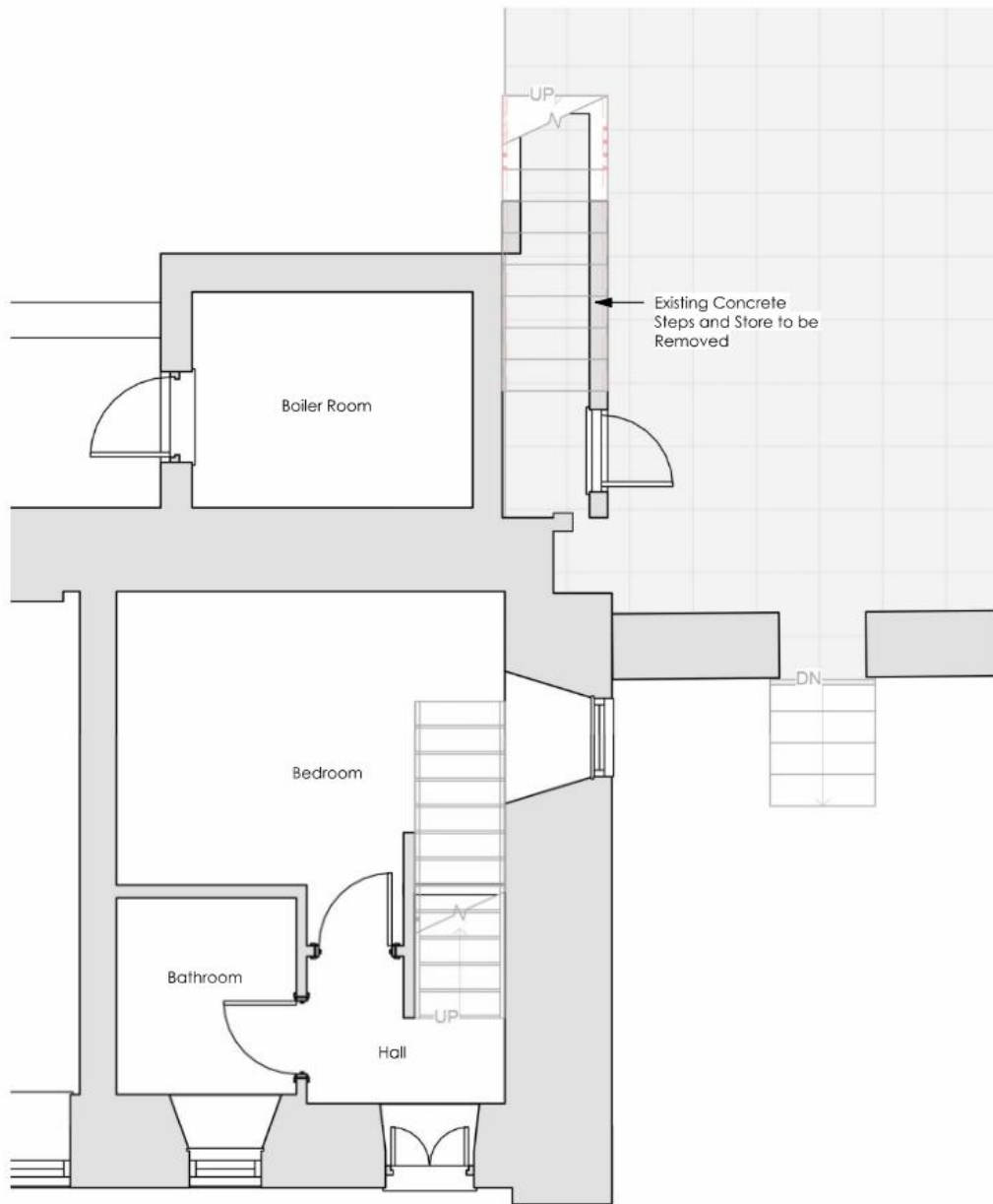
Rev	Details	Date

**andrew allan  
architecture** limited

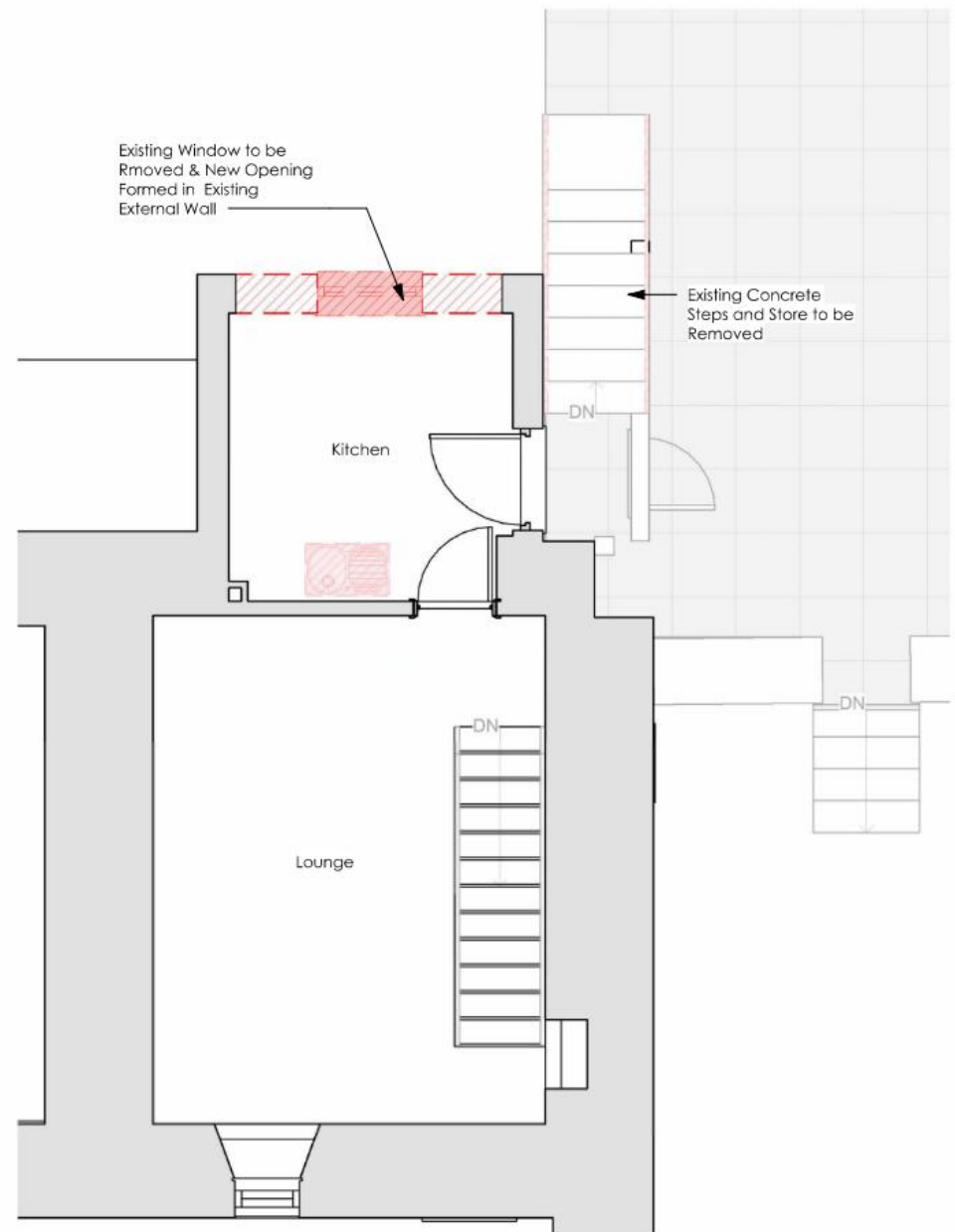
<b>DATE:</b> Oct '22	<b>PROJECT NO.:</b> 22/0042
<b>TECHNICIAN:</b> NR	<b>SCALE(S):</b> As indicated
<b>ISSUE STAGE:</b> Application Stage	<b>SHEET SIZE:</b> A3

**PROJECT:**  
Proposed Single Storey Extension to Rear of Existing Dwelling

<b>ADDRESS:</b> Mr K Crombie & Kelly Bridge, Bloradam, KY4 0JH	<b>DRAWING NUMBER</b> <b>SP1</b>
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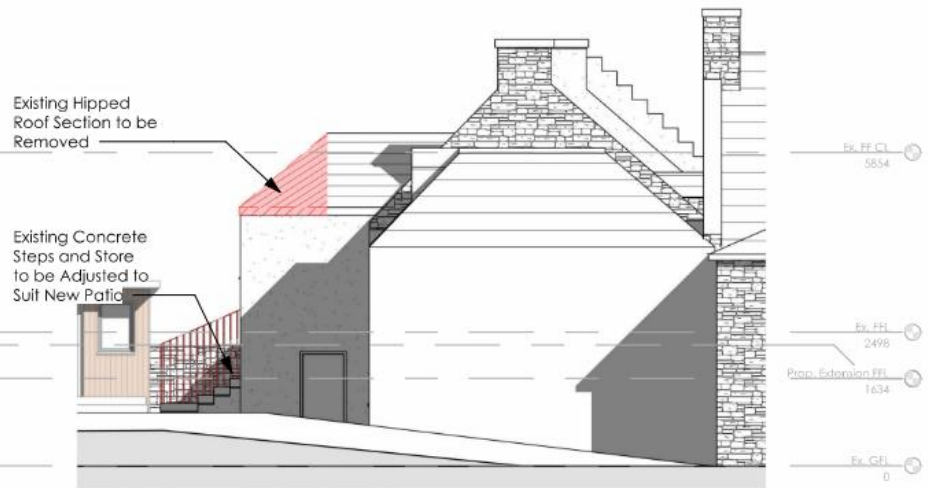
Existing Ground Floor Plan  
1:50



Existing First Floor Plan  
1:50



VISUAL SCALE 1:50



Existing West Elevation  
1 : 100



Existing North Elevation  
1 : 100



Existing East Elevation  
1 : 100

Rev	Details	Date

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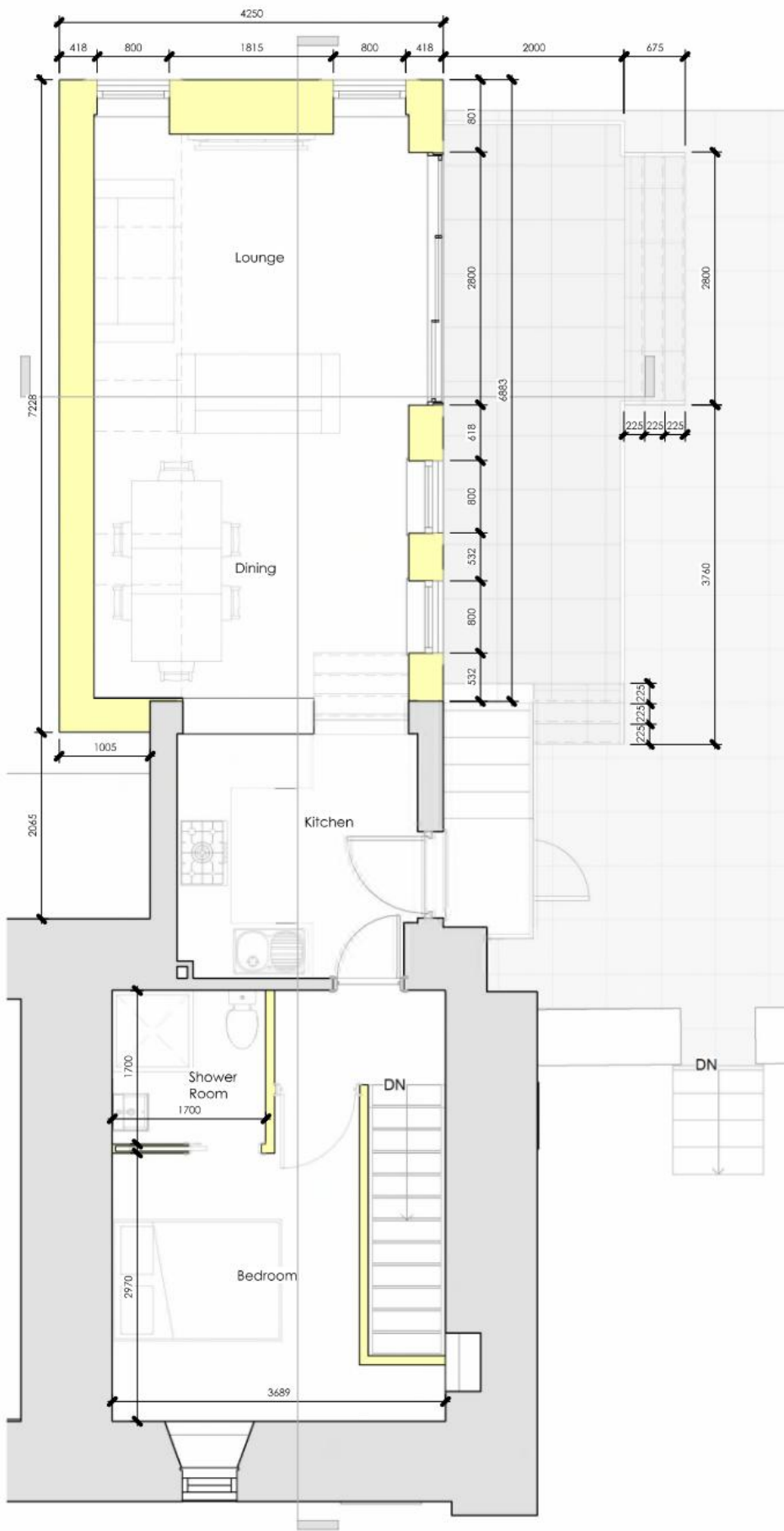
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<b>TECHNICIAN:</b> NR	<b>SCALE(S):</b> 1 : 100
<b>ISSUE STAGE:</b> Application Stage	<b>SHEET SIZE:</b> A3

**PROJECT:**  
Proposed Single Storey Extension to Rear of Existing Dwelling

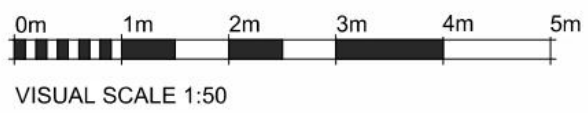
<b>ADDRESS:</b> Mr K Crombie & Kelly Bridge, Bloradam, KY4 0JH	<b>DRAWING NUMBER</b> <b>2</b>
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VISUAL SCALE 1:100



Proposed First Floor Plan  
1 : 50



Rev	Details	Date

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<b>DATE:</b> Jan '23	<b>PROJECT NO:</b> 22/0042
<b>TECHNICIAN:</b> NR	<b>SCALE(S):</b> 1 : 50
<b>ISSUE STAGE:</b> Application Stage	<b>SHEET SIZE:</b> Application Stage

**PROJECT:**  
Proposed Single Storey Extension to Rear of Existing Dwelling

<b>ADDRESS:</b> Mr K Crombie & Kelly Bridge, Blairadam, K14 0JH	<b>DRAWING NUMBER</b> <b>3</b>
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○ Proposed East Elevation  
1 : 100



○ Proposed North Elevation  
1 : 100



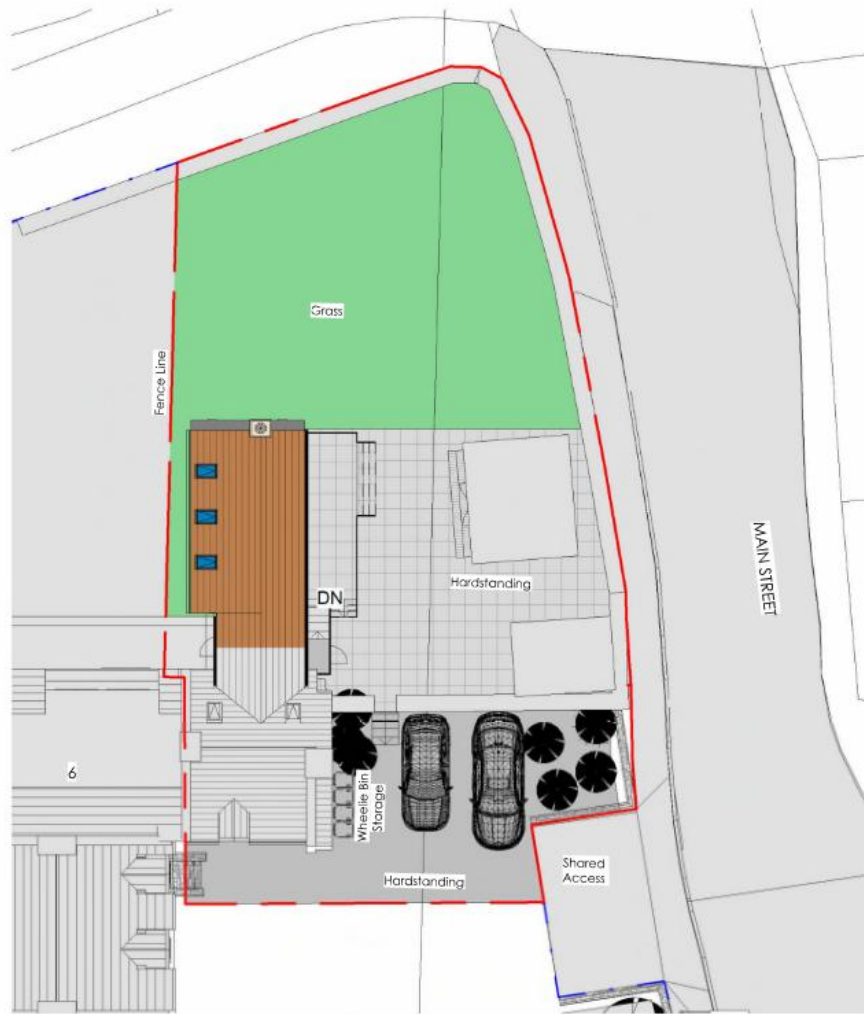
○ Proposed West Elevation  
1 : 100



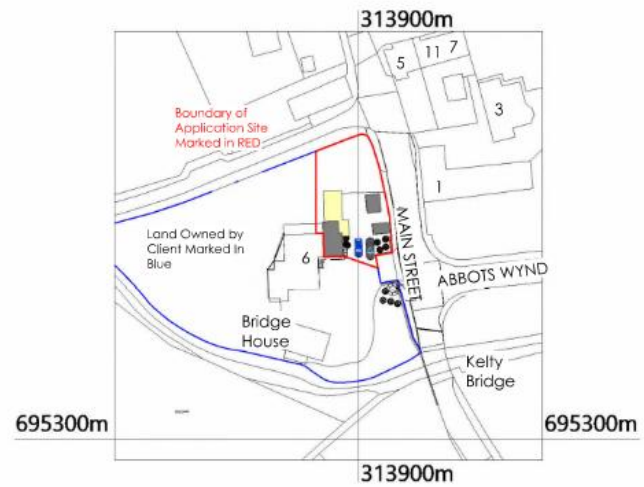
VISUAL SCALE 1:100



○ Section 2  
1 : 50



○ Proposed Site Plan  
1 : 200



○ Proposed Location Plan  
1 : 1250



Rev	Details	Date

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<b>DATE:</b> 27/09/21	<b>PROJECT NO.:</b> 22/0042
<b>TECHNICIAN:</b> NR	<b>SCALE(S):</b> As indicated
<b>ISSUE STAGE:</b> Application Stage	<b>SHEET SIZE:</b> A3

**PROJECT:**  
Proposed Single Storey Extension to Rear of Existing Dwelling

<b>ADDRESS:</b> Mr K Crombie 8 Kelly Bridge, Bloradam, KY4 0JH	<b>DRAWING NUMBER</b> <b>SP2</b>
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VISUAL SCALE 1:200



VISUAL SCALE 1:1250





Existing View 1 from Kelty Bridge



Existing View 2 From Kelty Bridge



Proposed View 1 from Kelty Bridge



Proposed View 2 From Kelty Bridge

Rev	Details	Date

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<b>DATE:</b> Jan '23	<b>PROJECT NO.:</b> 22/0042
<b>TECHNICIAN:</b> NR	<b>SCALE(S):</b>
<b>ISSUE STAGE:</b> Application Stage	<b>SHEET SIZE:</b> A3

**PROJECT:**  
Proposed Single Storey Extension to Rear of Existing Dwelling

<b>ADDRESS:</b> Mr K Crombie & Kelly Bridge, Bloradam, KY4 0JH	<b>DRAWING NUMBER</b> <b>6</b>
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3D View 1



3D View 2



3D View 5



3D View 4

Rev	Details	Date

**andrew allan**  
architecture limited

<b>DATE:</b> Jan '23	<b>PROJECT NO.:</b> 22/0042
<b>TECHNICIAN:</b> NR	<b>SCALE(S):</b>
<b>ISSUE STAGE:</b> Application Stage	<b>SHEET SIZE:</b> A3

**PROJECT:**  
Proposed Single Storey Extension to Rear of Existing Dwelling

<b>ADDRESS:</b> Mr K Crombie & Kelly Bridge, Bloradam, KY4 0JH	<b>DRAWING NUMBER</b> <b>5</b>
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# andrew allan architecture ltd

architecture & design service – building standards consultant – project management

Our ref: 22/0042

## **Supporting Statement – Proposed Extension at 6 Kelty Bridge, Blairadam, KY4 0JH**

Further to the householder application (Ref: 22/01793/FULL) pertaining to 6 Kelty Bridge, Blairadam, we have received your correspondence date 9<sup>th</sup> December 2022 confirming refusal of planning permission.

In response to the reasons for refusal stated in your correspondence, we can confirm that we have addressed these points as follows:

The revised proposals take a traditional approach to construction and materiality, recreating architectural features sympathetic with the existing building and surrounding environment. Particularly we have reduced the roof ridgeline and eaves levels to tie in more effectively with the existing kitchen extension whilst also taking the opportunity to reduce the proposed finished floor level in the new extension. The revised project incorporates roughcast which will be coloured to match the existing south-east facing gable. The proposed roof will be finished with Spanish tiles coloured to match the existing kitchen roof.

The second reason for refusal cites overshadowing of the main building, however the elevation in question would not receive direct sunlight at any point during the day due to its northerly aspect. The client has also noted that the section of the building to which this application is related, is ancillary to the main dwellinghouse. However, to further mitigate any potential overshadowing concerns, the eaves level on the western elevation of the extension has been significantly reduced.

With regards to the impact that the proposals would have on the visual amenity and inter-visibility with the category B-listed Kelty Bridge, we have provided additional illustrations from the viewpoint of the Kelty Bridge which highlight the sympathetic nature of the extension within the context of the existing street scape.

We trust the above information addressing the reasons for refusal are to your satisfaction and we look forward to hearing from you at your earliest convenience.

Andrew Allan BSc (Hons) C.BuildE MCABE

**balcairn house viewfield terrace dunfermline ky12 7hy**

vat reg no: 291 0396 03 tel: 01383 730500 email: [info@andrewallanarchitecture.com](mailto:info@andrewallanarchitecture.com)

**LRB-2023-21**

**23/00116/FLL - Extension to ancillary accommodation, 6**

**Main Street, Keltybridge, Kelty, KY4 0JH**

## **REPRESENTATIONS**



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EXTERNAL CONSULT FROM SW  
Ewa

-----Original Message-----

From: Angela Allison [REDACTED] On Behalf Of Planning Consultations  
Sent: 02 February 2023 15:30  
To: Development Management <DevelopmentManagement@pkc.gov.uk>  
Subject: RE: Planning Application Consultation for Application No 23/00116/FLL

CAUTION: This email originated from an external organisation. Do not follow guidance, click links, or open attachments unless you have verified the sender and know the content is safe.

Good Afternoon,

Scottish Water has no objection to this planning application; however, the applicant should be aware that this does not confirm that the proposed development can currently be serviced and would advise the following:

For all extensions that increase the hard-standing area within the property boundary, you must look to limit an increase to your existing discharge rate and volume. Where possible we recommend that you consider alternative rainwater options. All reasonable attempts should be made to limit the flow.

No new connections will be permitted to the public infrastructure. The additional surface water will discharge to the existing private pipework within the site boundary.

I trust the above is acceptable however if you require any further information regarding this matter please contact me on 0800 389 0379 or via the e-mail address below or at [planningconsultations@scottishwater.co.uk](mailto:planningconsultations@scottishwater.co.uk).

Kind regards,

Angela Allison

Technical Analyst  
North Regional Team  
Strategic Development  
Development Services

Dedicated Freephone Helpline : 0800 389 0379 Business Email: [Angela.Allison@scottishwater.co.uk](mailto:Angela.Allison@scottishwater.co.uk)  
Business Weblink: <https://www.scottishwater.co.uk/Business-and-Developers/Connecting-to-Our-Network>

The Bridge  
Buchanan Gate Business Park  
Cumbernauld Road  
Stepps  
Glasgow G33 6FB  
Scottish Water  
Trusted to serve Scotland

### Comments to the Development Quality Manager on a Planning Application

<b>Planning Application ref.</b>	23/00116/FLL	<b>Comments provided by</b>	Diane Barbary
<b>Service/Section</b>	Conservation	<b>Contact Details</b>	[REDACTED]
<b>Description of Proposal</b>	Extension to dwellinghouse		
<b>Address of site</b>	6 Main Street, Keltybridge		
<b>Comments on the proposal</b>	<p>6 Main Street forms part of an unlisted, traditional building to the north west of Kelty Bridge, a category B listed building.</p> <p>6 Main Street contributes to the historic character of the setting of Kelty Bridge. The proposed extension substantially increases the footprint of the existing small outshot to the rear. It is to the north of the property and set back from the east elevation, which reduces the potential adverse visual impact on the bridge. However, there would be a degree of inter-visibility, and the design could be further refined to protect the historic character of the building group.</p> <p>Although the intention is to emulate the architectural character of the existing building, the proportions and detailing of the proposed fenestration do not clearly relate, and the keystones over the proposed openings do not appear to feature elsewhere on the existing building. The proposed steps and railings to the east elevation result in a cluttered appearance, and the scale of the proposed extension would introduce a significant expanse of render which would be visually prominent and detract from the quality of the natural stone to the existing historic building.</p>		
<b>Recommended planning condition(s)</b>			
<b>Recommended informative(s) for applicant</b>			
<b>Date comments returned</b>	22/02/23		



### Comments to the Development Quality Manager on a Planning Application

<b>Planning Application ref.</b>	23/00116/FLL	<b>Comments provided by</b>	Charlie Haggart
<b>Service/Section</b>	HE/Flooding	<b>Contact Details</b>	FloodingDevelopmentControl@pkc.gov.uk
<b>Description of Proposal</b>	Extension to dwellinghouse		
<b>Address of site</b>	6 Main Street Keltybridge Kelty KY4 0JH		
<b>Comments on the proposal</b>	<p>No objections.</p> <p>There is a risk of fluvial flooding from the Kelty Burn however there is no increase in land use vulnerability (in accordance with SEPA 2018 guidance). Applicant may wish to consider Property Level Protection measures as part of the extension.</p>		
<b>Recommended planning condition(s)</b>	N/A		
<b>Recommended informative(s) for applicant</b>	<p>The applicant is advised to refer to Perth &amp; Kinross Council's <a href="#">Supplementary guidance on Flood Risk and Flood Risk Assessments 2021</a> as it contains advice relevant to your development.</p>		
<b>Date comments returned</b>	23/02/2023		

