

LRB-2024-13**22/01959/FLL - Mixed use development comprising alterations to church, relocation of memorial, erection of community centre with sport/education facilities, offices, community café, formation of replacement MUGA, landscaping, parking and associated works, land 30 metres west of St Columba's Episcopal Church, 19 Perth Road, Stanley****PLANNING DECISION NOTICE****REPORT OF HANDLING****REFERENCE DOCUMENTS**



Stanley Development Trust
c/o Lee Boyd Ltd
Lee Boyd
6D Canaan Lane
Edinburgh
EH10 4SY

Pullar House
35 Kinnoull Street
PERTH
PH1 5GD

Date of Notice: **8th December 2023**

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT

Application Reference: **22/01959/FLL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to refuse your application registered on 6th February 2023 for Planning Permission for **Mixed use development comprising alterations to church, relocation of memorial, erection of community centre with sport/education facilities, offices, community cafe, formation of replacement MUGA, landscaping, parking and associated works Land 30 Metres West Of St Columba's Episcopal Church 19 Perth Road Stanley**

David Littlejohn
Strategic Lead (Economy, Development and Planning)

Reasons for Refusal

1. The proposed scale, mass and location of the community centre is considered to have a significant detrimental impact on the setting of the Category C Listed St Columba's Episcopal Church and the Category C Listed Stanley War Memorial and will form a prominent backdrop to key views of the listed structures from the street to their detriment.

The proposal is therefore contrary to National Planning Framework (NPF4) Policy 7(c) Historic Assets and Places and Policy 28A of Perth and Kinross Local Development Plan 2019 which seek to preserve the character, special architectural or historic interest and setting of listed buildings.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

The plans and documents relating to this decision are listed below and are displayed on Perth and Kinross Council's website at www.pkc.gov.uk "Online Planning Applications" page

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REPORT OF HANDLING

DELEGATED REPORT

Ref No	22/01959/FLL	
Ward No	P5- Strathtay	
Due Determination Date	5th April 2023 Extended to 22 December 2023	
Draft Report Date	7th December 2023	
Report Issued by	JW	Date 7 th December 2023

PROPOSAL: Mixed use development comprising alterations to church, relocation of memorial, erection of community centre with sport/education facilities, offices, community cafe, formation of replacement MUGA, landscaping, parking and associated works

LOCATION: Land 30 Metres West Of St Columba's Episcopal Church 19 Perth Road Stanley

SUMMARY:

This report recommends **refusal** of the application as the development is considered to be contrary to the relevant provisions of the Development Plan and there are no material considerations apparent which justify setting aside the Development Plan.

BACKGROUND AND DESCRIPTION OF PROPOSAL

Full planning permission is sought for a mixed use development comprising alterations to the St Columba's Episcopal Church and the erection of a community centre with sport/education facilities, offices, community cafe, formation of replacement mixed use games area (MUGA), landscaping, parking and associated works. The application site is located on the western side of Perth Road, the main thoroughfare through Stanley.

The initial submission involved the demolition of the category C listed Stanley War Memorial to accommodate a car park for the site. Following concerns being identified by the Planning Authority regarding the demolition of this listed structure a set of revised plans have been submitted which now seek to retain the war memorial, albeit with the intention to remove part of the listed walls and fencing to accommodate an access into the site. Therefore, this report is based upon the revised proposals to retain the war memorial.

The proposal involves the partial demolition of the St Columba's church to accommodate the community centre and an associated listed building consent application (ref:22/02244/LBC) has been submitted to demolish the church hall which is located to the rear (south west) of the main church. The remainder of the church is to be retained.

The community centre building is to sit behind and to the west of the church and war memorial and is bound by a bowling green to the south, playing fields and children's play park to the west and three dwellinghouses at West Park to the north. The site of the community centre is currently occupied by two derelict tennis courts which will

be replaced with the MUGA which is to be located to south west of the community centre within the existing playing fields.

An access from Perth Road is proposed to be formed between the church and the war memorial which will provide a pedestrian and vehicular access to the community centre. Three disabled parking bays are proposed to the frontage (east) of the community centre building along with space for service/delivery vehicles.

The community centre building is proposed to have a square footprint with a small projection on the east elevation to accommodate the entrance area and offices which will site directly behind the listed church.

The community centre is proposed to provide a single building to provide a variety of flexible and accessible spaces to support community life. The supporting statement indicates that the development will be "providing a civic presence at the heart of the village that is open and welcoming. The accommodation is to meet contemporary expectation for public facilities and be capable through the range and arrangement of spaces, of providing for all manner of community interaction and activity. This means that at any one time there can be sporting activity taking place alongside social activity".

The building is to be open to all members of the community, becoming a destination for existing and new clubs, associations and groups. This includes the adjacent bowling club, football team, former tennis club and the current activities taking place in the town hall.

The development is proposed to accommodate:

- 1 - Multipurpose Hall (subdivisible)
- 2 - Community Café (with soft play)
- 3 - Multipurpose meeting rooms x3 (subdivisible)
- 4 - Gymnasium
- 5 - Changing facilities
- 6 - Administration/office base
- 7 - Catering kitchen
- 8 - Lettable office accommodation
- 9 - Ancillary space: toilets, storage, plant
- 10 - MUGA

The site of the building is a relatively flat area of ground occupied by the former village tennis courts. The building has been laid out so that the largest space, the main hall is in the middle and the height of the building is dictated by the sporting activity which will take place within the hall (badminton). The hall element is to be two storeys extending to 9m in height. The remainder of the building is proposed to be single storey (4.3m). The roof of both the hall and single storey elements are to be flat. The ground floor external walls are proposed to be clad in pre cast concrete with extensive glazed areas with the upper level external wall of the hall to be clad in diamond shaped tiled metal facade panels. The building is to be surrounded by permeable paving.

In order to accommodate the footprint of the community centre the category C listed connecting church hall of the St Columba's Episcopal church is proposed to be demolished. The hall is part of the listed church and therefore listed building consent is required for the proposed partial demolition (ref:22/02244/LBC). The church dates from 1898 and comprises the rectangular plan timber church with gable fronting onto Perth Road and the rectangular church hall dated 1907. The church hall is to be demolished in its entirety with the rectangular church building to be retained and sitting immediately to the front (east) of the proposed community centre.

The application has been subject to pre application discussions where the Planning Authority identified significant concerns with the impact which the proposed scale and siting of the development would have on the setting of the neighbouring listed church and listed war memorial. Significant concerns were also expressed regarding the proposed demolition of the listed church hall.

SITE HISTORY

02/01182/FUL Erection of a fence with integral gate at 16 September 2002
Application Approved

10/01052/FLL Siting of a temporary portacabin for use as changing rooms
27 September 2010 Application Approved

13/01786/FLL Siting of a temporary portacabin/clubhouse (for 5 years) 22 November
2013 Application Approved

15/00916/LBC Partial demolition 28 September 2015 – Application returned

22/00189/LBC Alterations to building 11 March 2022 Application Withdrawn

22/02244/LBC Alterations and part demolition - pending decision

23/01473/LBC Alterations to pier and boundary wall – pending decision

PRE-APPLICATION CONSULTATION

Pre application Reference: 19/00501/PREAPP

DEVELOPMENT PLAN

The Development Plan for the area comprises National Planning Framework 4 (NPF4) and the Perth and Kinross Local Development Plan 2 (2019) (LDP2).

National Planning Framework 4

The National Planning Framework 4 (NPF4) is the Scottish Government's long-term spatial strategy with a comprehensive set of national planning policies. This strategy sets out how to improve people's lives by making sustainable, liveable and productive spaces.

NPF4 was adopted on 13 February 2023. NPF4 has an increased status over previous NPFs and comprises part of the statutory development plan.

The Council's assessment of this application has considered the following policies of NPF4 :

Policy 3: Biodiversity

Policy 6: Forestry, Woodland and Trees

Policy 7: Historic Assets and Places

Policy 13: Sustainable Transport

Policy 14: Design, Quality and Place

Policy 15: Local Living and 20 Minute Neighbourhoods

Policy 21: Play, Recreation and Sport

Policy 22: Flood Risk and Water Management

Policy 23: Health and Safety

Policy 25: Community Wealth Building

Perth and Kinross Local Development Plan 2 – Adopted November 2019

The Local Development Plan 2 (LDP2) is the most recent statement of Council policy and is augmented by Supplementary Guidance.

The principal policies are:

Policy 1A: Placemaking

Policy 1B: Placemaking

Policy 2: Design Statements

Policy 5: Infrastructure Contributions

Policy 14A: Open Space Retention and Provision: Existing Areas

Policy 16: Social, Cultural and Communities Facilities

Policy 17: Residential Areas

Policy 27A: Listed Buildings

Policy 27B: Demolition of Listed Buildings

Policy 40B: Forestry, Woodland and Trees: Trees, Woodland and Development

Policy 41: Biodiversity

Policy 53B: Water Environment and Drainage: Foul Drainage

Policy 53C: Water Environment and Drainage: Surface Water Drainage

Policy 55: Nuisance from Artificial Light and Light Pollution

Policy 56: Noise Pollution

Policy 60B: Transport Standards and Accessibility Requirements: New Development Proposals

Statutory Supplementary Guidance

- [Supplementary Guidance - Developer Contributions & Affordable Housing](#) (adopted in 2020)
- [Supplementary Guidance - Flood Risk and Flood Risk Assessments](#) (adopted in 2021)
- [Supplementary Guidance - Forest & Woodland Strategy](#) (adopted in 2020)
- [Supplementary Guidance - Green & Blue Infrastructure](#) (adopted in 2020)
- [Supplementary Guidance - Landscape](#) (adopted in 2020)
- [Supplementary Guidance - Open Space Provision for New Developments](#) (adopted in 2021)
- [Supplementary Guidance - Placemaking](#) (adopted in 2020)

OTHER POLICIES

Non Statutory Guidance

- [Planning Guidance - Planning & Biodiversity](#)
- [Planning Guidance - Ancillary & Annex Accommodation](#)
- [Supplementary Guidance - Renewable & Low Carbon Energy](#) (draft)

Historic Environment Policy for Scotland (HES 2019)

HEPS is a national policy statement which defines how decisions should be made in relation to management and protection of the historic environment.

NATIONAL GUIDANCE

The Scottish Government expresses its planning policies through The National Planning Framework, Planning Advice Notes, Creating Places, Designing Streets, National Roads Development Guide and a series of Circulars.

Planning Advice Notes

The following Scottish Government Planning Advice Notes (PANs) and Guidance Documents are of relevance to the proposal:

- PAN 40 Development Management
- PAN 51 Planning, Environmental Protection and Regulation
- PAN 61 Planning and Sustainable Urban Drainage Systems
- PAN 68 Design Statements
- PAN 69 Planning and Building standards Advice on Flooding
- PAN 75 Planning for Transport
- PAN 77 Designing Safer Places

Creating Places 2013

Creating Places is the Scottish Government's policy statement on architecture and place. It sets out the comprehensive value good design can deliver. It notes that successful places can unlock opportunities, build vibrant communities and contribute to a flourishing economy and set out actions that can achieve positive changes in our places.

Designing Streets 2010

Designing Streets is the policy statement in Scotland for street design and changes the emphasis of guidance on street design towards place-making and away from a system focused upon the dominance of motor vehicles. It was created to support the Scottish Government's place-making agenda, alongside Creating Places.

National Roads Development Guide 2014

This document supports Designing Streets and expands on its principles and is considered to be the technical advice that should be followed in designing and approving of all streets including parking provision.

CONSULTATION RESPONSES

INTERNAL

Commercial Waste Team – no objection and waste storage is acceptable

Biodiversity/Tree Officer – following receipt of updated ecology information the ecological impact is considered to be acceptable subject to conditions.

Conservation Team – objection due to impact on setting of listed St Columba's Church and listed Stanley War Memorial

Transportation And Development – no objections given location of site and accessibility via sustainable means of transport in accordance with requirements of NPF4.

Structures And Flooding – no objection

Environmental Health (Noise Odour) – no objections subject to conditional control (referenced in detail within appraisal below)

Development Contributions Officer – no contributions necessary given community nature of project.

EXTERNAL

Scottish Water – no objections but connection to their assets will require separate application

Perth And Kinross Heritage Trust – objects due to proposed loss of historic building, however should planning permission be granted a detailed historic building survey should be undertaken (secured via condition)

REPRESENTATIONS

A total of 228 representations have been received on the application over two public consultation periods. One when the application was initially submitted in February/March 2023 and then again in November /December 2023 following submission of amended plans and amended supporting statements.

There were 21 objections to the application and 207 letters of support.

The comments made in the letters of objection may be summarised as follows:

- Adverse effect on visual amenity/scale/height
- Inadequate design
- Inappropriate land use
- Lack or loss of car parking
- Light pollution
- Loss of open space
- Noise pollution
- Out of character with area
- Over intensive development
- Overlooking
- Road safety
- Traffic congestion
- Removal of war memorial
- Impact on setting of church and war memorial
- Demolition of church hall not justified
- Contrary to Development Plan
- Title deed/land ownership restrictions
- Anti social behaviour
- Opening hours
- Lack of public consultation
- Impact on bio diversity

The comments made in the letters of support may be summarised as follows:

- Enhances character of area

- Supports economic development
- Provides community space for village
- Improves availability of sports facilities for clubs and community groups
- Needed for village
- Provides employment
- Supports growing population and new housing development
- Addresses lack of community provision in Stanley

The above issues are addressed within the appraisal section below.

Additional Statements Received:

Screening Opinion	Not Required
Environmental Impact Assessment (EIA): Environmental Report	Not applicable
Appropriate Assessment under Habitats Regulations	Habitats Regulations AA Not Required
Design Statement or Design and Access Statement	Submitted
Report on Impact or Potential Impact eg Flood Risk Assessment	Submitted

APPRAISAL

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan comprises NPF4 and the Perth and Kinross Local Development Plan 2019. The relevant policy considerations are outlined in the policy section above and are considered in more detail below. In terms of other material considerations, involving considerations of the Council’s other approved policies and supplementary guidance, these are discussed below only where relevant.

In this instance, section 14(2) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 places a duty on planning authorities in determining such an application as this to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Section 64(1) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 is relevant and requires planning authorities to pay special attention to the desirability of preserving or enhancing the character or appearance of the designated conservation area.

The determining issues in this case are whether; the proposal complies with development plan policy; or if there are any other material considerations which justify a departure from policy.

Principle

The principle of a new community hub/centre to serve the residents of Stanley is supported by the Planning Authority. The principle of the provision of a community

centre meets the aims of both the Perth and Kinross Local Development Plan 2019 and NPF4 both of which seek to support development which serves the local community. Policies 16 and 17 of the LDP2 are applicable which relate to social, cultural and community facilities and residential areas. These seek to support the provision of local community facilities provided where they improve the character and environment of the village.

The proposal for a community centre is also considered to meet the requirements of Policy 14: Design, Quality and Place and Policy 15: 20 Minute Neighbourhoods of NPF4 as the site is well connected to the village of Stanley and is located within walking distance of the majority of properties in Stanley. The proposed location meets the general requirement of these policies in relation to sustainability by enabling the people of Stanley to "live, play, work and stay in their area". The proposal also supports the 20 minute neighbourhood ethos and supports local living by providing access to play facilities, particularly in the context of the current expansion and housing development taking place in Stanley.

Furthermore, policy 25 refers to Community Wealth Building and states that proposals which are consistent with local economic priorities will be supported particularly where this involves community led proposals. Therefore, the general principle of a community centre in Stanley is considered to comply with the relevant provisions of NPF4.

In terms of the site specifically, it is located within the settlement boundary of Stanley and is designated as open space within the Perth and Kinross Local Development Plan 2019

Policy 14A of the LDP2 is applicable. This states that areas of open space and recreational/amenity woodland should be retained except in specific circumstances which are as follows:

- o Where the development is ancillary to the recreational use of the land
- o The proposed development is a minor part of the site which would not affect its continued use as a recreational or amenity resource.

Policy 21 of National Planning Framework 4 (NPF4) contains similar criteria and states that development proposals will only be supported where they are ancillary to the principal use of the site and that the proposal involve a minor part of the facility and would not affect its use.

The formation of a community centre is considered to be directly linked to the use of the adjacent open space. Whilst the community centre building is to be located on the site of two existing tennis courts these will effectively be replaced with the proposed MUGA area to the south west.

The principle of erecting a community centre and MUGA on this designated area of open space is therefore considered to be acceptable as the development is considered to involve a relatively minor area of the wider open space designation. There is also considered to be a clear relationship between the use of the community centre and the open space given the club and community group which would likely utilise both spaces. As such the proposal is considered to meet the criteria outlined

within policy 14A of the LDP2 and policy 21 of NPF4 as it does not affect the continued use of the playing field as a recreational resource for Stanley.

Therefore, as outlined above the Planning Authority is supportive of the principle of a community centre in Stanley. There are, however, other relevant planning considerations relating to cultural heritage, trees, ecology, drainage, traffic and transport and others which will be considered in more detail below.

Cultural Heritage

As outlined above the proposed development is to the west of the category C listed St Columba's Episcopal Church, requiring its partial demolition and to the west of the category C listed Stanley War Memorial which is now proposed for retention.

Demolition of Listed Church Hall

The demolition of the listed church hall will be considered under the associated listed building consent application (ref:[22/02244/LBC](#)) and an assessment of that is provided in the Report of Handling for that application which can be found on the planning portal. In summary the demolition of the church hall is considered to be contrary to planning policy and has not been sufficiently justified as required by national, regional and local policy.

Impact on Setting of Listed Buildings/Structures

NPF4 states that development proposals affecting the setting of a listed buildings should preserve their character and their special architectural or historic interest. This is also stated within Policy 27A of the LDP2.

The proposed community centre is in very close proximity to the church and war memorial and would form a prominent backdrop to key views of the listed buildings from the east. The community centre is only 3.2m from the rear of the church at its closest point. The hall for the community centre is proposed to extend to 9 metres in height which is substantially higher than any building in the immediate vicinity. The church building is only 7m in height. The proposed hall for the community centre will therefore completely dominate the church building and the adjacent war memorial. The church and war memorial currently benefit of a natural backdrop containing trees and planting associated with the open space to the west. This would be entirely lost as a result of the proposal with the 30 metre length of the eastern elevation of the community centre becoming the backdrop to the listed buildings. Given the scale of this eastern elevation and the height of the hall, the building would become the dominant feature in this view. The adverse visual impact resulting from the loss of the church hall and the scale of the new development, would be significant.

While retention of the war memorial is welcomed, the amendments and additional information submitted do not adequately address the concerns raised by the proposals in relation to the adverse impact on listed buildings.

The revised Design Statement and Heritage Assessment specify that the proposed new development would not harm the special interest of the church and war

memorial, and in fact the removal of the church hall would enhance the church. The Planning Authority does not share these conclusions.

As part of pre application correspondence the Planning Authority highlighted significant concerns regarding the impact which the proposed development would have on both the listed war memorial and the listed church given its close proximity and proposed scale. It was indicated that it was considered to be difficult to see how a building of the scale required could be accommodated on this site without detrimentally impacting on the setting of the listed buildings. Despite these concerns an application was formally submitted.

Ultimately the proposal involves the demolition of the listed church hall and the justification for this demolition is not appropriate and does not accord with the requirements of NPF4, the Council's Local Development Plan or guidance from Historic Environment Scotland (a full assessment is provided under application 22/02244/LBC). There are also substantial concerns regarding the impact which the proposal would have on the setting of the listed church and listed war memorial. The Council's Conservation Officer and Perth and Kinross Heritage Trust have both objected to the application.

The applicant was advised that further consideration requires to be given to amalgamating the listed structures into the proposed development of the site and consideration of a substantial reduction in scale of the proposal to limit the impact on the setting of listed structures and to enable their retention. There is no indication of what detailed alternatives to the current proposal have been considered and given the policy concerns outlined above the applicant was provided with an opportunity for this to be actioned and amendments made to the proposal. It is acknowledged that this could be challenging given the difficulty in obtaining access to the site. The Planning Authority acknowledged the difficulty in proposing an acceptable development on this site in the original pre application response where it was made clear that an alternative site for the development should be sought. Whilst the war memorial is now proposed to be retained the original concerns with the demolition of the listed church hall and the impact on the setting of listed buildings/structures remain. These were concerns identified in pre application correspondence in 2019 and throughout the assessment of this application and have not been addressed in the submission. Whilst the community benefit of the development is considered to be significant, these are not considered to outweigh the cultural heritage policy considerations identified above.

For the avoidance of any doubt the proposals for the MUGA alone are considered to be acceptable but the development requires to be considered as a whole.

Listed Walls and Fencing

The proposed access into the site requires the moving of the listed war memorial garden's south boundary wall. This requires listed building consent in its own right and is subject to a separate application (23/01473/LBC). An assessment of this is undertaken in the associated Report of Handling for that application and these alterations are also considered to be contrary to policy.

Residential Amenity

Policy 1A and B and 56 of LDP2 and Policy 14 (c) and 23 of NPF4 require any development to not detrimentally impact on residential amenity.

Odour

As the proposed community centre will include café facilities, it will be necessary to install and maintain an effective ventilation system commensurate with the type of cooking to be undertaken to ensure odours do not adversely affect neighbouring residential properties. This could be secured by condition if any planning permission is granted.

Plant Equipment

The community centre is proposed to include an air source heat pump and air conditioning and extract system and as such there is potential for noise from this equipment to impact on residential amenity. Environmental Health have been consulted and are content with these element of the proposal subject to a plant noise condition if any permission is granted.

Opening Times

At this stage the applicant is unsure as to what the exact operational hours will be, as this will be based on customer demand but does acknowledge that operational hours of the MUGA will be shorter than internal sports facilities, so as to avoid potential noise nuisance to neighbouring properties.

Deliveries

The Design Statement makes reference to deliveries taking place out with opening hours so that car parking spaces are not impacted, however it should be noted that the standard delivery hours condition should be applied if any permission is granted to protect residential amenity. There is also space within the parking area for delivery vehicles and turning.

Lighting

The submission includes a lighting design and layout including floodlighting for the MUGA. It provides a lighting contour map which shows that no residential properties will be within the 1 lux contour and as such would meet the guidance values for light intrusion for all environmental zones both pre and post curfew. It is also assumed that no light fixtures will be on post curfew hours (2300). It is therefore unlikely that lighting will affect residential amenity of neighbouring properties, however the applicant would require to ensure that fittings are correctly positioned and directed and as such this could be covered by an appropriately worded condition should any planning permission be granted. The building of a structure of this scale with the number of windows proposed will clearly result in a change to the environment in terms of lighting compared to the existing levels in the area and alter the character of this part of Stanley to some degree but the change in lighting characteristics which

would result are not considered to be so significant to merit being a reason for refusal.

MUGA

Given the proximity to residential properties there is the potential of this development to impact on residential amenity. Whilst it is acknowledged that the area has previously been used as a sport ground (tennis club) and the uses of adjacent land, the introduction of an all-weather sports pitch with floodlighting may intensify the use of the area. There is no information on times of operation so it is assumed that the pitch will be available for community use throughout the year, at weekends and into the evening period like other developments of this nature.

Environmental Health have dealt with a number of noise complaints from the use of similar all-weather pitches throughout the Perth & Kinross area and as such it will be necessary for the applicant to ensure that noise is adequately controlled.

Noise can arise from users of the area as well as impact noise from balls against fencing/kickboards etc. It may therefore be necessary should the development go ahead for mitigation measures such as lining of goal boxes, noise barriers etc and noise reduction measures such as the installation of rubber inserts, rubber/turf applied to kickboards, noise reduction plastic clips etc on any proposed fencing, as well as good management of the site.

Overlooking

The formation development has the potential to result in overlooking and overshadowing to neighbouring dwellings and garden ground. There is a need to secure privacy for residential neighbours. Planning control has a duty to future occupiers not to create situations of potential conflict between neighbours.

The Council's guidance generally seeks to ensure there is a minimum distance of 9m from windows to boundaries in order to mitigate overlooking from new development. There are residential properties located to the north at West Park. There are limited windows/openings on the north elevation of the building and the openings which are proposed to serve hallways. Therefore, there are no overlooking concerns to the properties on West Park to the north. The windows on the south, east and west facing elevations look towards the play area, bowling green and the church and war memorial. As such there are not considered to be overlooking concerns from these elevations. There are therefore not considered to be any overlooking concerns to the neighbours.

Overshadowing

Although overshadowing is not a matter specifically referred to in ministerial guidance, the protection of neighbouring developments from unreasonable loss of light is a well-established proper planning consideration.

The Council's adopted Supplementary Guidance relating to Placemaking includes specific information on how the issue of overshadowing can be assessed. This is known as the 25 degrees rule. Any proposed development should maintain and

allow for a reasonable amount of natural daylight to the internal living space of neighbouring residential properties. Established practise determines that 25 degrees is a suitable maximum obstruction path which should be afforded directly to a front or rear aspect. In this instance the proposal, given its location relative to neighbours is not considered to result in overshadowing. Whilst the building will alter the view from the properties to the north this is not a material planning consideration.

The proposal, subject to conditional control is therefore considered to accord with Policy 1A and B and 56 of LDP2 and Policy 14 (c) and 23 of NPF4.

Traffic and Transport

Policy 60B of LDP2 and Policy 13 of NPF4 seeks safe access, egress and appropriate car parking and to encourage the use of sustainable transport. As outlined above the community centre is proposed in an easily accessible location within the village, generally within walking distance. It is therefore considered to be the requirements of Policy 13 of NPF4 relating to sustainable transport provision.

As mentioned the original intention was to relocate the war memorial and for this part of the site to accommodate a car park for a total of 11 spaces. These have now been omitted to accommodate the retention of the war memorial.

The revised plans are for a shared cycle/pedestrian/vehicle route created between the church and the war memorial, approximately 10 meters south of the previous proposed entrance. The proposed access will be 4.2metres in width which is considered to be appropriate for the level of traffic which will enter the site. The applicant had discussed taking access from West Park, but an agreement has not been possible from the residents as this is a private road. At the proposed vehicle access onto he B9099, there is streetlighting infrastructure, in particular the streetlighting cable will need to be lowered to a depth of at least 750 mm. In the footway there is a culvert, which will also need to be strengthened to accommodate vehicle access to the site. The vehicle access shall be formed prior to any construction works commencing to avoid damage to the culvert and streetlighting infrastructure. This could be secured by condition should any permission be granted.

Parking will be provided on site for 4 vehicles. There will be three accessible spaces and one minibus space for drop offs and pickups. The centre is located centrally to the community and most local residents are within an 800m walking radius of the site which is considered to be acceptable. Transportation and Development consider this to be acceptable and to accord with the requirements of NPF4 in seeking to encourage the use of sustainable means of transport. There is considered to be sufficient space within the parking area to the frontage of the building to enable turning of vehicles.

Cycle parking will be provided for 8 spaces located beneath the canopy at the entrance to the hub, a further 10 on the main terrace overlooking the bowling green and 4 for staff outside the enclosure for ancillary facilities. All of these spaces will be either overlooked from within the building or covered by CCTV meeting the requirements of Policy 13(b)(v) of NPF4 to ensure the supply of safe, secure and convenient cycle parking.

The proposal in terms of access and parking is considered to be acceptable. Whilst the number of parking spaces have been reduced, Transportation and Development have confirmed that this is acceptable given the location of the site relative to the community of Stanley. Furthermore, the site would be well served by sustainable means of transport meeting the requirements of Policy 13 of NPF4.

Trees

The Council will apply the principles of the Scottish Government Policy on Control of Woodland Removal and there will be a presumption in favour of protecting woodland resources. Where the loss of woodland is unavoidable, mitigation measures in the form of compensatory planting will be required.

The Council will seek to protect and enhance all wildlife and habitats, whether formally designated or not, considering natural processes in the area. Planning permission will not be granted for development likely to have an adverse effect on protected species unless clear evidence can be provided that the ecological impacts can be satisfactorily mitigated. This is referenced in both Policy 41 of the LDP2 and Policy 3 of NPF4.

There were initial concerns with the tree survey being out of date but this has now been updated to reflect current conditions on the site. The submitted Arboricultural Impact Assessment details that two birch trees (ref 81, 82) and one alder tree (ref 89) will be felled to allow this development to proceed. It is unclear if the mixed mature hedge will be removed. Trees and hedgerows should be retained and incorporated into the design in line with the mitigation hierarchy.

The submitted report states that two semi-heavy standard native trees will be planted to compensate for the loss of the two birch trees. Oak is a good choice as they are very long lived and great for local biodiversity in urban areas. This should be increased to three to compensate for the three trees. In this instance, one heavy standard for each tree removed would be accepted as compensation.

A detailed landscaping plan and planting schedule is required indicating species, location, tree stock size, type, planting spec, maintenance, vermin and weed control. This could be secured by condition if any permission is granted.

The proposal is therefore considered to accord with requirements of Policy 41 of the LDP2 and 3 of NPF4.

Ecology

The Council will seek to protect and enhance all wildlife and habitats, whether formally designated or not, considering natural processes in the area. Planning permission will not be granted for development likely to have an adverse effect on protected species unless clear evidence can be provided that the ecological impacts can be satisfactorily mitigated. This is referenced in both Policy 41 of the LDP2 and Policy 3 of NPF4.

The development involves demolition of the church hall and felling of some trees. There are bat records within 1km of the property. There is favourable habitat

including trees and grassland within proximity to the site. The church hall has a traditional slate roof and there is a potential for bat roost potential and a bat survey is required. This is as per the Council's PKC Bat Survey Guidance.

Additional information has been submitted to address initial concerns identified by the Council's Bio Diversity Officer.

The submitted Ecological Impact Assessment (Tay Ecology, May 2023) is in accordance with best practice and surveys were undertaken at the correct time of year. The Report provides comprehensive impact assessments of the proposed development on protected habitats, species, and wider biodiversity.

All methods in the submitted Bat, Bird and Protected Species Survey Report are in accordance with best practice. Dusk and dawn surveys carried out in 2023 confirmed the presence of bats.

Due to the presence of bat roosts, no works can be undertaken before a derogation licence from NatureScot (formerly Scottish Natural Heritage) has been issued. The submitted Bat, Bird and Protected Species Survey Report contains sufficient information for the planning authority to be satisfied that all three tests are likely to be met. The same tests need to be passed in order for NatureScot to issue a licence.

Biodiversity Enhancement

NPF4 requires local planning applications to include appropriate measures for biodiversity enhancement that are proportionate to the nature and scale of the development.

The submitted Ecological Impact Assessment details biodiversity enhancement suggestions in section 6 that are in line with the PKC Planning for Nature Supplementary Guidance. These should be provided to ensure biodiversity enhancement is delivered as part of the proposed development. A suitable condition to ensure these measures are provided should be added to any consent.

The proposal is therefore considered to accord with the above policies and appropriate mitigation measures could be secured by condition should any planning permission be granted.

Drainage

Policy 53B of the LDP2 and Policy 22 of NPF4 requires new development to be served by a private drainage system where there is no public system available. The proposal is to connect to the public drainage network which is considered to be acceptable.

Surface water drainage requires to be collected via a SUDS system as required by Policy 53C and Policy 22(c) of the LDP2. A detailed drainage strategy has been provided for the site which includes the provision of SUDS to cater for the increased hardstanding proposed on site. This is in the form of rainwater harvesting and permeable paving prior to discharge. The details are considered to be acceptable and address the requirements of the above policies.

Land Ownership/Title Deeds

Any concerns regarding land ownership or title deeds are a private civil matter and are not material to the assessment of this application.

Public Consultation

Concerns are expressed in letters of representation regarding the public consultation exercise undertaken by the applicant. There is no statutory public consultation requirement for a development of this scale and therefore the Planning Authority has no statutory involvement in the degree or type of public consultation which is undertaken.

Anti Social Behaviour

Any perceived concerns regarding anti social behaviour which are considered to potentially result from the development would be a police matter and not a material planning consideration.

Developer Contributions

The proposal is for a Community Hub project by the Stanley Development Trust. The cost of delivering the Community Hub project receives funding via Section 75 Agreement developer contributions from Muir Homes, and possibly other developers in future. It is therefore considered that applying a contributions requirement for this proposal is not necessary.

Economic Impact

The economic impact of the proposal is likely to be significant and of substantial benefit to the community but this is not considered to outweigh the policy concerns identified in this report.

VARIATION OF APPLICATION UNDER SECTION 32A

This application was varied prior to determination, in accordance with the terms of section 32A of the Town and Country Planning (Scotland) Act 1997, as amended. The variations incorporate changes to the layout of the site, including retention of the war memorial and removal of the car park. A number of associated supporting statements were also submitted. This additional information was subject to re-advertisement.

PLANNING OBLIGATIONS AND LEGAL AGREEMENTS

None required.

DIRECTION BY SCOTTISH MINISTERS

None applicable to this proposal.

CONCLUSION AND REASONS FOR DECISION

Whilst it is noted that there is some community support for this proposal it is fundamental that the proposal complies with the relevant national, regional and local planning policies and the proposal in its current form does not and requires to be re-considered. The policy concerns raised above were also raised in the Council's pre application response to this proposal in 2019 and throughout the assessment of this application but have not been addressed fully or satisfactorily to enable a positive recommendation. The Planning Authority supports the principle of a community sports centre in Stanley, however there are policy concerns with this particular proposal with regard to impact on cultural heritage which have not been addressed despite this being highlighted as a concern on a number of occasions. The community benefit of this project and the supporting information submitted with the application is not considered to outweigh the policy concerns above.

To conclude, the application must be determined in accordance with the Development Plan unless material considerations indicate otherwise. In this respect, the proposal is considered to be contrary to the Development Plan. Account has been taken of the relevant material considerations and none has been found that would justify overriding the Development Plan.

Accordingly the proposal is refused on the grounds identified below.

Reason for Refusal

The proposed scale, mass and location of the community centre is considered to have a significant detrimental impact on the setting of the Category C Listed St Columba's Episcopal Church and the Category C Listed Stanley War Memorial and will form a prominent backdrop to key views of the listed structures from the street to their detriment.

The proposal is therefore contrary to National Planning Framework (NPF4) Policy 7(c) Historic Assets and Places and Policy 28A of Perth and Kinross Local Development Plan 2019 which seek to preserve the character, special architectural or historic interest and setting of listed buildings.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

Informatives

None

Procedural Notes

Not Applicable.

PLANS AND DOCUMENTS RELATING TO THIS DECISION

01

02

03

04

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Pullar House 35 Kinnoull Street Perth PH1 5GD Tel: 01738 475300 Fax: 01738 475310 Email: onlineapps@pkc.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100604989-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Formation of community sports centre, landscaping and associated works.

Is this a temporary permission? *

Yes No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) *

Yes No

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Lee Boyd Ltd		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Lee	Building Name:	
Last Name: *	Boyd	Building Number:	6D
Telephone Number: *		Address 1 (Street): *	Canaan Lane
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	UK
		Postcode: *	EH10 4SY
Email Address: *			

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:		You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *		Building Number:	
Last Name: *		Address 1 (Street): *	
Company/Organisation	Stanley Development Trust	Address 2:	
Telephone Number: *		Town/City: *	
Extension Number:		Country: *	
Mobile Number:		Postcode: *	
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

Perth and Kinross Council

Full postal address of the site (including postcode where available):

Address 1:

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

Post Code:

Please identify/describe the location of the site or sites

Stanley Tennis Club 21 Perth Road Stanley PH1 4NQ

Northing

733038

Easting

310748

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

Meeting Telephone Letter Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

Response to your pre-application enquiry.

Title:

Mr

Other title:

First Name:

John

Last Name:

Williamson

Correspondence Reference Number:

19/00501/PREAPP

Date (dd/mm/yyyy):

01/11/2019

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Site Area

Please state the site area:

3778.00

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Class 11. Assembly and leisure (e) outdoor sports or recreation

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? *

Yes No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

0

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

11

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? *

Yes No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *

- Yes – connecting to public drainage network
 No – proposing to make private drainage arrangements
 Not Applicable – only arrangements for water supply required

Do your proposals make provision for sustainable drainage of surface water?? * (e.g. SUDS arrangements) *

Yes No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

- Yes
 No, using a private water supply
 No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

Yes No Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

Yes No Don't Know

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

Yes No

If Yes or No, please provide further details: * (Max 500 characters)

The proposed floor plan, drawing number AL(PL)05, indicates an external bin storage area of 7.7sqm

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

All Types of Non Housing Development – Proposed New Floorspace Details

For planning permission in principle applications, if you are unaware of the exact proposed floorspace dimensions please provide an estimate where necessary and provide a fuller explanation in the 'Don't Know' text box below.

Please state the use type and proposed floorspace (or number of rooms if you are proposing a hotel or residential institution): *

Class 11 Assembly and Leisure

Gross (proposed) floorspace (In square meters, sq.m) or number of new (additional) Rooms (If class 7, 8 or 8a): *

767

If Class 1, please give details of internal floorspace:

Net trading spaces:

Non-trading space:

Total:

If Class 'Not in a use class' or 'Don't know' is selected, please give more details: (Max 500 characters)

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Are you able to identify and give appropriate notice to ALL the other owners? *

Yes No

If you cannot trace all the other owners, can you give the appropriate notice to one or more owner? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate C

Certificates

The certificate you have selected requires you to distribute copies of the Notice 1 document below to all of the Owners/Agricultural tenants that you provided previously. Please note that your planning authority may be required to place an advertisement in a local newspaper. You may wish to contact the planning authority for further guidance.

Notice 1 is required

I understand my obligations to provide the above notice before I can complete the certificates. *

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

I hereby certify that – (1) –

I am/The applicant is unable to issue a certificate in accordance with Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013 and in respect of the accompanying application;

(2) - No person other than myself/the applicant was an owner of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

or –

(3) - I have/the applicant has been unable to serve notice on any person other than myself/the applicant who, at the beginning of the period of 21 days ending with the date of the accompanying application, was owner [Note 2] of any part of the land to which the application relates.

or –

(2) - I have/The applicant has served notice on each of the following persons other than myself/the applicant who, at the beginning of the period of 21 days ending with the date of the accompanying application, was owner [Note 2] of any part of the land to which the application/appeal was owner [Note 2] of any part of the land to which the application relates.

Name:

Address:

St Columba's Episcopal Church, 19, Perth Road, Stanley, Scotland , PH1 4NQ

Date of Service of Notice: *

Name:

Address:

Stanley Primary SchoolStanley Primary School, The Square, Stanley, Scotland , PH1 4LT

Date of Service of Notice: *

Name:

Address:

Stanley Bowling ClubStanley Bowling Club, The Square, Stanley, Perth, Scotland, PH1 4NQ

Date of Service of Notice: *

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding;

or –

(2) - The land or part of the land to which the application relates constitutes or forms part of an agricultural holding and I have/the applicant has served notice on every person other than myself/himself who, at the beginning of the period of 21 days ending with the date of the accompanying application was an agricultural tenant. These persons are:

Name:

Address:

Date of Service of Notice: *

(4) – I have/The applicant has taken reasonable steps, as listed below, to ascertain the names and addresses of the other owners or agricultural tenants and *have/has been unable to do so –

In relation to the War Memorial site, Stanley Development Trust has made enquires with British Legion, Both Churches, PKC Estates and Community Council and have been unable to establish the owner. The trust believes that the council maintain the site, it has been suggested that it was gifted to the village by the Mill Owner at the time.

Signed: Lee Boyd

On behalf of: Stanley Development Trust

Date: 03/11/2022

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principal where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

Provide copies of the following documents if applicable:

- | | |
|--|--|
| A copy of an Environmental Statement. * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Client letter requesting a reduction of Planning fee. Client letter requesting dispensation be granted from Policy PM3 of the Local Development Plan and Policy 5 of LDP2.

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Lee Boyd

Declaration Date: 03/11/2022

Payment Details



- LEGEND:**
- SITE BOUNDARY
 - APPLICANT OWNED LAND
 - COUNCIL LAND
 - BOWLING CLUB OWNED LAND
 - EPISCOPAL CHURCH OWNED LAND

0m 10 20 30 40 50 100m **1:1000**



NOTE : ONLY SCALE FOR PLANNING PURPOSES
 Contractor and his subcontractors are to verify all dimensions and levels on site before preparing shop drawings or manufacture.
 The Contractor is to bring to the attention of the Architect any discrepancy in this drawing prior to commencement of the works.

REVISIONS
 rev. date by amendment

status **PLANNING APPLICATION**

client
STANLEY DEV TRUST
LEEBOYD
 6 Canaan Lane
 Edinburgh, EH10 4SY
 Tel : 0131 447 1818
 Fax : 0131 447 8799
 E.mail : design@leeboyd.com

project
STANLEY COMMUNITY SPORTS CENTRE
 drawing title
LOCATION- PLAN
 scale drawn checked date
1:1250 @A3 KM AT 24.09.2019
 project number drg no rev
1517 AL(PL)01 -



SITE BOUNDARY —————



0m 10 20 30 40 50 100m 1:1000

NOTE : ONLY SCALE FOR PLANNING PURPOSES
 Contractor and his subcontractors are to verify all dimensions and levels on site before preparing shop drawings or manufacture.
 The Contractor is to bring to the attention of the Architect any discrepancy in this drawing prior to commencement of the works.

REVISIONS			
rev.	date	by	amendment

status **PLANNING**

client STANLEY DEV TRUST	project STANLEY COMMUNITY SPORTS HUB
drawing title EXISTING - PLAN - SITE	
scale 1:1000 @A2	drawn checked date GT AT 09.06.2015
project number 1517	dig no rev AL(PL)02 -
Tel : 0131 447 1818 Fax : 0131 447 8798 E.mail : design@leeboyd.com	



LEGEND:
 LISTED BUILDING



NOTE : ONLY SCALE FOR PLANNING PURPOSES
 Contractor and his subcontractors are to verify all dimensions and levels on site before preparing shop drawings or manufacture.
 The Contractor is to bring to the attention of the Architect any discrepancy in this drawing prior to commencement of the works.

REVISIONS			
rev.	date	by	amendment
01	23.01.2023	KM	Building outline amended

client Stanley Dev. Trust	status LISTED BUILDING
project St Columba's Episcopal Church, Stanley	
LEEBOYD 6 Canaan Lane Edinburgh, EH10 4SY	drawing title LOCATION PLAN
Tel : 0131 447 1818 Fax : 0131 447 8799 E.mail : design@leeboyd.com	scale 1:1250 @A3
	drawn checked date KM AT 24.09.2019
	project number drg no rev 1517 AL(PL)20 01



LISTED BUILDING ————

REMOVALS - - - - -



0m 10 20 30 40 50 100m 1:1000

NOTE : ONLY SCALE FOR PLANNING PURPOSES
 Contractor and his subcontractors are to verify all dimensions and levels on site before preparing shop drawings or manufacture.
 The Contractor is to bring to the attention of the Architect any discrepancy in this drawing prior to commencement of the works.

REV.	DATE	BY	AMENDMENT
01	23.01.2023	KM	Building outline amended

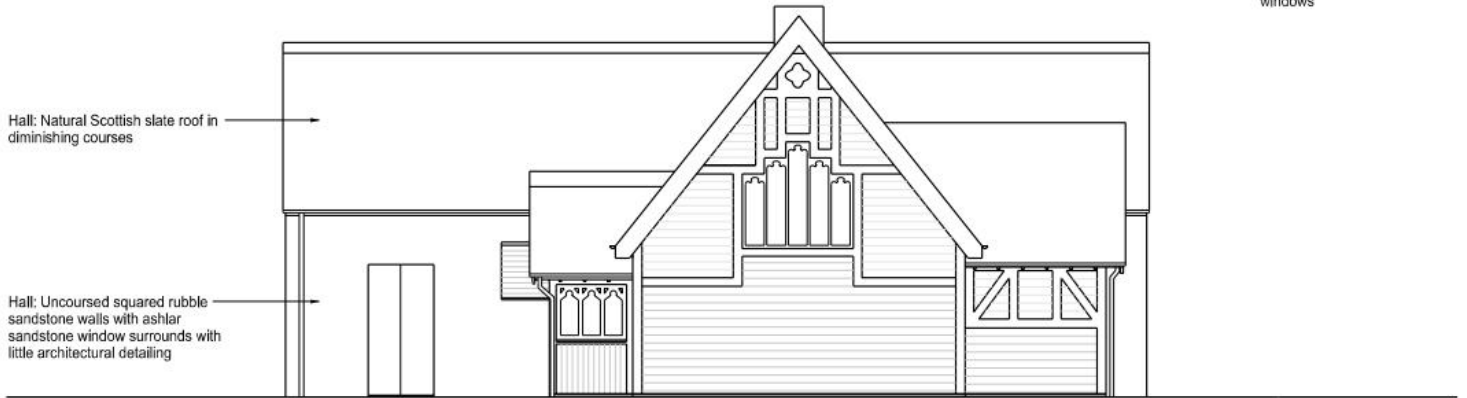
status LISTED BUILDING

client Stanley Dev. Trust	project St Columba's Episcopal Church, Stanley
LEEBOYD 8 Canaan Lane Edinburgh, EH10 4SV	drawing title PROPOSED - PLAN - SITE
Tel : 0131 447 1818 Fax : 0131 447 8798 E.mail : design@leeboyd.com	scale 1:1000 @A2
	drawn GT
	checked AT
	date 09.06.2015
	project number 1517
	dig no AL(PL)22
	rev 01



Existing South East Elevation - Entrance to Church

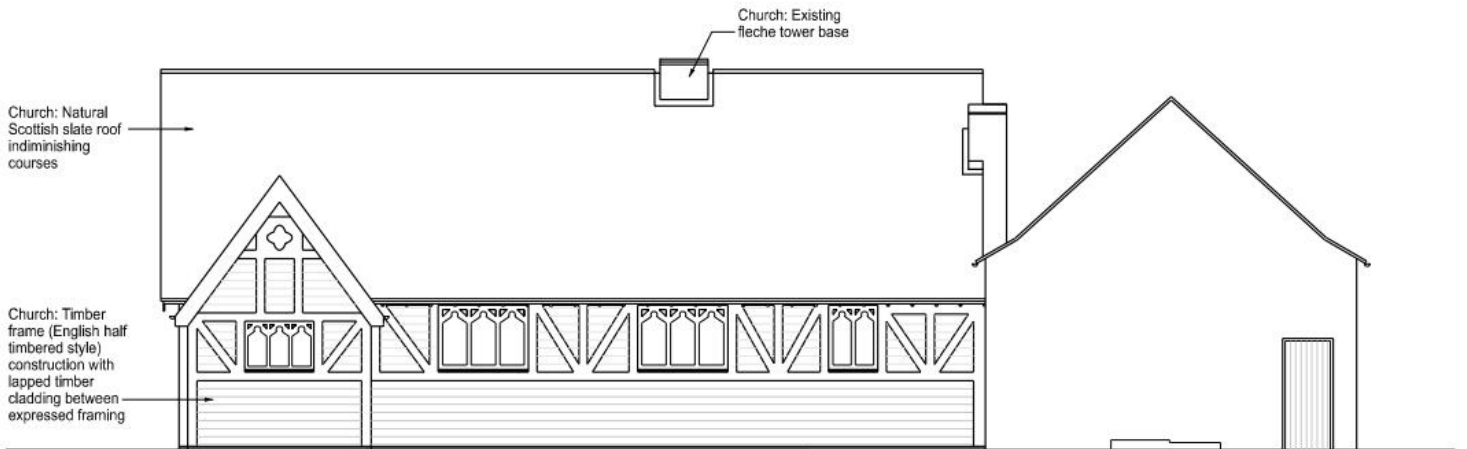
Church: Single glazed cusped timber-mullioned windows



Hall: Natural Scottish slate roof in diminishing courses

Hall: Uncoursed squared rubble sandstone walls with ashlar sandstone window surrounds with little architectural detailing

Existing North East Elevation - Entrance to Hall

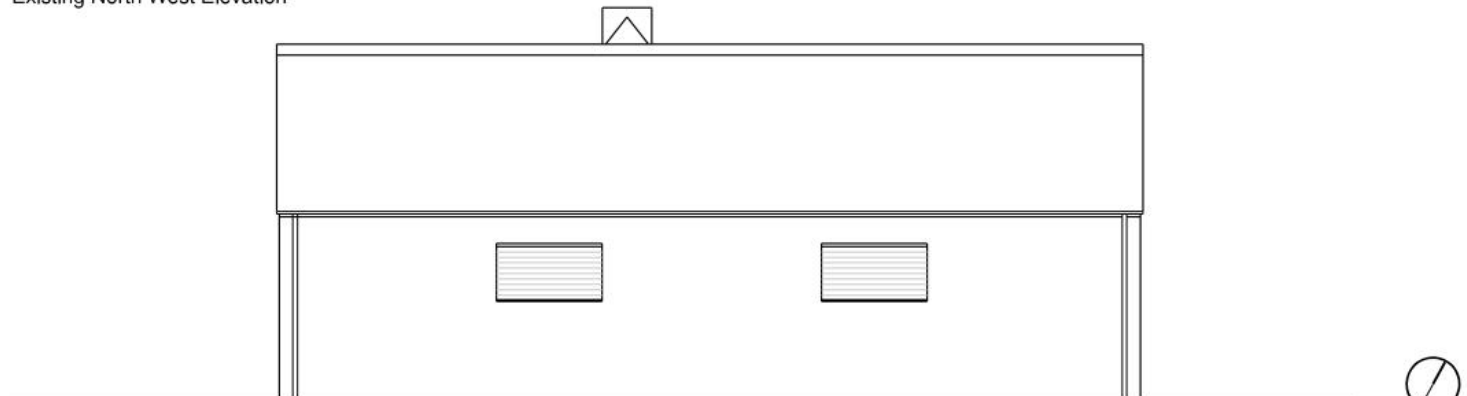


Church: Natural Scottish slate roof indiminishing courses

Church: Timber frame (English half timbered style) construction with lapped timber cladding between expressed framing

Church: Existing fleche tower base

Existing North West Elevation



Existing South West Elevation



status **PLANNING**

NOTE : ONLY SCALE FOR PLANNING PURPOSES
Contractor and his subcontractors are to verify all dimensions and levels on site before preparing shop drawings or manufacture.
The Contractor is to bring to the attention of the Architect any discrepancy in this drawing prior to commencement of the works.

REVISIONS
rev. date by amendment

client
STANLEY DEV. TRUST

project
STANLEY COMMUNITY SPORTS CENTRE

LEEBOYD

drawing title
Existing Elevations

6 Canaan Lane
Edinburgh, EH10 4SY

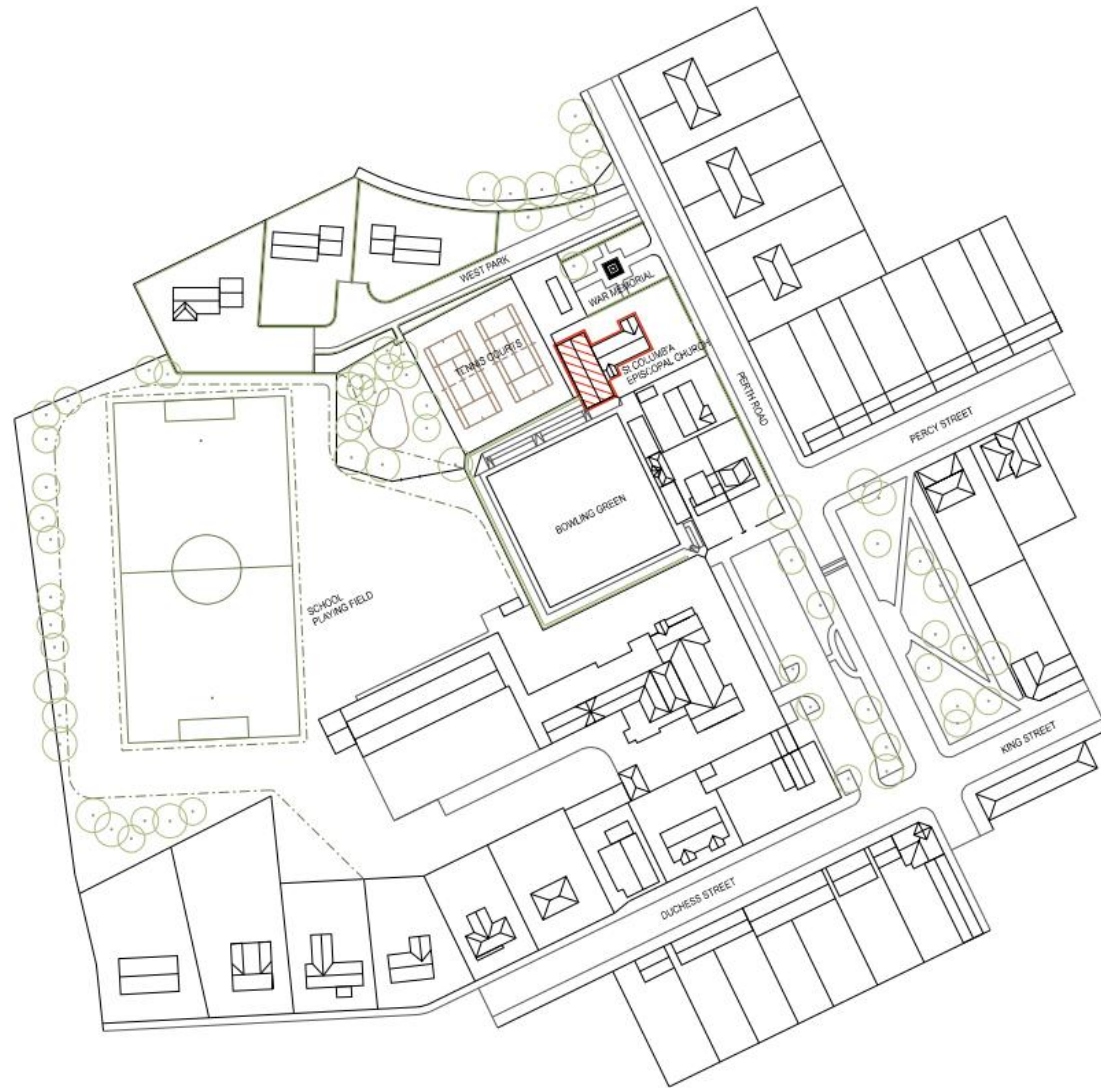
scale	drawn	checked	date
1:100 @A3	FL	AT	Dec 2022

Tel : 0131 447 1818

Fax : 0131 447 8799

E.mail : design@leeboyd.com

project number	drg no	rev
1517	AL(PL)24	-



LISTED BUILDING 
 APPLICATION AREA 



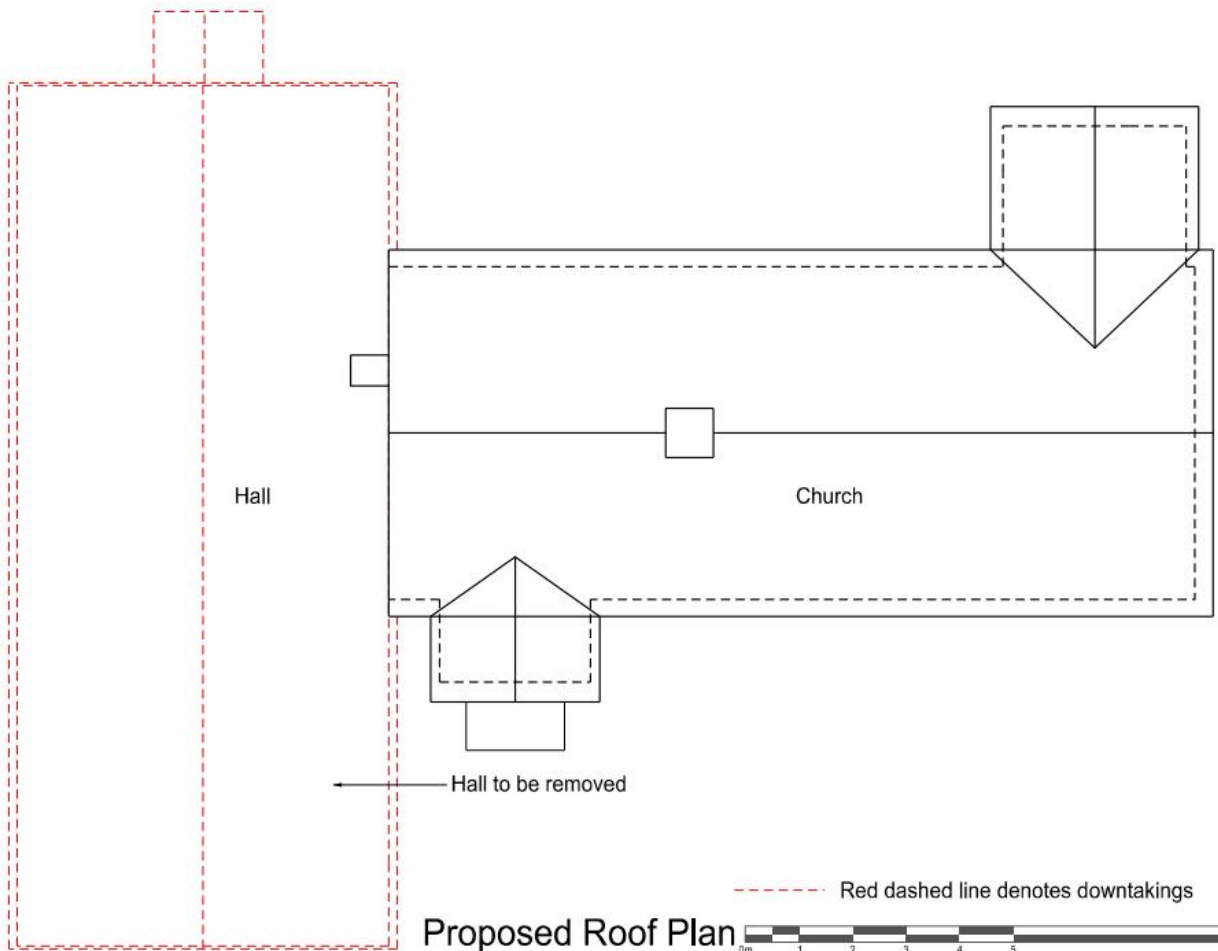
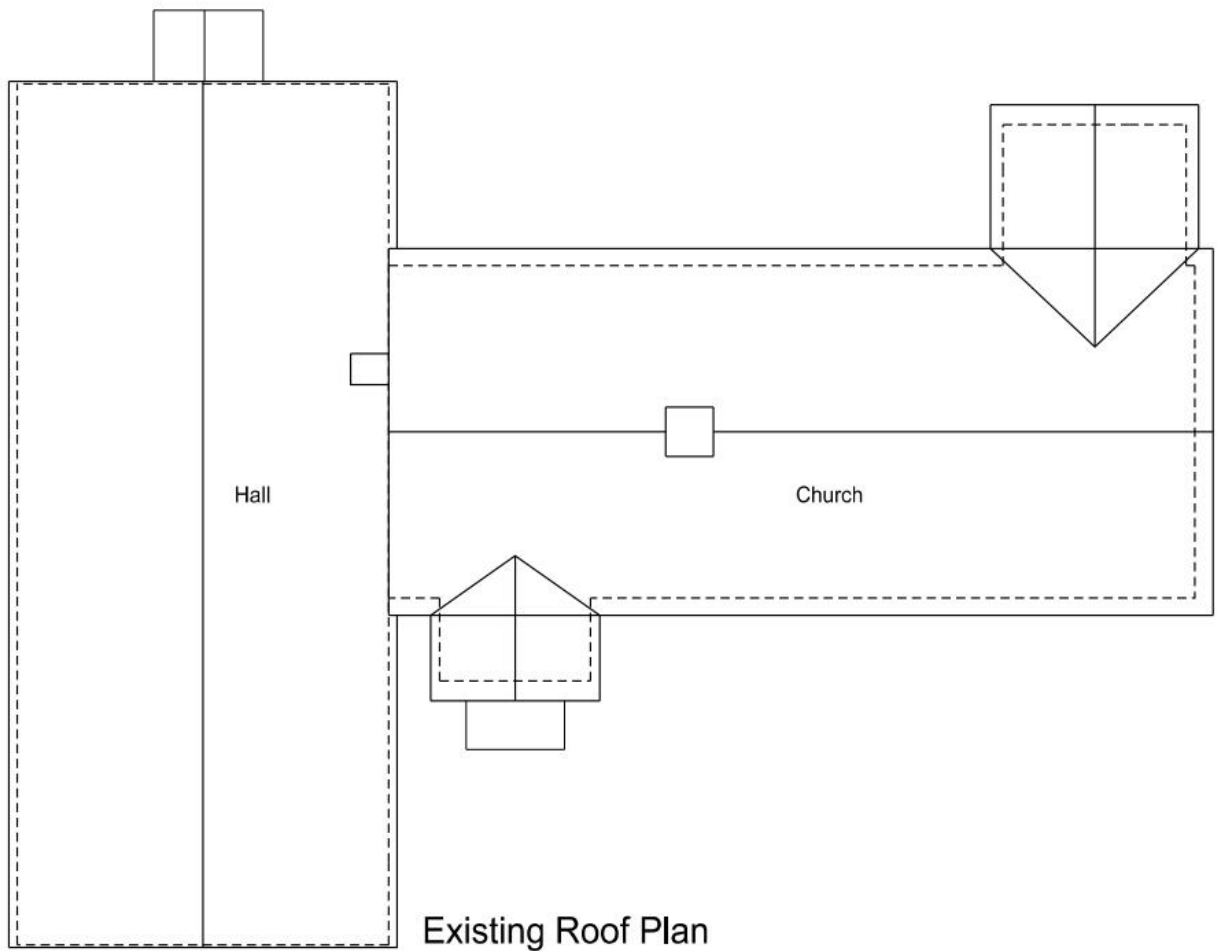
 1:1000

NOTE : ONLY SCALE FOR PLANNING PURPOSES
 Contractor and his subcontractors are to verify all dimensions and levels on site before preparing shop drawings or manufacture.
 The Contractor is to bring to the attention of the Architect any discrepancy in this drawing prior to commencement of the works.

REV.	DATE	BY	AMENDMENT
01	23.01.2023	KM	Building outline and application area added

status LISTED BUILDING

client Stanley Dev. Trust	project St Columba's Episcopal Church, Stanley
drawing title EXISTING - PLAN - SITE	
scale 1:1000 @A2	drawn checked date GT AT 09.06.2015
project number 1517	dig no rev AL(PL)21 01
Tel : 0131 447 1818 Fax : 0131 447 8798 E.mail : design@leeboyd.com	



NOTE : ONLY SCALE FOR PLANNING PURPOSES
 Contractor and his subcontractors are to verify all dimensions and levels on site before preparing shop drawings or manufacture.
 The Contractor is to bring to the attention of the Architect any discrepancy in this drawing prior to commencement of the works.

REVISIONS
 rev. date by amendment

client
 STANLEY DEV. TRUST

LEEBOYD
 6 Canaan Lane
 Edinburgh, EH10 4SY

Tel : 0131 447 1818
 Fax : 0131 447 8799
 E.mail : design@leeboyd.com

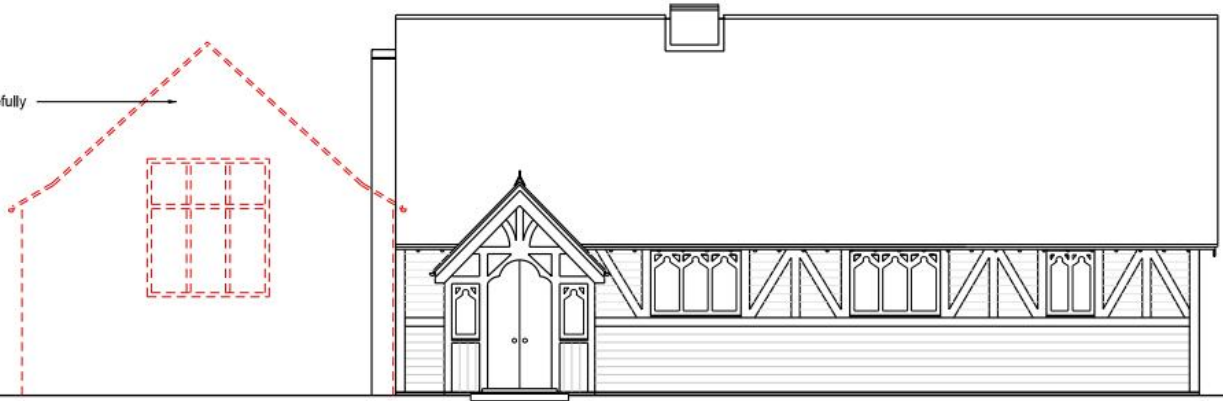
project
 STANLEY COMMUNITY SPORTS CENTRE

drawing title
 Existing and Proposed Roof Plans

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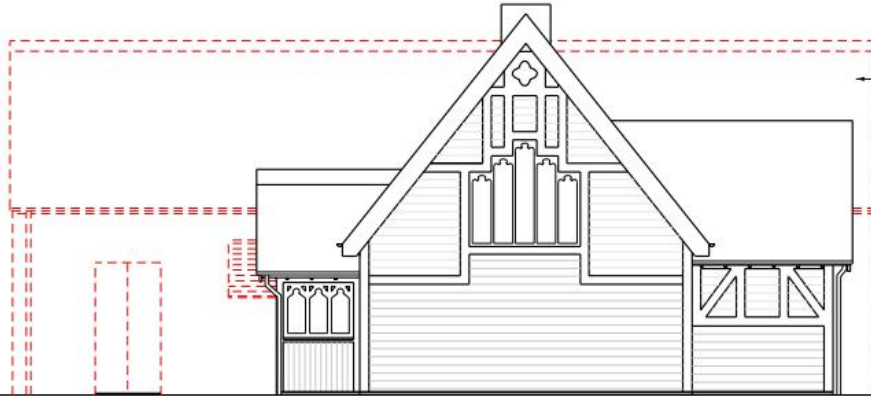
PLANNING

Hall to be carefully removed



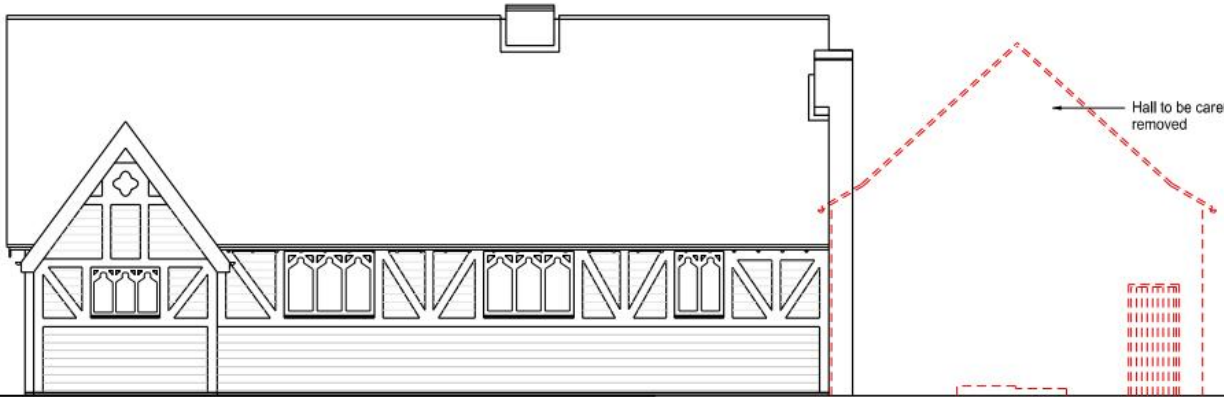
Proposed South East Elevation - Entrance to Church

Hall to be carefully removed



Proposed North East Elevation

Hall to be carefully removed



Proposed North West Elevation

Hall to be carefully removed



Proposed South West Elevation

0m 1 2 3 4 5 10m 1:100

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client
STANLEY DEV. TRUST

LEEBOYD

6 Canaan Lane
Edinburgh, EH10 4SY

Tel : 0131 447 1818
Fax : 0131 447 8799
E.mail : design@leeboyd.com

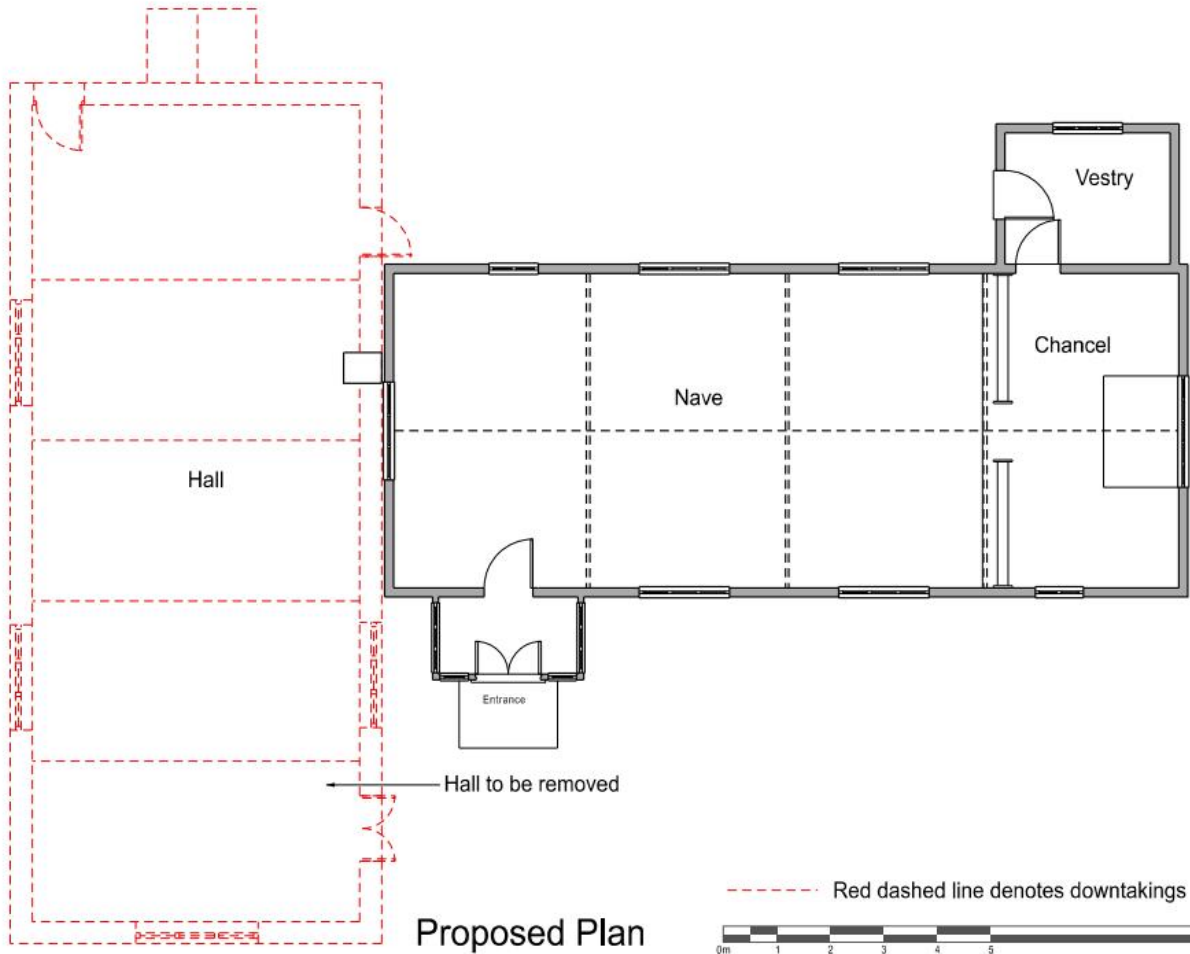
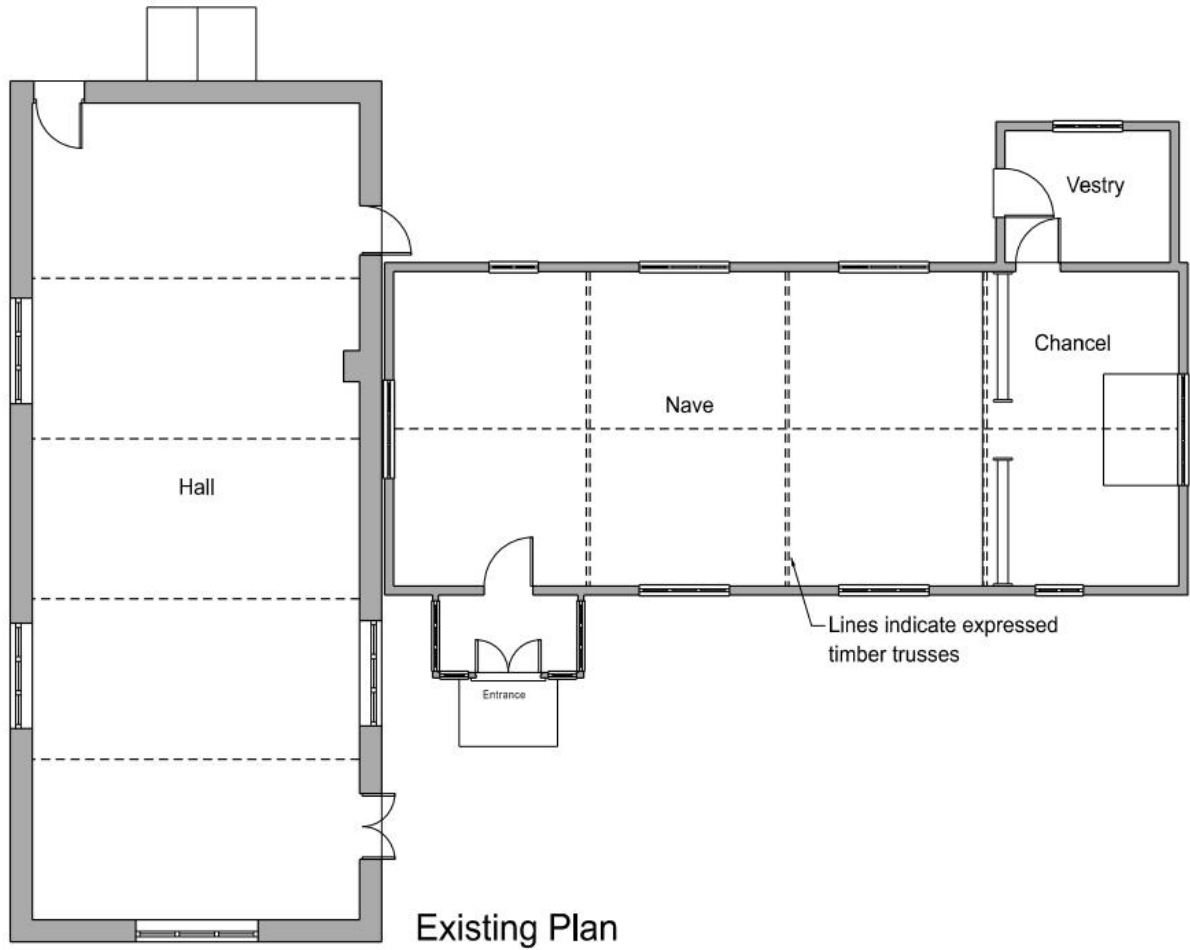
project
STANLEY COMMUNITY SPORTS CENTRE

drawing title
Proposed Elevations

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project
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drawing title
 Existing and Proposed Plans

6 Canaan Lane
 Edinburgh, EH10 4SY

scale drawn checked date
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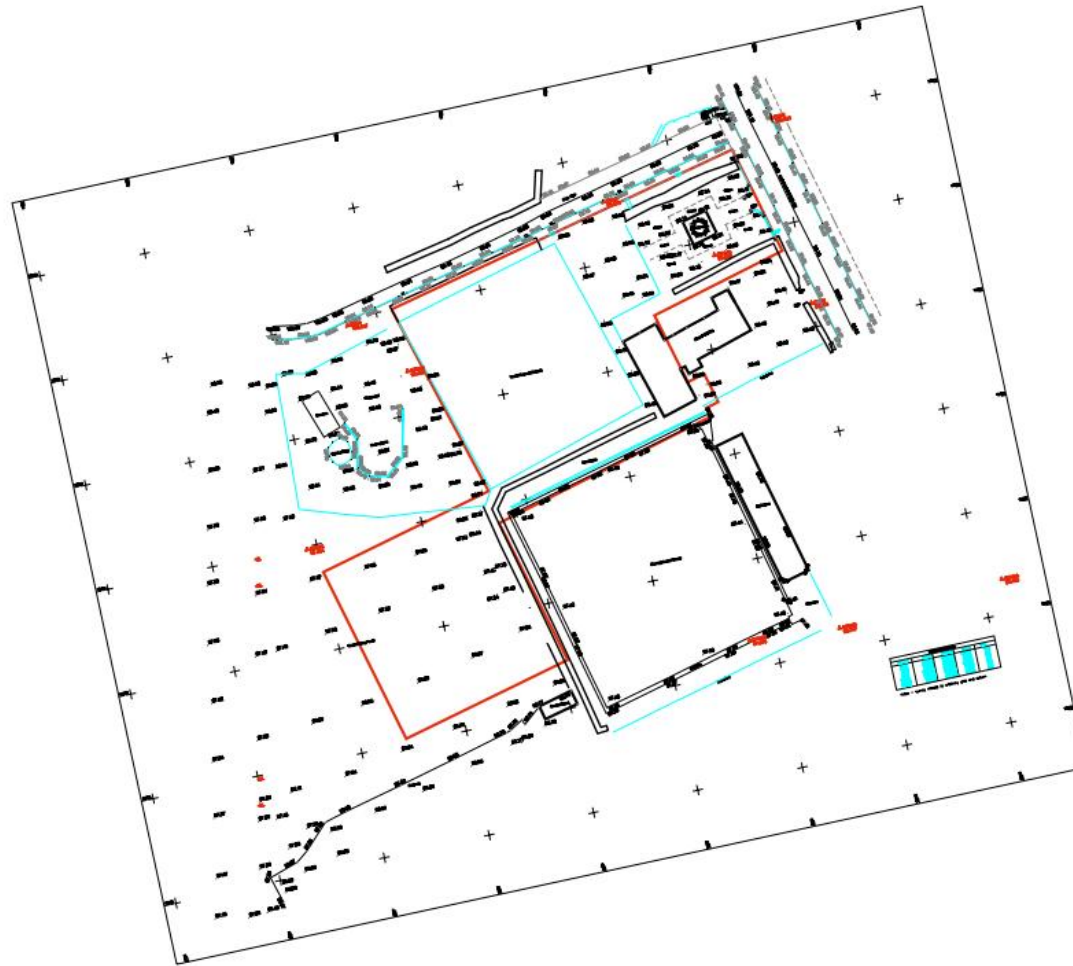
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SITE BOUNDARY



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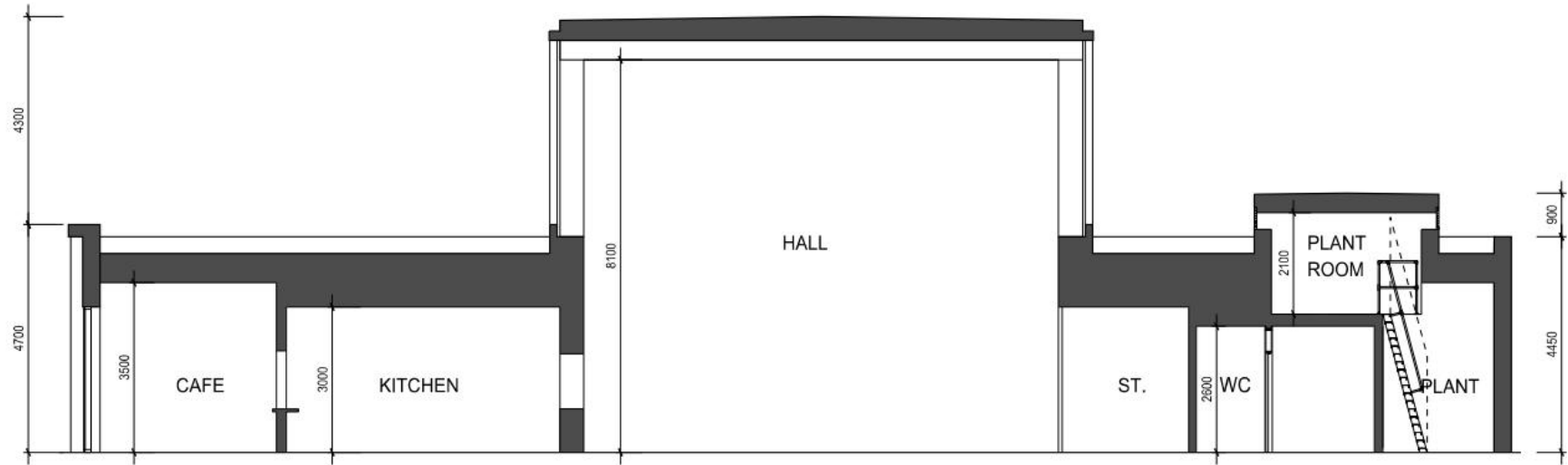
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client
STANLEY DEV TRUST
LEEBOYD
 6 Canaan Lane
 Edinburgh, EH10 4SY
 Tel : 0131 447 1818
 Fax : 0131 447 8799
 E.mail : design@leeboyd.com

project
STANLEY COMMUNITY SPORTS CENTRE
 drawing title
EXISTING TOPOGRAPHICAL SURVEY
 scale drawn checked date
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 project number drg no rev
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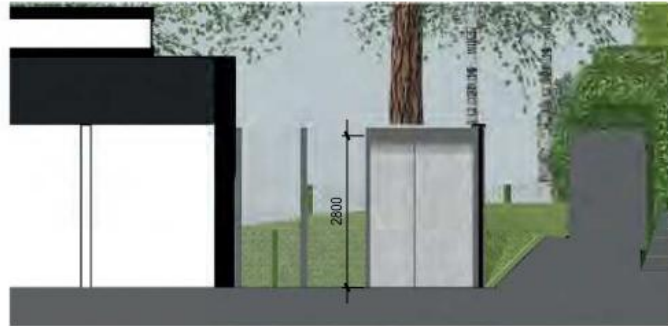
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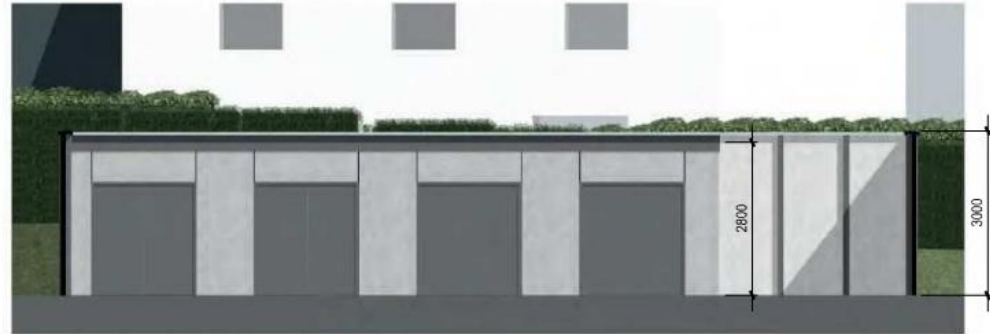
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client
STANLEY DEV TRUST
LEEBOYD
 6 Canaan Lane
 Edinburgh, EH10 4SY
 Tel : 0131 447 1818
 Fax : 0131 447 8799
 E.mail : design@leeboyd.com

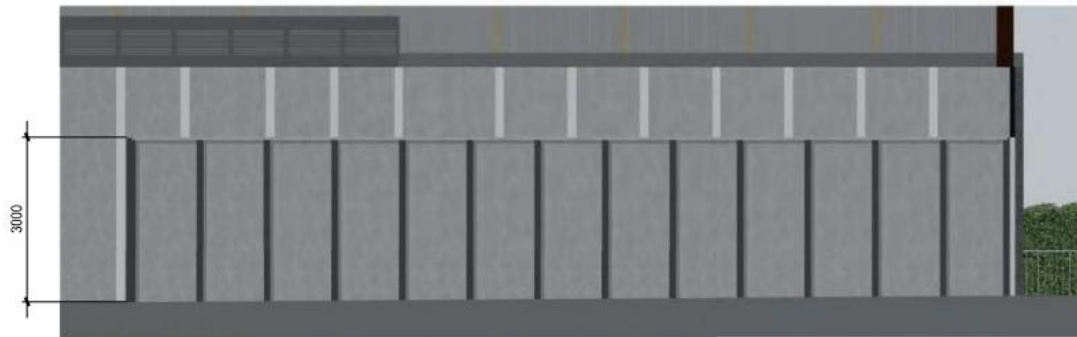
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 drawing title
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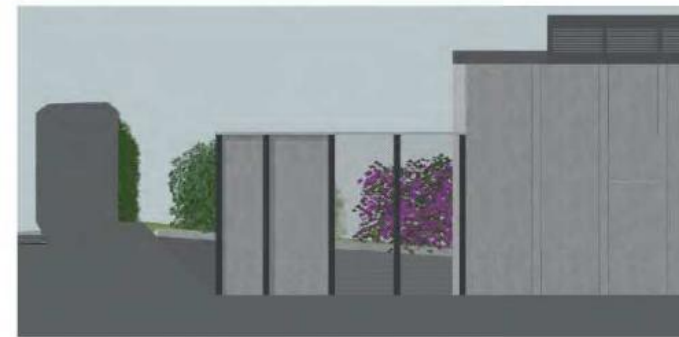
ELEVATION FROM CARPARK - EASTERN ELEVATION



FRONT ELEVATION - SOUTHERN ELEVATION



REAR ELEVATION - NORTHERN ELEVATION



ELEVATION FROM PLAYPARK - WESTERN ELEVATION



NOTE : ONLY SCALE FOR PLANNING PURPOSES

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client
STANLEY DEV TRUST

LEEBOYD
6 Canaan Lane
Edinburgh, EH10 4SY

Tel : 0131 447 1818
Fax : 0131 447 8799
E.mail : design@leeboyd.com

project
STANLEY COMMUNITY SPORTS CENTRE

drawing title
Proposed Storage Elevations

scale	drawn	checked	date
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project number	drg no	rev
1517	AL(PL)12	-

1.0 Introduction

A route to compliance study has been carried out for the proposed Community Sports Centre in Stanley, Perthshire to ascertain the design parameters required to achieve compliance with Section 6 of the Scottish Building Regulations and the subsequent requirements of local planning policy.

1.1 Compliance Targets/Planning Requirements

The project is required to meet the following targets:

- 2016 Scottish Building Standards Section 6 requires the Building Emission Rate (BER) to meet or better the Target Emission Rate (TER);
- Policy 32 of the Perth and Kinross Council (PKC) Local Development Plan 2 (2019) requires that all new buildings achieve a minimum 10% reduction of the current carbon emissions reduction set by Scottish Building Standards through the installation of Low and Zero Carbon (LZC) Technologies.

Comment will also be provided in relation to the following planning policies:

- Policy EP8 (LDP) and Policy 56 (LDP2) – potential noise pollution arising from the proposed services strategy. Indicative ventilation break-out noise sketch is included in Appendix A.
- Policy EP5 (LDP) and Policy 55 (LDP2) – potential nuisance from artificial light and light pollution. A draft external lighting layout including MUGA flood-lighting is included in Appendix B.
- Policy PM1 A and B (LDP) and Policy 1 (LDP2) – ensuring residential amenity is protected.

1.2 The Energy Strategy Approach

Harley Haddow have adopted a comprehensive strategy to address the energy and renewable technologies used on the scheme and how they will be adopted within the development.

The strategy follows the 'Lean', 'Mean' and 'Green' Energy Hierarchy approach in order to reduce overall energy consumption and demand.



Figure 1: Energy Hierarchy Approach

'Lean', measures consider further building fabric improvements - U-values and lower air permeability rates.

'Mean', measures consider energy efficient supply of energy, via efficiency plant, controls and lighting.

'Green', measures consider the integration of renewable (zero carbon) technologies.



Energy strategy calculations have been undertaken to assess carbon dioxide (CO₂) emissions and energy consumption to identify the most appropriate energy efficiency measures and low and zero carbon technologies.

1.3 Dynamic Simulation Modelling (DSM)

Dynamic thermal simulation is a sophisticated form of building energy modelling. IES Version 2019.1.0.0 DSM software has been used which is approved National Calculation Method (NCM) simulation software.

The software is able to base its performance calculations upon incremental time steps as low as 2 minutes. This allows realistic variations in fabric thermal storage (thermal mass effects), weather conditions, occupancy, internal and solar gains to be taken into account and their implications upon building/plant operation to be modelled effectively.

Dynamic thermal simulation uses zone specific operational profiles (occupancy, lighting, ventilation and DHW demand) and HVAC plant performance data to effectively model and predict the energy performance of a building.

This comprehensive approach is considered best practice for assessing building energy consumption.

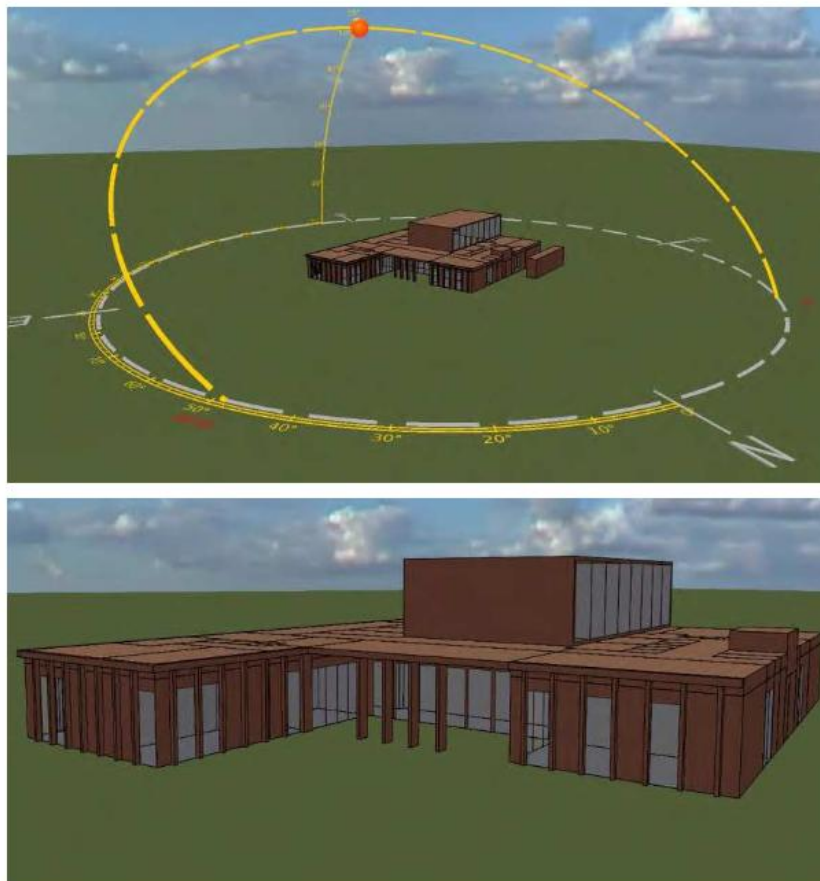


Figure 2: IES Model Images

1.4 Weather Data

To accurately model the dynamic nature of the buildings' thermal response, hourly recorded weather data is used in dynamic thermal simulations. Such weather data contains records of radiation, temperature, humidity, sunshine duration and additionally wind speed and direction.

A CIBSE Test Reference Year (TRY) for Glasgow has been used for this analysis as per the National Calculation Method requirements.

1.5 Operational Parameters

Building loads determine the heating and cooling requirements of a building. Generic zone types have been assigned a default NCM Operational Template, taken from the Activity Database, which describes these loads. Each of the NCM Operational Templates applies a fixed set of characteristics including:

- Operational hours and profile
- Occupancy densities and loads
- Minimum ventilation rates
- Small power loads
- Room conditions
- Domestic hot water loads

Solar loads vary daily and depend on seasonal and weather conditions, and will affect loads which are accounted for in the thermal modelling process, such as solar transmission, conduction and building heat transfer. These are represented in the model by virtue of the weather data file.

1.6 Limitations

This report has been prepared based on the latest architectural information received from Lee Boyd Architects (February 2020). Whilst the information used is taken from the concept drawings and documentation, the final performance will be dependent on the final commissioning results and actual operation of the building.

The Notional and Actual Building calculations use standard NCM operational parameters as required by the NCM rules. These do not match the intended 'Real' building usage exactly but allow a 'like for like' analysis under the Building Regulations. The results presented in this report are therefore not valid for 'Real' building operation.

1.7 Fossil Fuel Reduction

The Scottish Government aims to achieve net-zero carbon emissions by 2045. As part of this process, there will be policies put in place which will push new developments and existing buildings to move away from fossil-fuel based heating systems such as gas or oil. Potential alternatives will include electric solutions which will be supplied by an electricity grid which will have been largely decarbonised due to the significant contribution from renewable technologies onto the network. As a result, the use of an ASHP system is included in this analysis as a potential heating solution for the development to ensure an element of future-proofing in design.

1.8 Air Source Heat Pump (ASHP) Operation

ASHPs provide an efficient solution and a low carbon source of heating. These systems typically operate at lower temperatures than a traditional fossil-fuelled boiler solution therefore it is important that the installation is designed in conjunction with the distribution system throughout the building from the outset to ensure appropriate sizing of the underfloor heating configuration. The improved fabric performance parameters specified will help to reduce heat losses from the building and assist the ASHP system in being able to provide sufficient heating to the internal spaces to achieve a comfortable environment for building occupants.

2.0 Planning Considerations

2.1 Noise from Proposed Plant (LDP Policy EP8 / LDP2 Policy 56)

The proposed ASHP system would require the external siting of the heat pump units serving the building. It is noted that all plant equipment shall have an anti-vibration mount and shall be suitably isolated from the building structure supports in order to prevent the transmission of vibration and shall comply with BS 6472-1:2008 Guide to evaluation of human exposure to vibration in buildings Part 1 Vibration sources other than blasting. The noise and vibration from each item of plant or equipment shall be assessed and provisions shall be made for selection of quieter equipment where available or for reduction of noise through a specialist acoustic enclosure or similar means in line with local planning requirements. The detailed design and layout of equipment will need to be developed to make best use of orientation, position and location for noise control, giving cognisance to the acoustic screening effect that may be provided by other parts of the building fabric.

In general, an ASHP solution involves relatively quiet items of plant. A typical external unit would need to meet a noise limit of NR 55 or approximately LAeq,T (A-weighted equivalent continuous sound level) of 59 dB at 3m. This is equivalent to a limit of NR 65 or LAeq,T of 70 dB at 1m. As a general rule, the level will decrease by 6dB each time the distance from the source is doubled resulting in an estimated noise level from equipment for the nearest neighbouring buildings (approx. 10m away) of around 40-50dB which is equivalent to a noise source such as light rain or a quiet office. Normal conversation levels would typically be recorded as 60dB.

The other proposed items of plant which present a source of noise on the development are fans from supply and extract ventilation systems. The sound levels from these items of plant are projected to be minimal as indicated in the sketch mark-up included in Appendix A. However, this will be fully reviewed as the design progresses. Furthermore, odours and air quality issues would not be a concern as the proposed solution does not involve a combustion type heating source. It is noted that specific noise criteria for the site would be identified within an Acoustician's Noise Impact Assessment at a later stage of the project and all plant would be designed in accordance with this study.

2.2 Artificial Light and Light Pollution (LDP Policy EP5 / LDP2 Policy 55)

Harley Haddow have developed a draft external lighting layout for Stanley Community Sports Centre as shown in Appendix B which provides an indication of the potential impact of the installation of external lighting on the surrounding area and existing buildings. The lighting has been designed in accordance with current BSEN12193:2018(E) which indicates not less than 10lx average with not less than 0.25 uniformity for car parks; not less than 200lx with at least 0.6 uniformity for the MUGA which also can be used as Tennis Courts. Not less than 20lx average with 0.25 uniformity for pathways and perimeter areas. These lighting levels are set to provide sufficient lighting to each of the areas served.

The layout included in Appendix B shows that minimal light spill/pollution is created through the inclusion of the specified light fittings on the scheme. For example, the closest existing building to the proposed Stanley Community Sports Centre building would register a lux level of approximately 1-2 lux resulting from the proposed fittings which is negligible and would have minimal impact on the adjacent properties. The LDP references the Scottish Government's Guidance Note – Controlling Light Pollution and Reducing Lighting Energy Consumption (March 2007). The fittings specified on the draft lighting layout are efficient fittings and will help to minimise any of the five effects associated with obtrusive light as outlined in the Scottish Government document: Sky Glow, Light Presence, Glare, Intrusion and Flicker.

2.3 Residential Amenity (LDP Policy PM1a / LDP2 Policy 1)

The proposed energy strategy will help to ensure that the development meets and exceeds the minimum requirements of Section 6 of the Scottish Building Regulations and the subsequent requirements of Perth and Kinross Council to ensure an energy efficient solution can be incorporated which will help to mitigate carbon emissions and reduce the potential impact of the development on climate change.

The design of a low temperature system served by an ASHP provides a future-proof solution for the development. This type of distribution system could be adapted in the future for connection to a wider energy network such as a district heating scheme where the infrastructure is developed within the local area.

3.0 Design Parameters

Analysis has been carried out to determine the building regulations compliance result under Section 6 of the 2016 Scottish Building Standards.

The following design parameters have been included within the baseline model:

System	Performance Parameters
Glazing	Glazing: U-Value 1.4 W/m ² K Visible Light Transmittance 0.71 G-value 0.40; 0.28 to Hall (high-level)
Fabric	External Wall: U-Value 0.18 W/m ² K Roof: U-Value 0.15 W/m ² K Exposed Floor: U-Value 0.16 W/m ² K Doors: U-Value 1.6 W/m ² K
Air Permeability	Maximum 5m ³ hr/m ² @ 50Pa, tested and certified.
Artificial Lighting	Energy Efficient Lighting assumed generally: 2.5 W/m ² /100lux to Stores (auto-on-off) 2.5 W/m ² /100lux to Toilets and changing areas (auto-on-off) 2.5 W/m ² /100lux to Circulation areas (auto-on-off) 2.5 W/m ² /100lux to Offices and meeting rooms (man-on-auto-off) 2.5 W/m ² /100lux to Plantroom (man-on-off) 2.5 W/m ² /100lux to Entrance and Reception (man-on-off) 2.5 W/m ² /100lux to Café and Hall with addressable dimming daylight controls. Hall to have different sensor to front and back. Display Lighting to achieve 40 lumens per circuit Watt.
Ventilation	Enhanced extract ventilation via light switch - <ul style="list-style-type: none"> • kitchen, 30 l/s, SFP 0.4 W/l/s • toilets, 15 l/s per toilet, SFP of 0.4 W/l/s • changing, 6 ach, SFP of 0.4 W/l/s <p>Supply Ventilation with heat recovery to gym – SFP 1.2 W/l/s, 75% Heat Recovery efficiency.</p> <p>Natural Ventilation to all remaining rooms.</p>
Heating	Air Source Heat Pump (Seasonal Efficiency 3.5) to serve Underfloor Heating circuit throughout. Central time control, local temperature and weather compensation controls. Split AC system to Gym (Seasonal Efficiency 3.5). Central time control, local time and temperature controls.
Cooling	Split AC system (SEER 4.0) to provide cooling to the gym.
Power Correction Factor	>0.95
Domestic Hot Water	Air Source Heat Pump (Seasonal Efficiency 2.5) to serve building DHW. 1,500 litres storage assumed with 100mm factory fitted insulation.

Table 1: Calculation Inputs - Baseline Model

4.0 Results Analysis

4.1 Section 6 Compliance

The above design parameters noted in Table 1 give the following result:

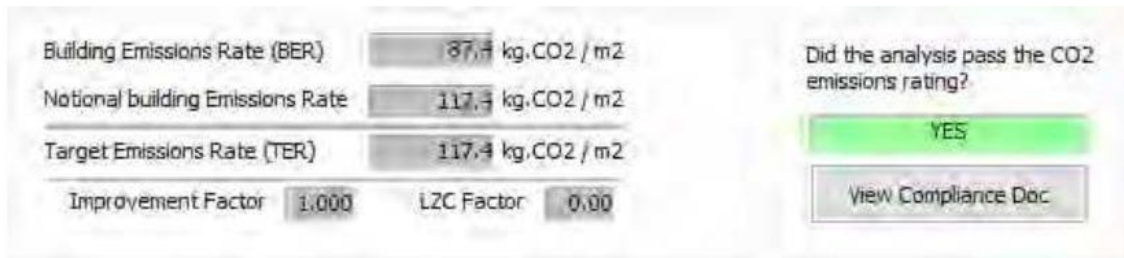


Figure 3: Route to Compliance Result Summary

Target Emission Rate (TER)	87.4 kgCO ₂ /m ²
Building Emission Rate (BER)	117.4 kgCO ₂ /m ²

The above is an improvement of the BER on the TER of **23%** which shows compliance with Section 6 of the Scottish Building Standards.

It has also been calculated that a **13%** reduction in carbon dioxide emissions is met by utilising an air source heat pump which is a low and zero-carbon generating technology (LZCGT). As the Perth and Kinross Council Local Development Plan requires a 10% reduction through LZCGT this target will therefore be achieved.

Once the above has been confirmed as the design strategy for the project, the submission of an Energy Statement will be required based on this study to be submitted to planning to support the planning application.

The supplementary guidance relating to renewable and low carbon energy is still being developed, however it is understood that the Energy Statement should detail the following:

- The types of equipment to be used;
- The scale of the equipment in relation to proposed buildings;
- Proposed location of equipment on-site;
- Any issues that the equipment is likely to raise (e.g. visual or in relation to the historic environment);
- The calculations which demonstrate compliance with Policy 32 of the Perth and Kinross Council Local Development Plan;
- Details of the viability of the installation of new, or connection to existing, District Heating/cooling networks.

4.2 Section 7 Sustainability

Section 7 Sustainability came into force from May 2011. This is essentially a building labelling scheme which covers new domestic and non-domestic buildings. The standard sets out to encourage developments to go beyond the minimum standards of sustainability required within the building standards, sections 1 to 6.

Section 7 is in addition to the current Section 6 requirements; an EPC etc. will still be required. The standard will provide a sustainability "label" to the building which will be required to be displayed prior to completion as per an EPC certificate.

The proposed measures for the building currently indicate that a SILVER Active rating would be achieved. In this case this has been achieved with the following:

- Air Source Heat Pump (ASHP)

4.3 EPC

An EPC rating of “F+” is predicted to be achieved.

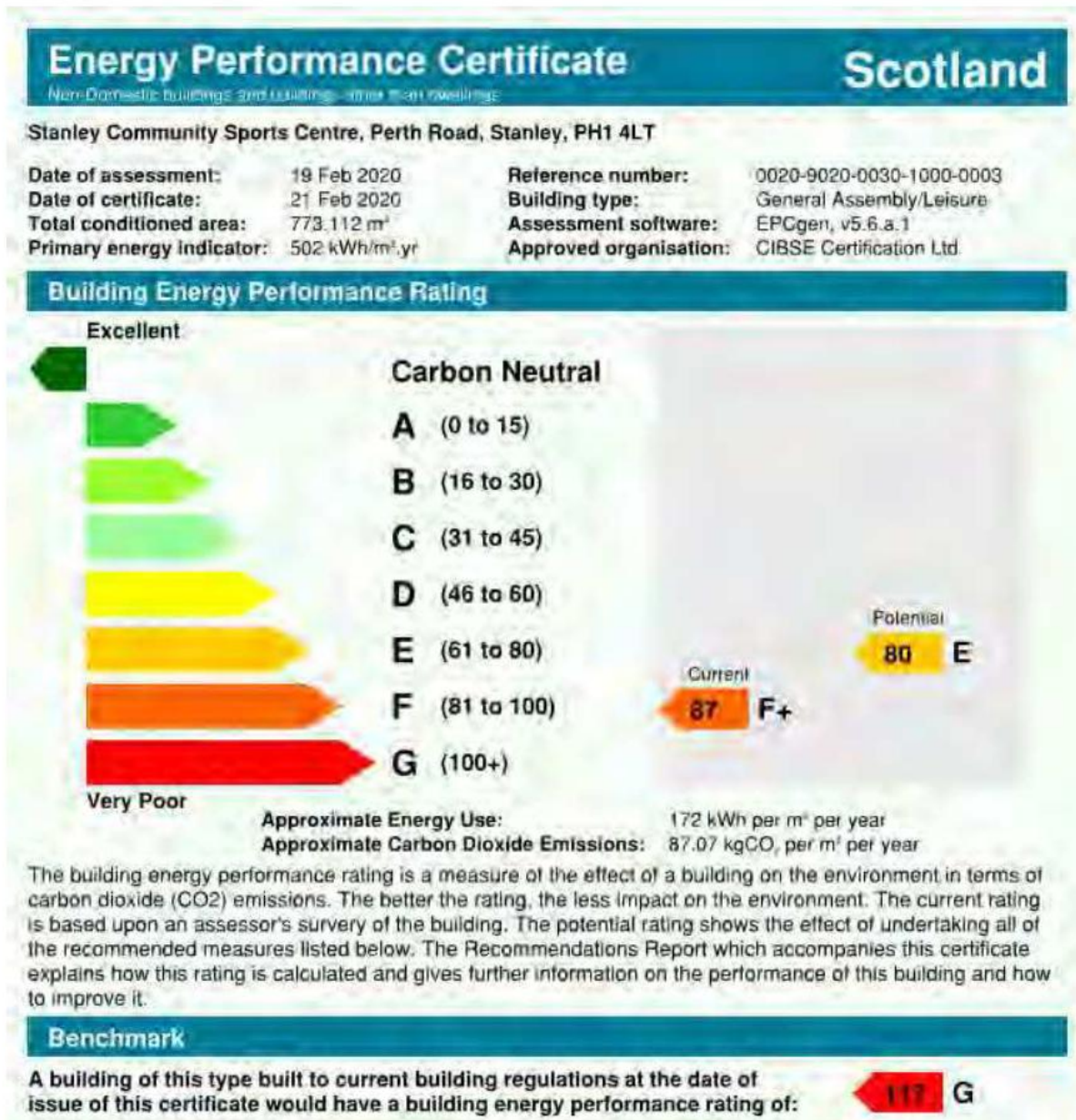


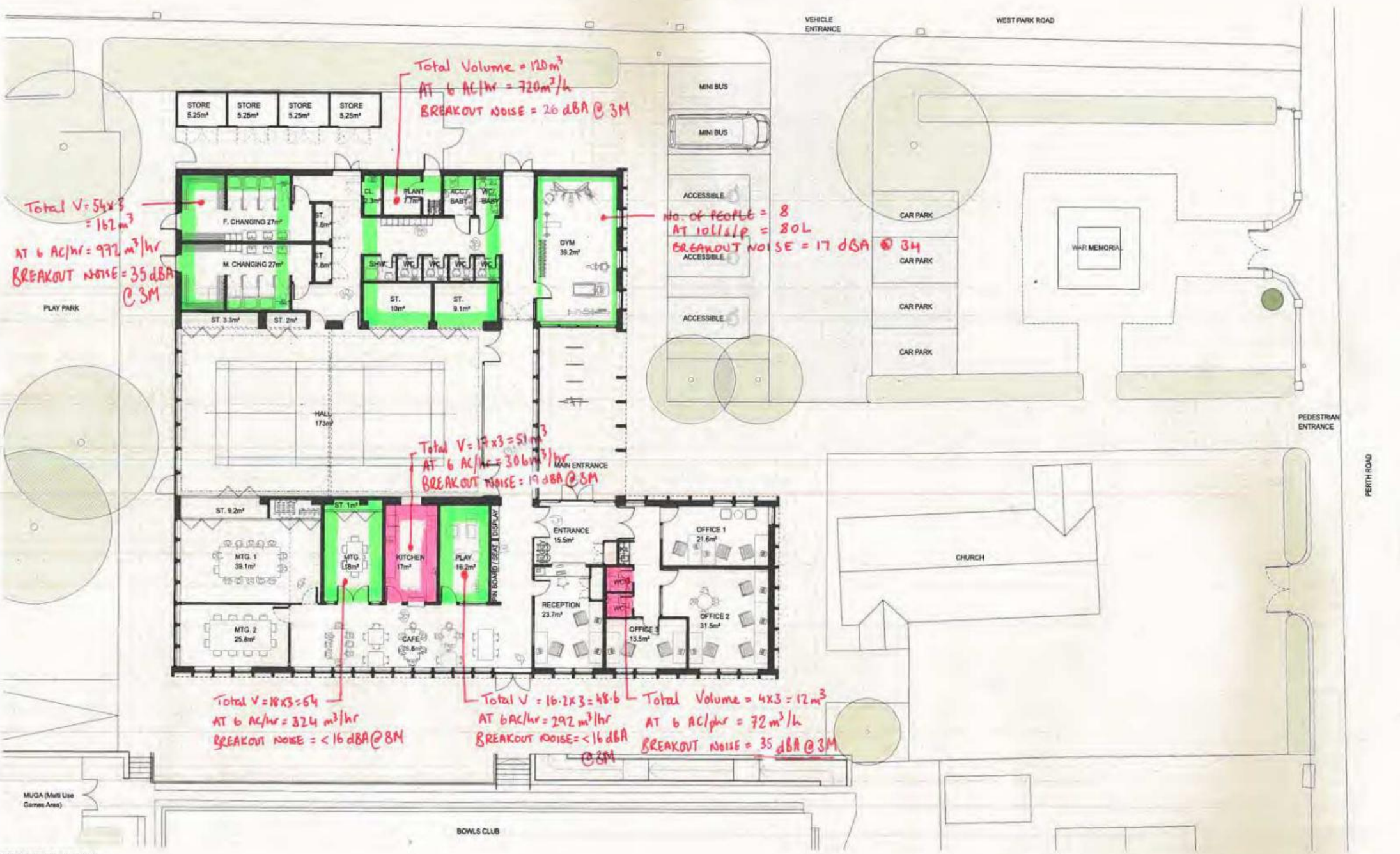
Figure 4: Predicted EPC Rating

Due to the Scottish EPC classification rating system and the classification of the building as a sports centre, the potential EPC for the building will be limited.

The EPC rating under the Scottish system is based on actual CO₂ emissions regardless of building type therefore a high energy use building will always show a poor result despite the introduction of energy efficiency measures.

A sports centre building is classified as having a high energy use due to a high hot water demand which directly impacts the achievable EPC rating.

Appendix A Ventilation Breakout Noise Sketch



PROPOSED FLOOR PLAN
1:100

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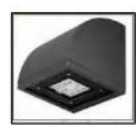
REVISIONS	NO.	DATE	BY	APPROVED

STANLEY DEV. TRUST
LEEBOYD
8 Carlson Lane
Edinburgh, EH10 4DY
Tel: 0131 447 1810
Fax: 0131 447 8788
E-mail: design@leeboyd.com

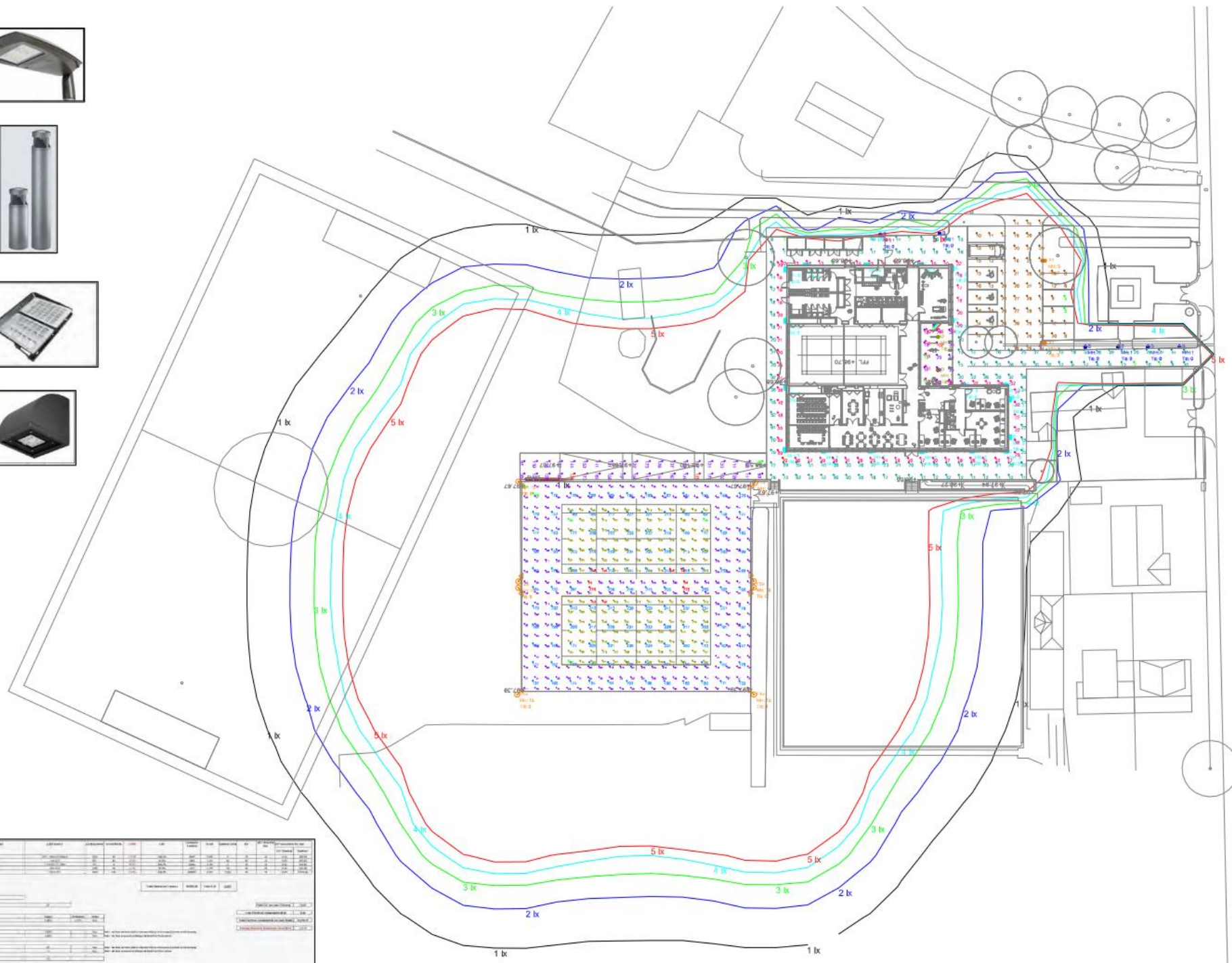
PRE APPLICATION
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Date: 24.09.2018
Project number: 1517
AL/SK104

Appendix B

External Lighting Layout



NO.	DESCRIPTION	QUANTITY	UNIT	DATE	BY	REVISION
1	Street Light	1	EA	10/20/2023	JM	1
2	Pole Mounted Light	2	EA	10/20/2023	JM	1
3	Rectangular Light	1	EA	10/20/2023	JM	1
4	Square Light	1	EA	10/20/2023	JM	1



Project No.	2023-03
Client	STANLEY COMMUNITY SPORTS HUB
Project Name	STANLEY COMMUNITY SPORTS HUB
Project Location	1000 Main Street, Stanley, NJ 07081
Project Date	10/20/2023
Project Status	Final
Project Manager	JM
Project Engineer	JM
Project Designer	JM
Project Checker	JM
Project Approver	JM



Community Enterprise

Title: Options Appraisal: Developing a Community Sports Hub in Stanley

Client Name: Stanley Development Trust

Date: August 2015

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01 Introduction

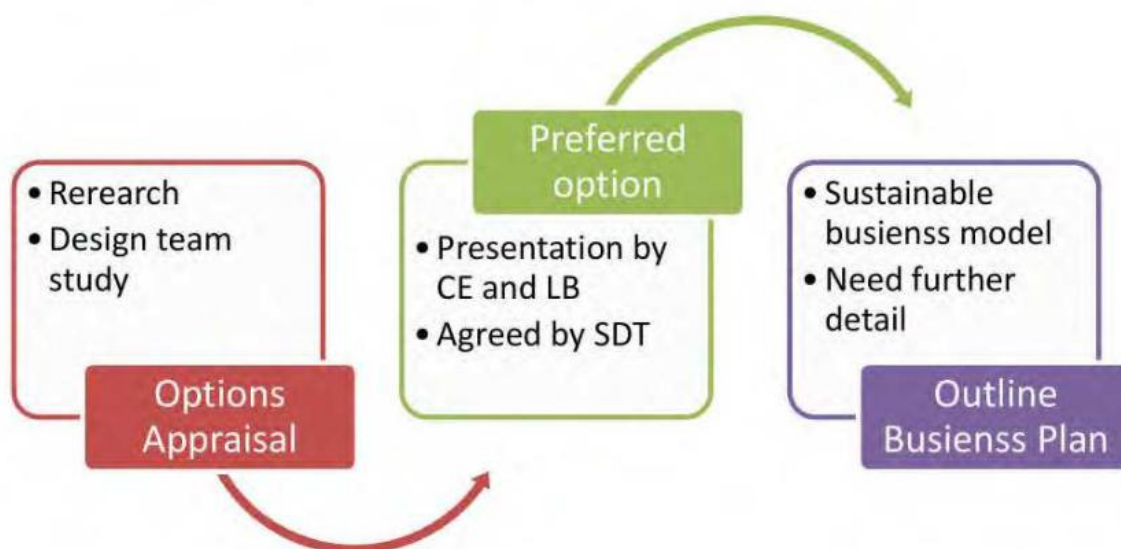
1.1 Preface

Stanley Development Trust is working with local groups to improve the quality of recreation and sport facilities available locally. The key clubs driving this forward (Stanley Bowling Club, Stanley Tennis Club and Stanley Socca) are keen to expand and grow their activity but poor facilities are a significant barrier to participation across all age groups.

The idea for a joint facility was first proposed in 2012 and a Steering Group was formed with representatives from the key clubs and Stanley Development Trust. A community survey was carried out the following year which attracted in the region of 230 responses. It evidenced that poor facilities were the main reason for non-participation in sport and active recreation locally and that there was a clear appetite for improvement. Following further community consultation, a master plan for the village was produced earlier this year in which development of a sports hub was again highlighted as a leading priority.

The Bowling Club and surrounds have been identified as the preferred site for development taking in the current tennis club, play park and football pitches and because of its proximity to the local primary school.

As part of the legacy of the Glasgow 2014 Commonwealth Games, Stanley Development Trust secured a £24,900 grant from Social Investment Scotland. The Trust has appointed a Community Enterprise Ltd together with Lee Boyd Architects to carry out a detailed needs analysis into this idea, work on options for the design of the facility and develop an outline business plan regarding the preferred option;



1.2 Scope

This report focuses on part one of the brief. Specific requirements of this study include to;

- Undertake an assessment of market potential for sport and leisure activities (including water sports) from a commercial and social perspective
- Create a design specification for a sports hub in relation to provision of services
- Undertake an assessment of the options available in relation to the proposed site
- Undertake an assessment of the viability of the preferred options (services, facility requirements etc.)
- Undertake an assessment of potential funding sources that could be secured to meet the costs of the site including development and capital costs.

1.3 Approach and Methodology

1.6 The study has been undertaken through a highly participative and development process as follows;

Stage	Description
Induction and Familiarisation	An initial meeting was held on site to discuss expectations from the assignment, to agree the approach to the work, and to gather detailed background information and contact details.
Information Gathering and Analysis	This involved a review of the background material and desktop research, focusing on the following: <ul style="list-style-type: none"> ○ A review of documentation gathered to date focusing on the objectives and activity of The Trust and other Steering Group members ○ A review of the economic and social profile of the area ○ A review of the policy context at the national and local level that underpins the objectives of the project
Case studies	Desktop research and analysis of: <ul style="list-style-type: none"> ○ Other similar services and facilities to explore a variety of operating models and identify challenges to overcome and factors for success
Consultation Programme	The consultation has involved engagement mainly with potential user groups but also with Stanley residents and those who work in the area providing sport, community and health based services. As well as analysis of previous research, consultation methods have

	<p>included;</p> <ul style="list-style-type: none"> ○ Open meetings ○ Stakeholder interviews ○ User Group Survey ○ Strategic Review ○ Funding Search ○ Review of existing facilities in the village
<p>Feasibility study and options appraisal</p>	<p>The final stages of the assignment involved drawing together the findings of the research and preparing this feasibility study.</p>

1.4 Findings

Findings are set out in detail in section 5.1. The following is a brief synopsis.

General Need	Sports Need	Governance	Technical issues	Funding	Viability	Scale
<ul style="list-style-type: none"> <input type="checkbox"/> Limited deprivation <input type="checkbox"/> Growing population <input type="checkbox"/> Youth and Family <input type="checkbox"/> Many small groups <input type="checkbox"/> Learning 	<ul style="list-style-type: none"> <input type="checkbox"/> Strategic support <input type="checkbox"/> Existing activity <input type="checkbox"/> Small number of new groups <input type="checkbox"/> freerunners/cycling <input type="checkbox"/> Not Water sports 	<ul style="list-style-type: none"> <input type="checkbox"/> Consider merger <input type="checkbox"/> Strong staff team 	<ul style="list-style-type: none"> <input type="checkbox"/> Parking <input type="checkbox"/> Access <input type="checkbox"/> Church hall <input type="checkbox"/> Neighbours 	<ul style="list-style-type: none"> <input type="checkbox"/> Max £2m <input type="checkbox"/> Easier if not solely sport <input type="checkbox"/> Challenging 	<ul style="list-style-type: none"> <input type="checkbox"/> Low appetite to pay <input type="checkbox"/> Limited other groups <input type="checkbox"/> Diversification 	<ul style="list-style-type: none"> <input type="checkbox"/> Merge Village Hall <input type="checkbox"/> Merge Church Hall <input type="checkbox"/> Local sensitivities

1.5 Options Appraisal

Evidence from the community and user groups demonstrates a demand for a community hub focussed on sport and well-being, but one that will need to be stimulated. There is a need to provide a wide range of activities and services not accessible locally and the likelihood that this demand will increase with a fast growing population.

Option 1 : Basic	
A small upgrading of the existing site to improve the bowling and tennis facilities.	
Pros	Cons
<ul style="list-style-type: none"> ○ Easy site to develop – no major ownership issues ○ No serious impact on immediate neighbours ○ Planning permission should be easy to achieve ○ Provides focus and clarity ○ Can be operated with minimal staffing and running costs so more likely to be sustainable. ○ MUGA can attract new sports and informal games 	<ul style="list-style-type: none"> ○ Expensive for what is being proposed ○ Limited social space limits community impact ○ Scale of the building restricts income generation ○ Focus on sport limits funding options ○ Offers better premises for existing activity only. Little to recommend it to impact based funders
Recommended Action	
We do not recommend this option	

Option 2 : Interesting	
Similar facilities for bowling, tennis and MUGA, but increased space for community use and more service users.	
Pros	Cons
<ul style="list-style-type: none"> ○ Inspiring, and ability to lift the community's sense of aspiration ○ Can accommodate more groups and 	<ul style="list-style-type: none"> ○ Can't replicate all activity that happens in the village hall and church, though some can be accommodated

<ul style="list-style-type: none"> more activity ○ Cost not significantly different from option 1 ○ Potentially fundable within the funding strategy parameters 	<ul style="list-style-type: none"> ○ Village Hall, Reid Hall and church would continue to struggle ○ Not possible to have larger community events, family parties, seasonal events etc
Recommended Action	
We recommend that if this option is considered, it should be expanded slightly as there is a need for more space and some lee-way in the funding potential.	

Option 3 : BOLD	
This is an ambitious model, involving sale of the Village Hall site, absorption of the Episcopal hall into the development and accommodation of Reid Hall users when that facility becomes unusable. This option is for a place based multi-use centre, with a health and well-being element rather than a sports centre with community add-ons.	
Pros	Cons
<ul style="list-style-type: none"> ○ A long term visionary project ○ Address long debated issues with the condition of other facilities in the village once and for all ○ Creates a cohesive project, drawing all local groups into a single vision with external groups bringing financial sustainability ○ Though there are many challenges, there is an appetite amongst partners to collaborate ○ Can perhaps be done in a phased way 	<ul style="list-style-type: none"> ○ Too expensive and potentially un-fundable ○ Likely to require increased staffing and therefore puts pressure on sustainability ○ Difficult negotiation with local partners, all of whom have complex issues that may be impossible to resolve. Risk is that a lot of time can be wasted.
Recommended Action	

02 Development Context

2.1 Current Club Situation

Grass football pitch

FA standard, adult pitch is too large to fit on existing area.

Need to decide/agree on appropriate size for Stanley Socca's needs/aspirations.

P&KC undertake grass cutting of current pitch - assume they would continue to do so for new pitch.

Current membership and aspirations of new facilities

Tennis Club:

Current membership - 25 members, including juniors.

Anticipated membership – 40 to 50 members by attracting new members from existing population of Stanley and neighbouring villages. Stanley families currently use courts in Bankfoot. No tennis courts in Murthly.

Aspirations: to return to Strathmore League (left this year), have internal leagues, and casual use too.

Stanley Socca:

Current membership: 16 players (under-17's) - one team.

Aspirations: to have separate age teams.

Full size pitch could be split into up to 4 sections for training.

Bowling Club:

Currently membership - about 40 members with 15-20 children attending coaching each week.

Aspirations: with better facilities and increased population in village, anticipate this increasing.

MUGA/surface and bowling green

Different types of MUGA are available, some are better suited to some sports than others. Steering group will need to decide on which surface is best suited to accommodate the main users' needs.

Stanley Socca: would use MUGA for 5/7 aside football.

Tennis Club: requires 2 tennis courts, especially to play in Strathmore League. Floodlit. (Need to engage with neighbours early regarding lighting of MUGA). Club wants low

maintenance option for surface. Club is open to MUGA being used for 5/7-aside football, basketball, and netball (school and community use).

Option 1 is to have MUGA on site of existing tennis courts.

Option 2 is to have MUGA on playing field land. (This option includes gym.)

Stanley Primary School head teacher is supportive of plans for community sports hub.

Bowling Club: bowling green as at present is required. Same size, same position.

Patterns of use

Tennis Club: before recent changes this was the situation:

Friday night is club night.

Every 2nd Tuesday is League match.

Coaching session – twice a week.

Stanley Socca:

Sunday League (within P&K).

3rd Tuesday and Thursday.

Use for training.

5-a-side league.

Bowling Club:

Used mainly during playing season, April till September. Green is used on Mondays and Thursdays for Perthshire and Scottish games for other clubs that need a neutral green.

Use of indoor facilities over winter months required for social events, meetings, carpet bowls, and other one off activities.

Storage

Tennis Club: Equipment – nets, posts, rackets for juniors. Patio furniture.

Stanley Socca: Line marking equipment, nets, fold-away goals, balls.

Bowling Club: Green keeping equipment – mower, feeding machine, general gardening equipment.

Security / management

Security of MUGA – locked gates.

Pay as you go for flood lights / MUGA.

Changing facility preferences

Tennis Club: require separate male and female changing. Showers. Individual lockers for use on the day (only).

Stanley Socca: require home and away team changing. Showers. Space for officials.

Bowling Club: need a locker room to accommodate the storage of member's bowls and other equipment. Changing facilities are required, mainly for changing shoes. When they are holding larger games, full changing facilities are required, preferably separate.

Social activities / space

Tennis Club: would do more social and fundraising events if they had better facilities. Happy to share social space with other clubs/groups.

Stanley Socca: would continue to have social and fundraising events.

Bowling club: definitely require bar facilities as these are used at all games. They have an annual presentation dance and various social nights throughout the year. They hold charity events, parties, dances etc.

Need flexible accommodation to meet various sizes of events.

Spectators

Tennis Club: have few spectators.

Stanley Socca: can have up to 30 cars and people.

Bowling Club: a viewing area indoors would be helpful, as well as seating around the green. Their visiting teams number between 10 – 24 players, plus guests. Usually travel by car, but occasionally for bigger games, a coach would need to be accommodated. They use the public car park at present and see no reason why that couldn't continue.

Access

Tennis Club owns the grass verge adjacent to West Park path. Tennis Club may have a 'right of way' across path. Need to determine the legal position.

2.2 A Snapshot of the Local Area



2.3 Social and Economic Context

As part of the study, an assessment of local needs has been undertaken with reference to the main social and economic issues within the local area. The following provides an overview of the key features and issues. Statistics have been drawn from a range of sources and where appropriate, comparisons have been made with local authority and national levels to contextualise the findings.

SIMD¹

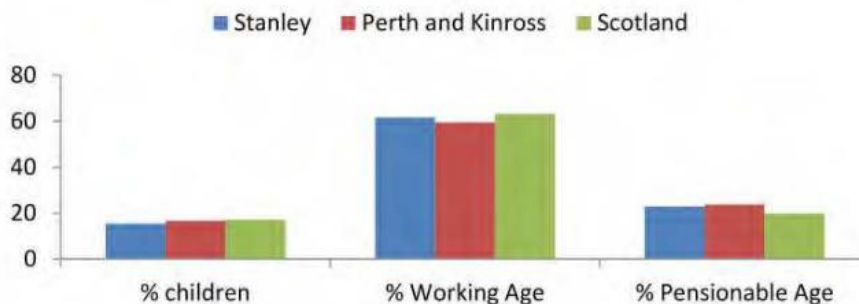
Stanley is located in rural Perthshire, approximately 7 miles north of Perth and forms part of the wider Stanley and Murthly Intermediate Geography area.² The village comprises two data zones:

- S01005105 in the south encompassing lower Perth Road and up to James Street and East Brougham Street and Mill Bank in the West. The area ranks 3,828 out of 6,505, scoring relatively well across all indicators. In 2004 however, the same datazone ranked 4,577 demonstrating an increase in its share of deprivation over time.
- S01005106 in the north taking in Mill Street and upper Perth Road. The area ranks 3,247 similar to S01005105 suggesting some consistency in deprivation share across the village. This ranking has remained fairly static over the last 10 years. It scores fairly well across all indicators but dips in the education indicator with a ranking of 2,041.

Population and Households

- The catchment area has a population of just over 1,300 according to 2013 data.³ Compared with the national average, there are slightly more people of pensionable age (22.9% v 19.81%) and fewer children and people of 'working age.' Within the working age population bracket, the largest group are 45-59 year olds (22%). Stanley has lower than average ethnic diversity: 68% of Stanley residents identify as being Scottish only (compared to 62% nationally) and 86% as white Scottish (compared to 84% nationally).

% Population

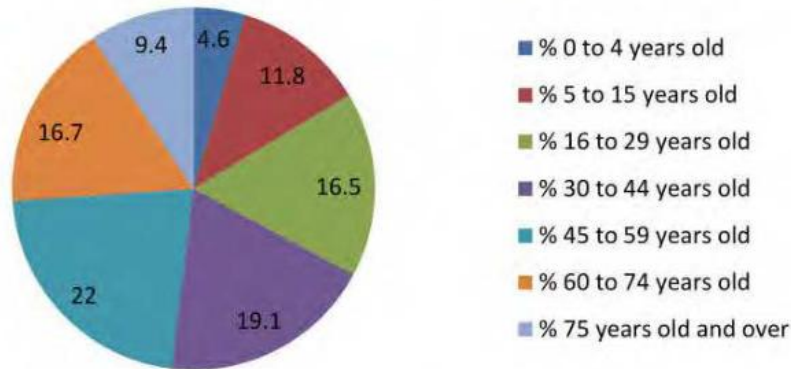


¹ The Scottish Index of Multiple Deprivation (SIMD) is the Scottish Government's official tool for identifying places in Scotland suffering from deprivation. It incorporates different aspects of deprivation, combining them into a single index. It divides Scotland into 6,505 small areas, called datazones, each containing around 350 households. The Index provides a relative ranking for each datazone, from 1 (most deprived) to 6,505 (least deprived). By identifying small areas where there are concentrations of multiple deprivation, the SIMD can be used to target policies and resources at the places with greatest need.

² SIMD Intermediate Zone S02000975 (Stanley and Murthly data zones S01005105, S01005106, S0100107, S01005108 and S01005109).

³ Scottish Neighbourhood Statistics

Stanley Population Breakdown



- Perth and Kinross has the third highest population increase projection over the next 25 years with a growth of 24%. The age group that is projected to increase the most is the 75+ age group. The population aged under 16 in Perth & Kinross is projected to increase by 26% over the 25 year period.⁴
- Statistical data reports that there are 676 households in Stanley.⁵ 61% of households are owner occupied- lower than the local authority average of 66% and national average of 62%. 17% of dwellings are rented from the Council and a further 9% are social rented. The percentage of households with too few rooms per residents is much lower at 4.9% v 9% nationally.²
- The average household consists of 2.1 people compared to 2.2 nationally. Household composition data records that more than 35% of households are occupied by one person; 36% by two people and only 15% are occupied by four people or more.⁶

Economic Activity and Worklessness

- The Census recorded that of all people aged between 16-74 in Stanley, over 73% (738) were economically active compared to the national average of 69%. 42% were recorded as being in full time employment compared to 39% nationally.⁷
- Employment deprivation is lower compared to the national average at 11.5% compared with 13%.⁸ The average age of an unemployed person is 29.5 years compared to the national

⁴ Source: National Records for Scotland: Perth and Kinross Council Area

⁵ Source: Census 2011 (Stanley)

⁶ Source: Census 2011 (Stanley)

⁷ Source: Census 2011 (Stanley)

⁸ Source: Scottish Neighbourhood Statistics

average of 33.⁹ The unemployment level among young people (16-24) is significantly higher at 52% compared to 30% nationally.¹⁰

- Income deprivation is lower than the national average at 12% (compared to 13%) but higher than the local authority area at 9%.¹¹
- Active travel to work is significantly lower in Stanley with 73% of people using a car compared to 62% across Scotland and only 4% walking compared to 10% nationally.¹²

Education and Skills

- According to the census 2011, 29% of people over the age of 16 have no formal qualifications compared to 27% nationally. The percentage of households where no person aged 16 to 64 has a highest level of qualification of Level 2 or above is 51% in Stanley compared to a national average of 47%.¹³
- According Nomis for 2014, the rate of those having no qualifications for Scotland is 9.4% and P & K 7.3%.
- 9% are described as being in senior management/director positions in Stanley compared to 8% nationally. Only 13% were classed as being in professional occupations compared to 17% across Scotland. 15% were classed as being in skilled trades compared to 13% nationally.

Health

- Stanley scores significantly better than the Scottish average against a range of health indicators including¹⁴:
 - life expectancy of both males (79 v 75 for Scotland) and females (84 v 80)
 - patients hospitalised (65+) with multiple conditions
 - patients prescribed drugs for anxiety and depression (6% v 10%)
 - patients hospitalised with drug and alcohol related conditions
 - patients with COPD and patients with cancer
- Stanley has a lower percentage of economically inactive people aged 16-74 who are long term sick or disabled (12% compared to 17% nationally). Percentage households with carers is also lower at 15% v 16%. The average age of a person with good or very good health is

⁹ Source: Scottish Neighbourhood Statistics

¹⁰ Source: Census 2011 (Stanley)

¹¹ Source: Scottish Neighbourhood Statistics

¹² Source: Census 2011 (Stanley)

¹³ Source: Census 2011 (Stanley)

¹⁴ Source: ScotPHO – Health and Wellbeing Profiles 2010 (Stanley and Murthly). Note: sporting participation levels are recorded down to local authority level only

higher at 38.9 years compared to 36.2 nationally. According to the last Census, % of people limited by disability 'a lot' was 8% v 10% nationally.¹⁵

- Sporting participation figures for Stanley are unavailable, but at a local authority level, statistically Perth and Kinross is in line with the Scottish average.

Geography and Access

- Despite being located rurally, Stanley is well connected in terms of services with the main town of Perth 7 miles away. Locally, it has its own post office and primary school.

Children and young people

- For Perth and Kinross CHP the rate of alcohol-related hospital admissions in children and young people is significantly lower than the Scottish average. Drug-related admissions rates are similar. Using a small sample of 15 year olds, it is estimated that the prevalence of smoking, alcohol use and drug use is not significantly different from Scotland.¹⁶
- The proportion of children in primary 1 with no obvious dental decay experience is 70%, which is significantly greater than the Scottish average of 62%. This is a good indicator of dental health and a useful proxy for general health and nurture. Child obesity levels are similar to Scotland as a whole. Teenage pregnancies are lower than the Scottish average.
- There are 173 school aged children in Stanley. Average tariff score at S4 is slightly lower than the national average at 190.5 compared with 193 nationally.¹⁷ The percentage of 16-17 year olds in education (ie continuing at school from S4 onwards) is much lower than the national average at 58% compared to 80% nationally.
- According to a survey of Stanley Primary School pupils in 2013, 64% of children reported no chronic health problems, which was lower than the reported figure across Perth and Kinross and lower than the reported average figure in the local school cluster. Children's engagement with the school was higher than the average across Perth and Kinross, but the ability to 'regulate their emotions' was lower than average.¹⁸

Development of new housing

- The current Perth and Kinross Development Plan identifies Stanley as having land for residential development and has proposed the development of 280 new, two, three and four bedroomed houses by 2024. This will represent a significant expansion in the local population likely altering the profile of the area considerably over the next 10 years as well as placing increasing pressure on existing infrastructure. The primary school, for example, is expected to at least double its intake to over 200 pupils. The proposed development sites are located north, south, east and west of the current village footprint.

¹⁵ Source: Census 2011 (Stanley)

¹⁶ Source: ScotPHO – Children and Young People Health and Wellbeing Profiles (Perth and Kinross)

¹⁷ Source: Scottish Neighbourhood Statistics

¹⁸ Source: Evidence2Success (UK) Stanley Primary School Survey Findings

2.4 Policy Context

As part of the review, consideration has been given to the wider policy context and how the Sport hub and associated activities could contribute to the strategic priorities at both the local and national level. A summary of the key policy drivers which underpin the proposal are as follows;

- **Scottish Government’s Overarching Purpose** - The overarching purpose of the Scottish Government is to focus services on creating a more successful country with opportunities for all of Scotland to flourish. The delivery of public service and resources is underpinned by the National Performance Framework (Strategic Objectives, National Outcomes and National Indicators). Strategic objectives include improving health, opportunities for lifelong learning, creating safe and strong communities, and improving the built environment. A new sporting hub will facilitate the following benefits in particular;
 - ✓ *Improved life chances* – the hub will create opportunities for lifelong learning and participation in a wide range of activities to increase skills and confidence. Increased participation in sports and community based activity will lead to improved health and wellbeing.
 - ✓ *Better connected community*– a hub could be a place for people and groups to come together, share experiences and achievements and develop the capacity needed to address challenges.
 - ✓ *Better services* - A hub will improve access to local services and contribute to a better built environment by replacing facilities which are no longer fit for purpose.

Scottish National Outcomes – of the 15 National Outcomes, those that the proposed Sports Hub development aligns with best are:

Scotland’s National Outcomes	How a Sports Hub could help to achieve these
We realise our full economic potential with more and better employment opportunities for our people.	We will create volunteering opportunities and paid jobs with this development. We aim to introduce employability schemes within this hub.
We live longer, healthier lives.	Through the various activities on offer we will encourage all age-groups to take more exercise by offering a variety to suit most abilities. We will work with Stanley Primary School to increase their offering of physical education activities.
We live in well-designed, sustainable places where we are able to access the amenities and	This development will react to the needs of the local community as identified through the Sports Survey and Masterplan Consultation conducted in 2013 and 2015

services we need	respectively.
Our young people are successful learners, confident individuals, effective contributors and responsible citizens	Access group and team activities, we will encourage our young people to work together to gain confidence whilst enjoying physical activity.
We value and enjoy our built and natural environment and protect it and enhance it for future generations.	This development will consider the natural environment and offer activities linked to those already enjoyed such as white water rafting, river kayaking etc.
We reduce the local and global environmental impact of our consumption and production.	The development will, where possible, include environmental building techniques and materials as well as making use of renewable energy initiatives.
Our public services are high quality, continually improving, efficient and responsive to local people's needs	This development is as a direct result of recent community consultation and we will ensure through evaluation, that we continue to improve services and offer what is needed by people of all ages and abilities living in our local community.

- Community Empowerment and Asset Ownership** -The Government has recognised that community empowerment is a key element in helping to achieve a more successful Scotland and in delivering shared outcomes. The Community Empowerment and Renewal Bill seeks to give more control over decision making and transfer ownership of local assets to community or 'anchor' organisations (such as Development Trusts) so that services can be run by and for the benefit of local communities.

 - ✓ A community / sports hub will be a vehicle for increased confidence and skills amongst local people; higher numbers of people volunteering in the communities and higher levels of satisfaction with quality of life in the local neighbourhood.
- Rural Regeneration** - The Scottish Government is committed to supporting rural life, rural communities and the rural economy. It set up the *Rural Development Council* to consider how best rural Scotland can contribute to the creation of a more successful country ('Speak Up For Rural Scotland'), through increasing sustainable economic growth. The Council's recommended priorities include *the promotion of Development Trusts and social enterprises* as a means to increase community participation and *increase business skills* to boost the rural economy and create jobs.

 - ✓ The Hub will increase community participation by providing a venue for the community to come together, to take part in activity, provide social interaction and physical and

mental health benefits. It will contribute to the local economy through its enterprise activities and provide jobs locally.

- **Health & Wellbeing**– As part of its social policy framework to reduce poverty and inequalities, the Government’s Equally Well policy seeks to improve health and wellbeing for all. It recognises the importance of community empowerment to address local needs but also the key role the third sector has to play in delivering innovative and inspired ways of supporting people.
 - ✓ The Hub will find ways to reach deep into the community through strong, inclusive partnership working and innovation. It will involve and empower local people with multiple needs, whom universal services sometimes find hard to reach. It will remove barriers to participation through easily accessible, multi-purpose facilities.
- **Sport** - The over-arching policy objective in sport is to make the population more active. There is a physical activity National Indicator, which reflects the importance the Scottish Government places on physical activity. Two key groups have been identified as furthest away from the Scottish Government physical activity targets – teenage girls and older adults. The national agency SportScotland recognises the importance of opportunities for all in sport, regardless of background, the importance of community led sports initiatives and of volunteer input.
 - ✓ The sports hub will provide equal opportunities to participate in sport, from grass roots to high performance and will be open to all ages and backgrounds. It aims to encourage people to get more active and will provide a wide range of sporting and leisure activity to suit different interests and fitness levels.
 - ✓ The hub will provide a raft of opportunities for volunteers who will in turn provide a vital role in encouraging and supporting people to get more active.

Vision: A More Active Scotland

Physical activity is about getting people moving. Daily walking, playing in a park, going to a gym, training with a team or aspiring to win a gold medal - it really doesn't matter how people get active, it just matters that we do.

Being physically active contributes to our personal, community and national wellbeing.

Our vision is of a Scotland where more people are more active, more often.

National Outcomes

Business	Employment	Research and Innovation	Young People	Early Years	Healthier	Inequalities Tackled	Life Chances
Safe from Crime	Sustainable Places	Resilient Communities	Environment Valued	National Identity	Impact on Environment	Older People Supported	Public Services

Active Scotland Outcomes

We encourage and enable the inactive to be more active	We encourage and enable the active to stay active throughout life	We develop physical confidence and competence from the earliest age
We improve our active infrastructure – people and places	We support wellbeing and resilience in communities through physical activity and sport	We improve opportunities to participate, progress and achieve in sport 

Regional Policy

Perth and Kinross Council views sport and active recreation services as an essential element in ensuring and developing the quality of life of people and as central to delivering the Council's vision for the area. It's 'Strategic Framework for Sport and Active Recreation 2011-2015' focuses on widening participation, developing people, places and organisations, and providing pathways and improving performance.

- ✓ The Hub will deliver these aims by providing encouragement, support and opportunities for more members of the community to become involved in sport and recreation.
- ✓ It will act to nurture talent by providing an important venue to train, compete and celebrate success.
- ✓ It will be a mechanism for improving the capacity of local organisations by increasing membership and breadth of activity.

- ✓ It will develop Stanley's sporting links to the 'outside' by becoming a water sports base for visitors and as a place to hold a range of sporting events attracting people from outside the village.

- **Perth and Kinross Single Outcome Agreement** - The Single Outcome Agreement (SOA) sets out the key local outcomes that the Community Planning Partnership is committed to achieving for the people and communities of Perth and Kinross. It builds on the strategic direction of, and commitments within, the Perth and Kinross Community Plan (2006 - 2020) and is integral to delivering priorities for the area. The Hub proposal will deliver on 13 out of the 15 outcomes;

- *Our area will have a thriving and expanding economy*
- *Our area will provide well paid employment opportunities for all*
- *Our people will be well skilled and trained*
- *Our young people will attain, achieve and reach their potential*
- *Our children are nurtured and supported and have the best start in life*
- *Our communities and people experiencing inequalities will have improved quality of life, life chances and health*
- *Our people will have improved health and well-being*
- *Our communities will be vibrant and active*
- *Our area will have a thriving and expanding economy*
- *Our area will have a positive image locally, nationally and internationally*
- *Our communities will have access to the key services they need*
- *Our area will have a sustainable natural and built environment*
- *Our services will be responsive, of high quality and continually improving*

- ✓ The Hub will provide an attractive venue enhancing Stanley's built environment and improving the image of the place.
- ✓ It will provide jobs and training thereby contributing to an expanding economy with skilled people.
- ✓ It will provide opportunities for young people to develop their sporting (and other) skills and improve the health and wellbeing of all residents, young and old.
- ✓ Stanley will be a vibrant and active place providing a key service to local people and attracting people from elsewhere, helping to connect the community to other places.

The Community Action Plan 2010 to 2015 shows a need for:

“A village with good community and sports facilities, activities and events. It will have high quality and well used community and sports facilities with activities and events for the whole community.”

Policy Strategy	/ Stanley Sports Hub Development – Contribution/ Fit
Perth and Kinross Single Outcome Agreements	<p>Developing Educated, Informed and Responsible Citizens</p> <ul style="list-style-type: none"> ○ Young people reach their potential ○ People are ready for life and work <p>Promoting a Prosperous, Inclusive and Sustainable Economy</p> <ul style="list-style-type: none"> ○ Thriving, expanding economy ○ Employment opportunities for all ○ More vibrant places by encouraging and supporting community-led economic development initiatives, including social enterprises <p>Supporting people to lead independent, healthy and active lives</p> <ul style="list-style-type: none"> ○ Longer healthier lives for all <p>Creating a safe and sustainable place for future generations</p> <ul style="list-style-type: none"> ○ Attractive, welcoming environment ○ Resilient, responsible and safe communities
Perth and Kinross Sports Development	<p>Community Sports Hubs</p> <p>Local people play a vital role in establishing successful sporting communities. The development of Community Sports Hubs will help to develop this important role in shaping service delivery. Working together, planning together and finding solutions together makes for better local services and encourages local clubs and groups to be more involved.</p> <p>To support the delivery of the Olympic and Commonwealth games legacy programmes Sports Development have established several Community Sports Partnerships/Hubs. These bring together local club and Sports Council members from the voluntary sector with professional support from Sports Development, Active Schools and Live Active Leisure.</p> <p>The main objectives of a Community Sports Partnership are to:</p> <ul style="list-style-type: none"> ○ provide a forum for engaging with local people ○ identify needs of local sporting communities

	<ul style="list-style-type: none"> ○ support the development of local clubs and groups ○ establish networking opportunities ○ bring together professionals involved in the development of sport ○ attract external funding to local communities ○ provide strategic direction according to regional and national priorities
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Stanley Masterplan

Extracts from the Stanley Masterplan Consultation in 2013 show the need for the provision or improvement of sports facilities in the Village. Responses from the Survey are shown below.

Rating of current provision within Stanley:

	Excellent	Good	Poor	Very Poor	Total Responses
Leisure/sports facilities	1.39% 2	12.23% 18	53.47% 77	32.64% 47	144

Key priorities for use of funds generated by development?

	Definitely Yes	Probably Yes	Probably No	Definitely No	Total Responses
Sports Facilities	60.58% 83	34.31% 47	2.19% 3	2.92% 4	137

Some comments received through the consultation about what would be included in a "sports facility" are included below:

- A new sports hall containing all the sports in the village, i.e. bowling, tennis, football
- Some kind of central community recreational facility. Multi-purpose playing surface, activity centre, gym classes etc...anything that gives a safe, inviting and active meeting place for adults and kids.
- Some sort of artificial surface sports pitch (multi-purpose with changing facilities).
- Leisure facilities: all weather pitch/ improve drainage and accessibility to existing school pitches. Might be a mix of improving existing hall and new facility: Place for people to

meet / have milk shake or coffee. Indoor facility suitable for sports (badminton, football, gym, yoga, dance) or other community activities.

- Reinstate the football ground for local football team. Youth club; Tennis courts. I think it should be spent on the football pitch
- Upgrade bowling club/tennis club facilities
- Sports and meeting centre.
- Sports hub. Financial contribution to allow SDT to develop facility next to school / tennis courts
- Sports hall
- Sports facilities,
- A sports facility which could also provide a community hub and meeting space would be a valuable asset. This could circumvent the need for significant (and ex-pensive) village hall upgrades.
- Sport venue for the people of Stanley
- Sports Hub project is already underway, money from housing development should contribute to this.
- Leisure facilities, sports etc.
- Sports recreation facilities
- Sport i.e all weather pitch & tennis courts
- Definitely spent on a centrally located Sports Facility with changing facilities. If the sports facility fund was sufficient then to provide for a comprehensive facility to include for the activities currently carried out in the village hall. Then the village hall could be sold off /demolished for housing to provide further funds to the pot for the village.
- The development of improved leisure facilities is important but to be sustained in the long term requires investment in people and must include provision for paid personnel such as youth and sports development workers.
- I would love to see sports facilities such as a small skate-park or pump-track, renovated tennis courts.
- Sports facilities & improvement of Community facilities
- Community Hall with sports facilities
- Improved community facilities suitable for 21st century that allows people to meet, socialise and take part in sport and leisure locally.eg community sports hub with cafe as per the recent sports survey.
- Money needs to be put into better provisions for youngsters in

Key priorities to be addresses in Master Plan

Answer Options	1	2	3	4	5	6	6	Rating Average
Local facilities, e.g. sports, leisure, meeting space	60	26	18	19	9	8	2	2.46
Traffic	28	29	17	22	19	16	11	3.47
Type of housing	22	17	28	23	25	20	8	3.73
Accessible open spaces	15	29	24	19	23	24	8	3.77
Appearance of new housing developments	8	18	22	22	29	23	21	4.39
Layout of new housing	3	12	12	20	24	40	32	5.08
Employment	6	11	21	17	14	12	61	5.13

03 Consultation Programme

3.1 Overview

As part of the review, a comprehensive consultation programme was undertaken to listen to the views of local residents and other stakeholders focussing on the needs in the area, how a sport and community hub could address those needs and exploring potential service and facility design. Consultation methods included two open public meetings, surveys and one to one interviews of both individuals and groups. The following is a summary of key data and findings from that process. Full consultation data can be found in separate appendices.

3.2 Previous Community Survey

Undertaken in 2013, the survey was distributed widely throughout Stanley. The survey was divided into two sections: section 1 focussing on sport and fitness and section 2 on community. There were a positive 232 responses from local people and groups to section 1 and 153 to section 2.

Sport and Fitness

- General fitness levels in the village are relatively good but there is room for improvement: 42.6% felt their fitness was good; 60.9% felt it was only average and 6.5% felt it was poor.
- There is a clear need and demand for better, more accessible sports facilities: 53.3% found it difficult to access sports facilities: 72% felt this was due to a lack of suitable local facilities. Nearly 40% of respondents were in an organisation which could benefit from a sports hub.
- The biggest demands were for canoeing (41.7%), cycling (38.2%), gym (30.5%), Badminton (31%), tennis (33.8%), and yoga (29.3%).
- There is a significant opportunity to tap into water sports given Stanley's proximity to the Tay: 48.5% were interested in using Stanley as a drop off point for water sport including using toilet, shower and café facilities. Comments included, "As a canoe/kayak water user, the key features would be an initial meeting place (sit/chat/coffee till everyone arrives), basic communal changing. Options for car shuttle. Shower afterwards possibly."
- The most important features of a local sports hub were found to be toilets (62.8%), parking and a café (both 53.8%), showers (48.2%), and a fitness suite (41.2%).
- The greatest potential barrier to using a local sports facility would be the cost (58.2%). 30.2% were most concerned about quality of facilities but a further 47.6% had this as a second choice. Very few were concerned about quality of services and remoteness.
- Comments included: "An excellent idea that has my total support. It could provide easy access to sports and recreational facilities for all ages and abilities, that are currently only

available by travelling into Perth. It would provide a badly needed facility for local sports teams eg. Stanley Socca youth football team currently have to travel to Dunkeld to play 'home' games, and changing facilities there are far from inspiring. Modern, well maintained facilities are vital to encouraging greater involvement and enjoyment of sport, and to realising the wide-range of health and social benefits that brings."

Community

- There is a high demand for an improved community facility: 72.5% of respondents felt an improved facility would be of benefit to them directly. 22.2% were not sure.
- There are a wide range of activities that residents would like to be involved in or enhanced further: the highest demanded activity was learning and training (66.7%). A youth club was second with 34.3%.
- Evenings and weekends were the most popular times to attend community based activity.
- The most important feature of a community space was found to be the quality of the space (60.5%), flexibility of pricing (55%), quality of service (35.7%) and right atmosphere (36.4%).
- Comments included: "We spend a lot of time driving to Perth and Bankfoot for clubs and would consider using Stanley if an option became available." "Having the opportunity to exercise indoors over the winter months without having to drive to Perth would be a benefit to me and my family."

3.4 Open Meetings



Two world café style open meetings were held at the village hall in June 2015 which attracted around 40 residents in total. Divided into groups, residents recorded their discussions on flip chart paper centred on the good things about Stanley, the challenges and needs in the area and potential services, design and layout of a new facility.

Good aspects

The key benefits for the local community were;

- the number of services available locally, (within Stanley itself),
- the range of facilities (natural and built),
- the beautiful setting,

- the number of community events and good social aspect and
- the number of sports / active recreation groups.

Local Needs

- Geographic isolation- particularly for those without a car
- Territorialism (small village mentality, clubs running things for the few not the many and the need to encourage an inclusive mentality)
- Lack of youth provision: no youth club locally, the nearest one is in Bankfoot 2 nights per week which has a good venue and is successful. The local play park is hidden. Soft play area for toddlers.
- Lack of a focal point to facilitate community interaction, a café for example
- Limitations of existing venues: lack of good commercial catering kitchen and storage space for community assets such as the marquee. Venues don't provide the multi functionality needed.
- Too much car use and not enough focus on healthy lifestyles and walking. This also means people are not interacting socially.
- Poor network of paths and cycle routes

Specific service / space suggestions

- Childcare provision → soft play, crèche / wraparound for people using hub for activities / Breakfast club / After school club
- Youth provision / informal kick about area / MUGA / pool hall / employment training schemes for young people
- Community/Multi-use space: venue for parties / space for large community gatherings including shows and smaller meeting space for local groups including music rehearsal space
- Catering space / café / lunch and Breakfast club for young and old / cookery classes / catering for events / vending machines / bar
- Range of indoor sports: multi-gym and exercise classes including yoga / table tennis / indoor curling / badminton / squash / cycling track / dancing / gymnastics / cheer leading / climbing wall / netball / basketball and volleyball / free running / roller skating
- Range of outdoor sports: hockey / 5 a side football / bowling /athletics and running track / pump track / skatepark / trim trail
- Other facilities: changing areas / storage / showers / lockers / toilets / shuttle service to River Tay

Challenges of this proposal

- Duplicating existing provision and venues
- Recruiting sufficient volunteers
- Impact on school (disruption during build)
- Working in partnership with other groups
- Affordability and accessibility
- Commercial viability
- Changing mind sets: people will not walk from one end of the village to use facilities at the other

Site, Design, Layout

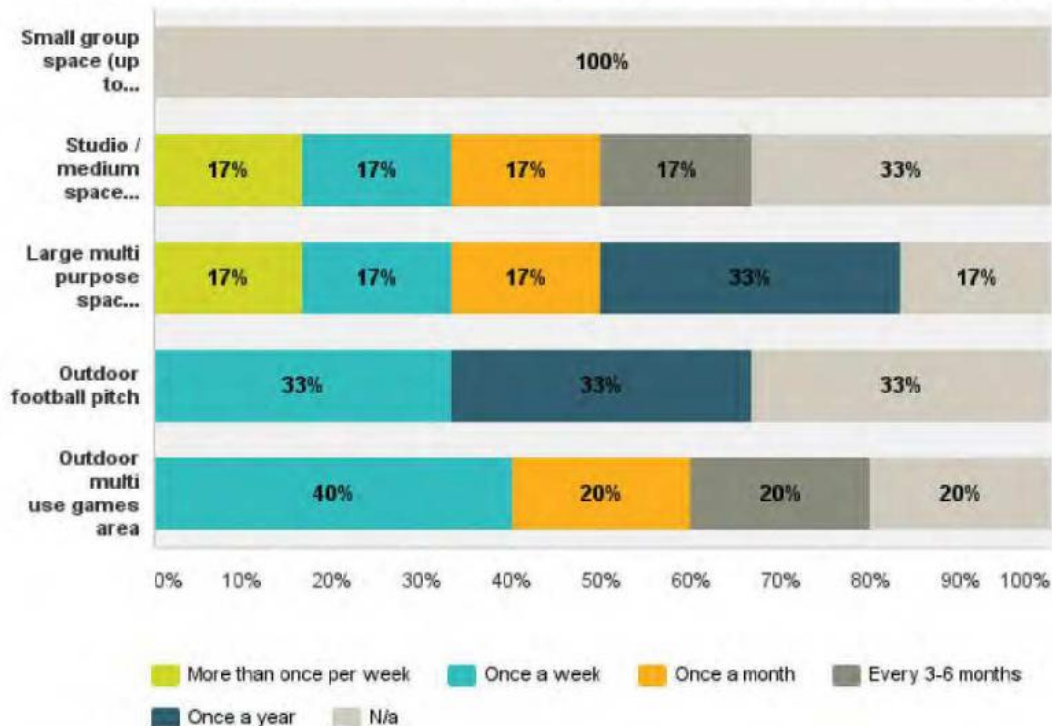
- There was a clear desire for the facility to be flexible, multi-purpose and suitable for all ages. In terms of design, the facility was to blend in. The chief concerns emerging were the restricted size of the site and parking limitations and the impact this might have on immediate residents.
- Landscaping Issues / Parking and Access are concerns and doubling of the parking space was offered as a solution.
- Under floor heating for yoga

3.5 Potential User Group Feedback

An online survey backed up with one to one telephone discussions were held with potential local user groups beyond the anchor groups including sports and youth clubs and a broad range of community groups. A full list of those consulted can be found in Appendix 1. The following highlights the key points of feedback gathered.

- Most user groups have an average of 11-20 members (50%) although a further 25% have 50+. 87% of groups say membership numbers are likely to increase over the next couple of years. The Freerunners for example currently have 30-50 members but are confident this number could be doubled if not tripled with appropriate space.
- The majority of groups hire other clubs' facilities (62%) including the Reid Halls under the Church. Only 12% have their own facilities with the remainder using public facilities further afield. 55% felt 'happy' with the facilities they used but a further 44% were either 'unhappy' or 'neutral.' The main reason for this was 'poor quality accommodation' followed by 'restricted opening times' and 'lack of storage.' "Out dated for our needs; it's not big enough for our numbers now" and "No outdoor space and dark and dingy"
- If new facilities opened in Stanley, 44% of groups would 'definitely' use them and a further 44% are 'likely to.'

- In terms of usage: none of the groups were interested in small space (up to 10 people). Studio space and large multi-purpose indoor space were likely to be used most frequently (more than once per week) by groups and outdoor spaces (football pitch and multi use games area) were likely to be used on average once per week by groups.



- Times of usage varied but evenings and weekends were more in demand than weekdays.
- Some groups were unwilling to specify how much they would be prepared to pay but of those that did, 'under £15 per hour' for hire was indicated. Groups emphasised that cost would be a major influencing factor. "Currently pay £8ph but could pay up to £15pm". "Our members pay £1 per week so fees are around £20 per week but we need some of this for Christmas events etc." "We have schools that have said we can use their halls...at £8 an hour."
- Interest in additional facilities was highest for a café / food outlet with 75% of groups supporting this. Additionally, it was felt a café could attract visitors from Stanley Mills. Indoor storage facilities and a spectators' area were also popular. Changing rooms and showers, training rooms and outdoor storage were not well supported. The Freerunners were keen to have outdoor flood lighting to expand the hours of usage.
- Final comments included:
 "I would definitely use a cafe if one were available- Stanley completely lacks this. If we had better facilities, our group would be interested in running peer group learning which could happen at a cafe. I also wanted to make a point about the new housing

development- the proposals are a recipe for isolation and we need the developments to encourage integration so a network of paths and multiple exits and entrances to encourage migration around the village (particularly on foot) would be very beneficial.”

“We’re excited by the idea of a local sports hub and think it would be a great resource for us.”

“A new sports hub would definitely help us grow our membership and offer a broader range of opportunities and activities.”

“Stanley needs it.”

3.6 Case Studies

The Craggs Community Sports Centre

Address	10 Bowmont Place Edinburgh, EH8 9RY
Website	
Email	
Telephone	
Case study information from	Website and interview with Simon Turner, Development Manager

Summary : This case study is an example of a community sports hub following a social enterprise model and receiving active participation from the surrounding community.

Overview : The Craggs Community Sports Centre was a council owned building run by Edinburgh Leisure. However, due to a lack of success as a community resource, it was closed in 2010. Management of the building was later awarded to a partnership of Boroughmuir Blaze Basketball Club, Basketball Scotland, and Castle Rock Edinvar Housing Association. They re-opened the facility in January 2012 after agreeing to a 25 year lease at £1 per year with the Edinburgh Council.

The aim of re-opening the centre was to strengthen the surrounding community through the positive value that sport brings. The centre has taken a unique partnership approach to work with community clubs, physical activities providers, and schools to host a range of activities that appeal to the community. In addition, volunteer participation for The Craggs, as well as user groups, has been a crucial element to the sport hub’s success.

Although the Centre is open to all community members, youth are the main target for its activities, as it specialises in urban sports/arts, such as basketball and hip-hop. The USP for the sports hub is offering these niche activities and creating a facility resembling a U.S. high school sports hall.

Vision : "We believe in the potential of sport to develop people and build communities. Together with our partners we're working towards the vision of a fully sustainable social enterprise."

Operating Area : The centre operates in the Southside of Edinburgh, providing space for a range of activities for local clubs, groups, and schools.

Legal Structure : The Craggs Community Sports Centre follows a social enterprise model and is registered as a Scottish Charitable Incorporated Organisation (SC042676).

Staff : The trustees for the centre are nominated by the three founding clubs: Boroughmuir Blaze Basketball Club, Basketball Scotland, and Castle Rock Edinvar Housing Association.

Besides the board, the Centre has one main member of staff, the Development Manager and has relied heavily on volunteers. Furthermore, it runs on a key holder model allowing regular user groups, such as schools, to have key access to facilities and thus be responsible for health and safety and looking after the facilities whilst in use. Due to this model, overheads have been kept to a minimum by reducing the need for staff.

Beneficiaries : The key beneficiaries of The Craggs Community Sports Centre are the numerous user groups that utilise the facilities for sports and leisure activity, including the local schools, community clubs, activities groups, and individual community member participants. Particularly, children and young people from the area are beneficiaries due to the specialisation on urban arts/activities. Additional beneficiaries are the numerous volunteers that have been a key element to the Centre's success.

Premises and Facilities : The centre is located in South-Central Edinburgh at 10 Bowmont Place, EH8 9RY. The building was built over 10 years ago through campaigning by local residents before it was handed over to council control. Since its re-opening in 2012, the building now offers a range of facilities, including the following:

- Large Games Hall (4 badminton courts)
- Dance/Fitness Studio
- Outdoor synthetic 'Kick-Pitch'
- Social area with wifi and reception desk
- Small Consultation Room
- Office and kitchen
- Storage areas for user groups
- In addition, the users have access to changing rooms, showers, toilets, baby changing facilities and free parking.

Services and Activities : Community clubs including basketball, volleyball and roller derby hold keys to the building and utilise the Centre as its main facility. During the day, local schools use the Centre for PE classes, and through a team-up with Active Schools, the Centre also provides

after-school activities for kids, which include basketball, fencing, unicycling, street-dance, break-dance, taekwondo, etc.

Furthermore, although youth are the main focus for the Centre, classes are also held for adults, such as yoga, hip-hop, pole dancing, and pilates. The Craggs can also be hired for events, including performances, meetings, exhibitions, or shows.

Recently, the Centre modernised the pitch near the premises, which, funding dependent, will be used to offer football programmes focussing on girls and disadvantaged children.

User Groups : The centre is utilised by a wide range of user groups through the various partnerships it has made throughout Edinburgh and the South-Central area. The main users of The Craggs are as follows:

Clubs

- Boroughmuir Blaze Basketball Club
- Polonia Phoenix Basketball Club
- Auld Reekie Roller Girls
- NUVOC Volleyball Club
- Sciennes Primary School Football Club
- Prestigue Basketball Club
- Spartans Basketball Club
- Voodoo Unicycle
- Read Ready Sauce dance crew

Community Interest Organisations

- Active Schools
- Integrated Community Support Service (City of Edinburgh Council)
- Canongate Youth Project
- Edinburgh Sudanese Community
- City of Edinburgh Sports Academy
- Schools
- James Gillespie's High School
- Boroughmuir High School
- St. Thomas of Aquinas High School
- Preston Street Primary School
- Royal Mile Primary School

- Physical Activity Providers
- Aerial Yoga Edinburgh
- Tang Soo Do
- Goeswell School of Pole Dance and Fitness
- Jeanine Davies Pilates

Finances : The beginning stages of re-opening the building were funded by sportscotland, the City of Edinburgh Council and The Robertson Trust. Further funding in the year 2012 was provided through the Big Lottery, Investing in Ideas and Youthlink.

For the year 2012-2013, The Craggs experienced an income rate of approximately £105,000 and an expenditure rate of approximately £83,000.

Keys to Success : The Development Manager attributes their success to great volunteers, a committed, skilled and networked board, and the benefits received from the involvement of the local Housing Association. These benefits include experience, engagement with local residents and economies of scale through low cost utilities, car park monitoring, and cleaning.

Further keys to success include renting out car park spaces during the day, which surmounts to approximately £8,000 in revenue yearly, and charging less to hire space than the predecessor, causing an increase in sales.

Challenges : As can be expected, the initial challenge for The Craggs Community Sports Centre was taking over a failed building and creating a community focussed space, as well as getting people through the door and into that space. However, now that the Centre has reached its original vision of being sustainable, the most recent challenge is deciding whether to take on more staff in order to allow the Development Manager to focus on strategic business development. Furthermore, it is a challenge to increase usage as popular session times are taken and it proves difficult to fill the remaining time slots.

Future Developments : Looking to the future, The Craggs will create a new/refreshed shared vision for the future and develop branding and marketing in order to increase usage and sales. The Centre aims to link up the users and develop the facility as the main training centre for basketball and volleyball, continuing along the model of a U.S. high school sports hall image with banners, dancers, etc.


The Centre looks to take on management of James Gillespie High School's new sports facility that is currently under construction. Furthermore, Council owned land at the back of The Craggs (approximately the size of a large sports hall) has potential to be developed into a new facility.

The Centre also aims to develop partnerships with Braidwood Bike Group/ Doodle Skelf and Canongate Youth to create a bike park/play corridor near the site in order to offer more services and attract more users. An application has also been submitted to Young Start for funding to hire an Activities Co-ordinator, as well as a bid to Community Spaces to improve the front of the

facilities by putting in a community garden, a traverse climbing wall, and improving the path and driveway.

In addition, the Manager hopes to secure funding of £4,000 to create activities for the outdoor pitch. It is envisaged that the main focus will be a one year contract for a football coach/coordinator aimed at involving girls and local disadvantaged children and young people.

Broxburn Football Club

Address	Albyn Park, Albyn Road, Broxburn, EH52 6BY
Website	
Email	
Telephone	
Case study information from	Interview with James Pegg, Development Manager

Background : West Lothian Council were involved in promoting community clubs in 2000 and the council and the FA organised a series of meetings with interested parties to form a community club. Following this a business plan and a development plan was written.

Broxburn United Sports Club (BUSC) was formed in 2008 as a charitable organisation with the aim of bringing the young people of Broxburn and Uphall into a safe and social sporting structure. This involved combining other local clubs into one entity and in 2010 BUSC opened its new facilities to the community. It opened in August 2010.

In total the club have 27 teams and of those 24 are youth teams. The teams have 110 volunteers and 600 player members with almost 1000 people using the facility every week.

Operating Area : There is no residency requirement in order to use the Club, it is open to anyone.

Legal Structure : Broxburn United Sports Club is company limited by guarantee and a charity (SC039547). The trustees of the charity are made up of the members of the two football clubs.

“Every community should have a facility, we should have built it years ago” Development Manager



Staff : Three key fulltime members of staff, paid for through grant funding:

- Alive and Kicking Coordinator – funded through People's Health Trust and encompasses disability and inequality. Walking football is offered for people aged 50+ and a sporting memory programme.
- Fun Start Fitness – a health, sport and education programme promoting positive mental health, the importance of water, breakfast and being active and oral health. Funded by Lothian Health Foundation and developed in to a DVD resource.
- Development Manager – Rank Foundation
- Development Officer - Children In Need funded

There is also an additional part-time post who serves in the small café.

Beneficiaries : The local community is rooted in the facility and the Club seeks the community's input through a variety of methods, including social media, posters on shops, libraries, talking to schools and a local networking group.

Community impact has been significant, with local police reporting a reduction of 35% in antisocial behaviour. This demonstrates the benefits that a good sports complex can provide for the community. Having a development manager in post has enabled the building of positive relationships with local partners and the community as a whole. Every primary school in the local area is offered a free place at the sports camp as a way of the club giving back to the community and trying to broaden its social circles.

The Club is trying to widen the scope in the community and move towards cross-generational activity.

Partnership working : All the partners realised that the facility was needed and whilst it "wasn't easy, it never is" there was a recognition that the parties were reliant on each other. The clubs

now has a good relationship and seeing 1500 people a week come through the doors of the club has been very encouraging and has made the clubs realise they are running a very successful facility.

The partnership has given younger football members a vision of where they can plan throughout their footballing career, it has created a pathway for them.

All the decisions at the club are based on community interest and what is best for the community, to move away from the individual clubs personal interests.

Premises : The new building includes an eight changing room pavilion, official's rooms, social area, café/bar, physio room and a third generation synthetic pitch. It is available to local primary and secondary schools and other community groups providing a hub for community activity not previously available in the area. A real home for over 700 members which they can use seven days a week and call their own.

Services and Activities : A wide range of innovative services and activities are delivered, including ladies fitness, boxing, zumba, holiday camps for children. The holiday camps, which are sporting camps, and do not focus on football attract a different client group and also brings mothers and fathers to the facility.

After-school football training is delivered and a primary school league has been developed.

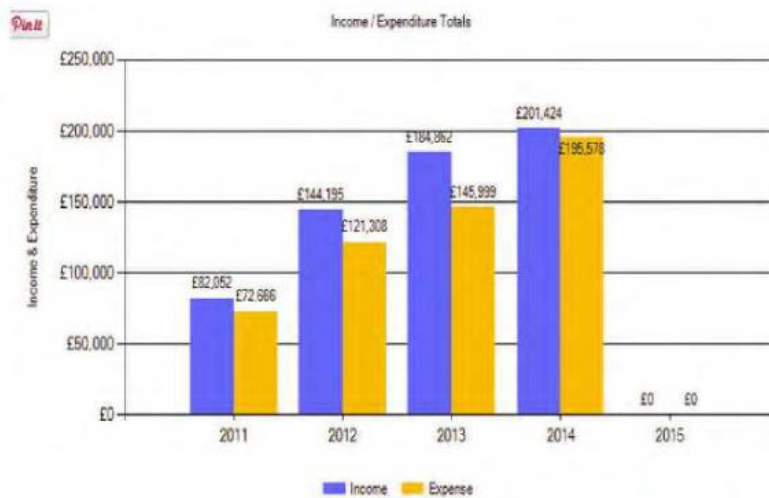
The Working Futures programme takes a young person from Broxburn Academy to build their confidence and self-esteem and move them on to a positive destination.

Pricing : The Club tries to make the pricing as accessible as possible and tries to think about the cost per family.

The main football pitch is split in to three sections and the membership rate is £20 an hour and the community rate £30 an hour. When the pitch is not hired it is a free play area for the local community. This has worked very well and there have never been any problems with anti-social behaviour or vandalism. The community view it as their building and ownership is handed to them to be responsible for.

For the classes, such as zumba, the room hire is £10 and the teacher sets the price for her classes, in consultation with the club, and the teacher keeps the profit.

Finances



The founding clubs had very minimal assets and they did not combine their assets.

The café generates income for the club

One of the key costs is for utilities. The Development Manager recommends having an administrative post, if possible.

Funding : The total build cost of the new facility was £2.6m. West Lothian Council gave £1.6m for the community facility and funding was also secured from Gannochy Trust, Robertson Trust, SportsScotland and Cashback for Communities.

It took a year to build the facility and the building is owned by the Council and Broxburn United Sports Club has a 50 year lease on which they pay a very reasonable rent. The Club did not want to own the building as they felt it would be an additional pressure. However, the club is responsible for all the building maintenance and repairs.

The local schools have free use of the building during term time, as part of the agreement with West Lothian Council.

Challenges

- Staffing – all three full-time posts are grant funded and all funders have their own agendas, which restricts the freedom of the club, however, it also has advantages in that it broadens access for the community. Eg. Funding for youth projects allows the club to focus on young people, outside of the football agenda

3.7 Stakeholder Interviews

Development Plans Team Leader, Perth and Kinross Council

The interviewee has been involved in discussions with Stanley Development Trust and is aware of their development plans.

A query was raised about roads, parking and access and whether the design team had taken cognisance of the National Roads Development Guide. It was noted that there are issues around land ownership regarding some areas so choice of site will be crucial.

In terms of current provision it was noted that there is a concern that facilities aren't adequate considering the rise in population expected with the new house building. The Council's officers responsible for Green Space view football pitch provision as adequate, and that it was appropriate for people in Stanley to use facilities in Perth. She identified however that the Council would seek the identification and provision of suitable public open space, playing fields, and changing facilities to support future requirements of the village. There is currently no start date for housing development at the moment. An application has been approved for 35 units but this has been in the system before the requirement for better green space was in the local development plan.

The Council would be looking for maximising use of the existing play area as part of the overall Masterplan. The key is to tie in what community wants with what we can be achieved through development.

Education Department, Perth and Kinross Council

This interviewee responded from a school rather than a sports perspective and noted that there had been significant support to the idea in the department.

It was noted that the Council would prefer the group to try to make best use of existing facilities – village hall (which could be improved), bowling green, tennis, playing field.

Although not ideal the school hall is large and has a separate hall and dining areas so the school is in a better position than some schools. There is no plans to improve facilities at the school in terms of prioritising this over other schools.

Regarding the impact of proposed housing development, the school is only 40% full and the Council is confident that the scale of housing development could be absorbed within the current footprint of the school which would be able to cope without any additional sports facilities. In addition, it was noted that the Primary School has a very limited budget and would only use a new hall for special events, once or twice a year.

In addition, the interviewee noted that there was a housing development in Bertha Park, of 3,000 houses, to the north of Perth, being started in 2018. Because of this, a new secondary school is being built to the north of Perth. This will have community sports facilities and will be ready by August 2018 (from 2020 onwards all-weather pitches will be available).

Housing (300 now; up to 900 in future) planned in Luncarty may lead to sports facilities provided through developer.

Management of sports facilities was noted as a key concern and something that the Trust should plan for.

Stanley Tenants and Residents Association

This representative noted that it was debatable whether existing local people need such a new facility, but that new housing may stimulate more demand. The T&RA are aware that the churches and the village hall are considering up-grading their facilities, which are being kept going partly for sentimental reasons.

There are a range of challenges on up-grading these facilities. The existing village hall needs a lot of work and this is currently where most of the community groups meet. The bowling club is well maintained and well attended, with a bar. The tennis club only operates from a portacabin and operates seasonally, leaving space empty at other times. The Socca team is run by the local post office master and it makes use of school grounds which flood in the winter. There was some concern noted that, though a central hub made sense, that there may not be enough momentum in the village to bring everyone together.

The T&R would support the option of a new building on the site; making it bigger with mix of uses for sports and community.

Chair, Village Hall Committee

The chair of the village hall committee noted that, in principle, a sale of the village hall and a move to a multi-purpose sports and community centre was feasible. It was seen as a good solution to the need to upgrade the hall. In addition, running costs are currently onerous and this would reduce that, creating a more efficient offering to the community.

Usage of the hall is relatively healthy with a modest number of regular users (see timetable below), and additional bookings for children's parties, events, social functions and community occasions. It was noted that having a large hall and a very small meeting room could be difficult. Sometimes the large hall is too big for events and the meeting room is too small with the need for a medium sized space. However there are enough bookings of the whole space to warrant retaining that size.

There was a concern that most of their bookings are 7-9pm and that there would not be enough space to accommodate all community and sports use. This would lead to a need for multiple space or a second floor which would increase costs. Space was busiest in the winter with quiet times in the summer.

It was also noted that user groups pay only very low fees and will not use the space if prices increase. Semi-commercial rates at a new centre might be difficult to charge.

The interviewee was also concerned about technical issues, particularly parking, land ownership and shared use of space.

Current Village Hall usage

Weekly Meetings

- Over 50s Ex class, weekly Mondays, 10.30 to 11.30am
- Kettle Bells, weekly Tuesdays 7 to 8pm
- Dance Class, weekly Fridays 5 to 7pm
- Saturday night dance, weekly 8 to 11.30pm
- Badminton, weekly Thursdays 7.30 to 9.30pm.(Sept to April)
- Perth free runners, weekly 7.30 to 10.30pm. (Sept to April)

Monthly Meetings

- Village hall meeting, every 2nd Mon 7 to 9pm
- Community Council meeting, every 2nd Tue 7 to 8pm
- WRI, every 2nd Wed 7 to 10pm
- SNP meeting, every 3rd Mon 7.30 to 9.30pm
- Stanley development trust every 1st Wed 7 to 9pm

It is clear that the village hall has significant unused space and that the big hall is often not the best space for some activity.

Minister, Episcopal Church

The interviewee emphasised significant support for the hub concept. There was no commitment to future plans for the hall and she made it clear that there was a relatively complex process with the Episcopal hierarchy but there was a strongly worded commitment to partnership working in the community and opening up a conversation about the future of the church hall in the context of community aspirations. There are no current plans for the hall, but an acknowledgement that something needs to be done, and that there is no local funding to develop the asset. The community café concept is not likely to be sustainable but she is committed to health and well-being and the concept of "doing church" in the community in a much more collaborative and partnership way.

She noted her admiration for some partnership church projects she was aware of where assets were developed in a community setting to the mutual benefit of church and local people.

She is very keen to talk to community representatives and was overt about collaboration around what to do with the church hall within a community context. She also noted that she alone should be the church contact in these discussions.

Rascals

This group completed the survey but in summary didn't think they would have a requirement to use the hub.

The Strollers

The Strollers is an outdoor group so they do not require any premises and would not have a budget to book meeting space but may use a café.

Lunch Club

The Lunch Club currently uses the church in Stanley and they also have better facilities in Luncarty. They would not be looking to use another location because they are able to use the Church for free. If the church option was no longer available then they may consider using a hub, but would be unlikely to raise enough funds to pay a commercial or semi-commercial rent.

Serendipity

This group was clear that they would not require use of a new facility. The group currently meets in the Church Centre in Stanley and Luncarty and are not looking use any other locations.

Stanley Rifle Club

This organisation has a small membership and are happy where they are. They need bespoke premises for safety and would not envisage having any involvement in a new hub.

Splash (water sports tour operator)

This operator currently uses the village hall when groups are in Stanley. However they are only in Stanley very few times in the year (about 5 maximum). As a result, demand would be minimal. It was noted that culturally, those who are involved in water sports are certainly attracted to Stanley in large numbers, but they are happy to change at the car and bring packed lunches. Toilets at the river side would be useful but it is unlikely that people would walk into the village for toilets, changing facilities or even a café.

Skinny Tyres

This bike business provides cycling training, coaching and touring in Perthshire. The main kids bike club in the area is Tay Titans which has about 40-50 children who meet in Perth every Monday evening. There are no members from Stanley but there are some from Luncarty and Dunkeld.

It was noted that sports hub in Stanley would be "fantastic" and would definitely encourage more people to get active and involved in sport locally.

An off road cycling area (something similar to Comrie Croft) would be very beneficial and offers trails, a pump track with skinny planks and drop offs. This is a fair size and the one in Stanley could be smaller but still effective.

A skatepark was suggested as a good alternative as it could be used by cyclists, skateboarders and scooters.

Skinny Tyres were interested in using the facility for coaching and would bring the Titans there. The pump track in Comrie Croft is too far for the club to cycle from Perth but Stanley would be accessible.

The interviewee noted that the trails around Stanley are not particularly good as they are very flat and bumpy and in need of development. A cycle path linking Stanley to Luncarty would be a fantastic addition. At the moment, there's a cycle path from Luncarty to Perth, but there is a gap between Luncarty and Stanley.

Skinny Tyres would run a cycle club in Stanley but finding enough volunteers can be problematic.

Church of Scotland Minister for Stanley, Luncarty and Bankfoot

Condition of Church Building

Each village has its own worship centre. The Church in Stanley is over 200 years old and not fit for purpose and may in fact, be a danger to the public. There are a number of building issues including water ingress and worn sandstone as well as loose slates. The building is B listed so there are restrictions on development. The Church itself comprises a main worship area which seats 200 people, a gallery with box pews and the Reid Halls in the basement which consists of one low ceilinged hall (badminton pitch sized) and two smaller halls and a catering area. The basement space is in reasonable condition but not very accessible. The last estimates for repair around 10 years ago came in at around £1m which is clearly far beyond the Church's budget. Since then, the Church has carried out on-going essential repairs but have been faced with the difficult decision to either close the building altogether or try to repair it to a reasonable degree.

At the same time as the repair estimate, discussions were held with the village hall and the Episcopal Church to pool their resources and sell their buildings off to property developers in return for a single, bespoke facility but this proved too bureaucratic and difficult. The Church of Scotland building for example is owned by the General Trustees of the Church of Scotland but managed locally. It is unlikely that the 3 groups will want to revisit the idea.

Currently, the Church is waiting for architectural reports to assess the decay and the Church will then need to meet to decide the future of the building. There has been talk of trying to delist the building and selling off the Church garden for social housing or a care home which may help raise the capital for necessary repairs.

Current Usage of Church building

Meanwhile, although the building limits its activities, the Church has a regular congregation of between 50-70 and is committed to delivering a service every other week in Stanley. A number of groups rent out the Reid Halls including the Brownies, Natter and the Guild and the Church runs children's holiday clubs and arranges the occasional let to kayaking groups. The Church charges around £8 per hour to local groups and up to £16 per hour for others which intentionally mirrors the charges of the village hall. Hire is free to church groups and costs elsewhere are kept deliberately low.

Potential usage of a new facility

In the event the building needs to close, the Church of Scotland would transfer its services to the Village Hall with which it has strong links. As the Village Hall was originally a Church, it has

good acoustics and meets the needs of Sunday service. If the village hall were unavailable, the Church would approach the Episcopal Church with which it also has good relations. "We wouldn't use another building in Stanley unless we have to. As we already have a building, we need to use it as much as possible to make it economically viable."

In addition, the Church has an excellent facility nearby in the Bankfoot Centre which runs all manner of groups and activities including a dementia art group, a mums and toddlers group and houses a soft play and café. However, most Stanley residents would find this difficult to access because of public transport.

The Sports Hub could potentially house the activities that the Church can't offer in Stanley (dementia groups, a café and soft play). This which would not really impact on custom at the Bankfoot although the soft play there is free and the café is deliberately low cost. Soft play would be a huge draw but it would be a big investment. There is a clear social demand for this but in the Church's view, it is not economically viable.

There is some concern a sports hub could take custom away from other facilities. There is also a concern that there simply are not enough volunteers to service another community venture.

The purpose built facilities could provide wonderful opportunities particularly for:

- Groups who are not comfortable using a church venue, for example NHS groups
- Young people –the MUGA has been fantastic and is really popular proving that young people want to use these spaces. Improving the football pitch is a must but there is a balance to be struck between giving young people a bit of space but having an area that's open and inclusive and this is where sensitive design is really important. Young people in Stanley are a real asset to the area and deserve opportunities.
- Large kayaking groups on commercial tours: these groups will be more in need of catering, changing and shower facilities than well practiced, well kitted out individual kayakers who are used to taking care of themselves. Individual / small groups (such as Perth Kayak Club) would benefit more from car park facilities / toilets at the water's edge rather than in Stanley.
- Groups for whom accessibility is really important. The Church and some other buildings are restrictive and don't comply with current building requirements in this regard.

Summer and Winter Fete Group

The community group have held a few Summer Fun Days and certainly see the advantage of a Sports Hub for events such as these as they have used the bowling club and school for some of the activities previously. They could also add to the activities on offer if there was a better facility. They identified that a café would also make a great addition for these days as they have not been able to make use of the school catering facilities.

The group has held Christmas switch-on events and are looking to organise a larger event this year. A facility in the centre of the village for events was seen as really useful.

04 Funding, finance and Sustainability

4.1 Cost

Capital cost

Option	Capital Cost Estimate
Option 1	£955,000
Option 2	£1,213,000
Option 3	£2,089,000

Revenue Cost

Overhead Expenses (not direct costs)			
Advertising	£50 per week		£4,950
Rates (per week)		25	£1,300
Gas / Electric (per week)		50	£2,600
Insurance (per week)		60	£3,120
Misc		0.05	£0
Stationery & Admin	estimate		£300
Staff costs	See separate spreadsheet		£51,530
Volunteer Expenses			£600
Professional fees			£3,000
Repairs & Maintenance			£2,400
Total			£69,800

Core Staffing costs						Notes
	Salary	NI	Pension	Expenses	total	
Development Manager	£28,000	£2,484	£1,400	£1,200	£33,084	FT
Booking Administrator	£9,000	-£138	£450	£200	£9,512	PT
Cleaner/Caretaker	£8,640	-£188	£432	£50	£8,934	360 days x 3 hours x £8
Total					£51,530	

Option	Annual Revenue Requirement
Informal management model	£70,000
Strategic management model	£37,000

4.2 Funding Potential

The following list is not exhaustive, but gives some indication of what would reasonably be able to be raised. As costs rise, so the fundraising strategy becomes more risky. Crucially it should be noted that, despite recent international sporting events in Scotland and the focus on physical activity, there are limited pots of funding that are sports specific.

Funder	Comment	Target Amount
Sport Scotland	Sports facilities Fund This is a competitive fund based on sports excellence and inclusion and can be difficult to secure where the premises are multi-purpose	£250,000
Cash Back for Communities	This is currently closed but has been focussed on sport investment in the past	£25,000
Big Lottery	The major Big Lottery programmes have come to an end and new programmes will be announced later in 2015. Indications are that a strand similar to Growing Community Assets is likely to be available and that the focus will be on more urban communities and areas of relative deprivation, and that all funding will be geared towards community control and to being "place based". If this is a multi-purpose centre (including sport) with a strategic focus on regeneration then this fund may be accessible. There are some risks around whether a proposal such as this will be a strong bid.	Maximum £1m
Robertson Trust	10% of capital costs Supports sport with a view to community regeneration	Say £100,000
European Funding	SRDP, ERDF and ESF are in limbo at the moment with nearly £1b of spend for Scotland.	Unknown
LEADER	Perth and Kinross LEADER has a business plan and there are outcomes that would fit with this project. Final decisions on spend priorities will not be released until later in the year with applications available early 2016 when the new on-line platform	£100,000

	is ready	
Clothmakers Foundation	Only funds capital projects with a focus on specific outcomes	£50,000
Gannochy Trust	Funds projects in Perthshire and could be a strong fit	£75,000
Garfield Weston	Funds community projects but usually in areas of deprivation	£100,000
Comic Relief	Currently being re-assessed but this has funded sports projects in its main grant strand as long as there are broader outcomes achieved related to jobs, health, etc	Was up to £100,000
Other charitable trusts	These can include; <ul style="list-style-type: none"> • Wier Trust • Wolfson Trust • Hugh Fraser • RS Hayward Trust • Barcappel Foundation 	£100,000
Spifox	Equipment particularly for children's area	£50,000
Henry Smith Charitable Trust	Funds Health projects and has funded large capital projects in the past	£100,000
Loan Funding	There are potential soft loans and part loan/part grant suppliers including Social Investment Scotland, Scottish Investment Fund, etc. This is viewed as too risky and not likely to be supported by the cash flow.	
Local income	Fundraising or income from the sale of the Village Hall building and site to be re-invested into the new site	£Unknown Circa £500,000

4.3 Revenue & Viability

Financial projections will be prepared as part of the Business Plan, once the final accommodation schedule and design has been approved. This will include the preparation of a robust pricing strategy. At this stage, we have started to model how financial projections might work with a range of variables though it is difficult to conclude without some key question being answered. The model can be seen at appendix 1 with blanks to be completed, though formulas are all set up.

The following are the key issues and questions;

- To what extent do existing core groups wind up entirely and merge into a Stanley Sports Hub
- Do these core groups wind up and merge with Stanley Development Trust who will own the asset?
- Do core groups remain in existence but pass asset ownership to a separate Trust. Would bowling club and tennis club let space in the same way as other community groups and outside sports or community based organisations.
- If so, would all income and expenditure come under the control of a new Sports Hub company. For example if the bowling club members had an event where profit was generated over the bar, would this profit revert to a new sports hub or be retained by the Bowling Club.
- What would be the village hall position and financial relationship – if they sold the asset and re-invested it
- What is the Episcopal church position? For example, the church may offer the site free on the agreement that they are offered free lets in perpetuity.
- In the bold option, with absorption of the majority of community activity, most groups feel unable to pay a commercial rate for hall hire. Should be stick to an affordable rate to develop community or insist on a more commercial rate to secure sustainability
- To what extent is there an appetite for a café operation
- Is the model an informal facility with minimal staffing, or a more strategic centre with development staff?
- Is there an indication of power solutions which will drive running costs?

05 Research Analysis

5.1 Findings

Need and Demand : General

1. Social deprivation is not an issue statistically but there is clear strategic national and regional imperative to operate community owned facilities that promote locally controlled health and well-being outcomes.
2. The village has a population of 1300, many of who are not current users of sport or other services and there is a larger travelling population so we believe demand can be stimulated with good marketing and a new venue.
3. Perth and Kinross has the third highest population increase projection over the next 25 years with a growth of 24% and this is reflected in Stanley with new house building. The local authority confirmed their concern about lack of facilities for this growing population.
4. According to the census 2011, 29% of people over the age of 16 have no formal qualifications compared to 27% nationally so there may be a need for learning opportunities.
5. There is a high demand for an improved community facility: 72.5% of respondents to the survey felt an improved general village facility would be of benefit to them directly. Lack of a focal point to facilitate community interaction, (a café for example) emerged as a key priority.
6. There are a wide range of activities that residents would like to be involved in or enhanced further: the highest demanded activity was learning and training (66.7%).
7. A youth club was the second most popular demand in the survey at 34.3%. Lack of youth facilities was also identified in the open meetings.
8. There was some demand for child care and nursery provision.

Need and Demand : Sport

9. The Stanley Masterplan Consultation identified the need for the provision or improvement of sports facilities in the Village
10. There is a clear need and demand for better, more accessible sports facilities: 53.3% of survey respondents found it difficult to access sports facilities: 72% felt this was due to a lack of suitable local facilities. Nearly 40% of respondents were in an organisation which could benefit from a sports hub.

11. Stanley scores significantly better than the Scottish average against a range of health indicators. General fitness levels in the village are relatively good but there is room for improvement with only 42% feeling their health was "good".
12. The biggest demands were for canoeing (41.7%), cycling (38.2%), gym (30.5%), Badminton (31%), tennis (33.8%), and yoga (29.3%).
13. The survey showed a significant opportunity to tap into water sports given Stanley's proximity to the Tay: 48.5% were interested in using Stanley as a drop off point for water sport including using toilet, shower and café facilities. Stakeholder interviews however did not bear this out.
14. There was significant demand from the Free-runners and cycling group with impact in but also beyond the centre.

Core Sport users

15. There is clear demand from current users (tennis, bowling and football). Though growth is expected with a new facility, current usage demand and membership numbers, and projected numbers are relatively low.
16. Sport usage is seasonal and leaves significant occupancy gaps.
17. Watersports companies viewed demand for a hub as minimal.

Other Groups

18. Most community groups in Stanley only have an average of 11-20 members (50%) although a further 25% have 50+. 87% of groups say membership numbers are likely to increase over the next couple of years.
19. The majority of groups hire other clubs' facilities (62%) including the Reid Halls under the Church. Only 12% have their own facilities with the remainder using public facilities further afield. 55% felt 'happy' with the facilities they used but a further 44% were either 'unhappy' or 'neutral.' The main reason for this was 'poor quality accommodation' followed by 'restricted opening times' and 'lack of storage.'
20. If new facilities opened in Stanley, 44% of groups would 'definitely' use them and a further 44% are 'likely to.'
21. Regarding the impact of proposed housing development, the Education Department noted that the school is only 40% full and the Council is confident that the scale of housing development could be absorbed within the current footprint of the school which would be able to cope without any additional sports facilities. This did not accord with views within the school itself as clearly.
22. Demand evidenced from the group survey and one to one interviews exists but is not massive.

23. If groups using the Reid Hall were not able to use that space, they would move to the Village Hall and, potentially a new hub though there was nervousness around charging policy.

Technical issues

24. The most important features demanded of a local sports hub were toilets (62.8%), parking and a café (both 53.8%), showers (48.2%), and a fitness suite (41.2%).
25. Though a variety of space was needed, there was limited demand for a very large hall.

Funding

26. Three options were presented by the design team ranging from £955,000, to £1,213,000 to the ambitions option costing £2,089,000
27. The funding strategy shows that a maximum of circa £2m could be raised, with numerous variables. As costs rise, so the fundraising strategy becomes more risky. Crucially it should be noted that, despite recent international sporting events in Scotland and beyond, and the focus on physical activity, there are limited pots of funding that are sports specific. A more generic place based facility focused around well-being would attract funding more easily.
28. In the light of cost rises over time, costs in excess of £2m are viewed as a serious challenge. However Option 2+ might be possible

Financial Viability

29. There is consistent community nervousness about the financial viability of a new facility.
30. The greatest potential barrier to using a local sports facility was identified in the survey as cost (58.2%). In the user group survey, it was emphasised that cost would be a major influencing factor and there is a culture of free or cheap lets for community groups. Many groups pay a nominal fee of £8 per hour but many groups (eg those linked directly to the church) don't pay rent at all. There was no appetite to use a facility where rent would have to be paid to any commercial extent.
31. There are a large number of variables that need to be addressed before a financial model can be put together.
32. Depending on the model, break-even point is around £40,000 or £80,000.

Scale and Nature of Building

33. There was a clear desire for the facility to be flexible, multi-purpose and suitable for all ages.
34. The chief concerns emerging were the restricted size of the site and parking limitations and the impact this might have on immediate residents.

35. Evening demand far exceeds day time demand, leading to a danger that the building is too small for evening use and too large for day time use.
36. There is limited demand from the school due to their existing space and budget restrictions.
37. Interest in additional facilities was highest for a café / food outlet with 75% of groups supporting this.
38. Case studies noted the importance of local partnership working.
39. The churches and the village hall are considering up-grading their facilities, but are struggling to do so. The Village Hall (as the core community centre) and the Episcopal church (with their strategically important site) are both open to discuss the option of merging facilities. It is clear though that there are challenges with this.
40. The village hall has significant unused space and the big hall is often not the best space for some activity.

Management and Governance

41. Case studies noted the importance of good staffing, particularly as a minimum having high quality administrative support.

5.2 Options Appraisal

Evidence from the community and user groups demonstrates a good demand for a community hub focussed on sport and well-being, but to provide a wide range of activities and services not accessible locally and the likelihood that this demand will increase with a fast growing population.

Option 1 : Basic	
A small upgrading of the existing site to improve the bowling and tennis facilities.	
Pros	Cons
<ul style="list-style-type: none"> ○ Easy site to develop – no major ownership issues ○ No serious impact on immediate neighbours ○ Planning permission should be easy to achieve ○ Provides focus and clarity 	<ul style="list-style-type: none"> ○ Expensive for what is being proposed ○ Limited social space limits community impact ○ Scale of the building restricts income generation ○ Focus on sport limits funding options ○ Offers better premises for existing activity

<ul style="list-style-type: none"> ○ Can be operated with minimal staffing and running costs so more likely to be sustainable. ○ MUGA can attract new sports and informal games 	<p>only. Little to recommend it to impact based funders</p>
<p>Recommended Action</p>	
<p>We do not recommend this option</p>	

<p>Option 2 : Interesting</p>	
<p>Similar facilities for bowling, tennis and MUGA, but increased space for community use and more service users.</p>	
<p>Pros</p>	<p>Cons</p>
<ul style="list-style-type: none"> ○ Inspiring, and ability to lift the community's sense of aspiration ○ Can accommodate more groups and more activity ○ Cost not significantly different from option 1 ○ Potentially fundable within the funding strategy parameters 	<ul style="list-style-type: none"> ○ Can't replicate all activity that happens in the village hall and church, though some can be accommodated ○ Village Hall, Reid Hall and church would continue to struggle ○ Not possible to have larger community events, family parties, seasonal events etc
<p>Recommended Action</p>	
<p>We recommend that if this option is considered, it should be expanded slightly as there is a need for more space and some lee-way in the funding potential.</p>	

<p>Option 3 : BOLD</p>
<p>This is an ambitious model, involving sale of the Village Hall site, absorption of the Episcopal hall into the development and accommodation of Reid Hall users when that facility becomes</p>

unusable. This option is for a place based multi-use centre, with a health and well-being element rather than a sports centre with community add-ons.	
Pros	Cons
<ul style="list-style-type: none"> ○ A long term visionary project ○ Address long debated issues with the condition of other facilities ○ Creates a cohesive project, drawing all local groups into a single vision with external groups bringing financial sustainability 	<ul style="list-style-type: none"> ○ Too expensive and potentially un-fundable ○ Likely to require increased staffing and therefore puts pressure on sustainability ○ Difficult negotiation with local partners, all of whom have complex issues that may be impossible to resolve. Risk is that a lot of time can be wasted.
Recommended Action	
<p>We recommend that SDT takes an assertively proactive role creating a collaborative village wide strategic project involving a capital development in partnership with the Village Hall and the Episcopal Church.</p> <p>In this context, cost savings may need to be made.</p>	

5.3 Accommodation Schedule

An accommodation matrix is difficult until a final preferred model is chosen as there is a lack of clarity to what extent this facility needs to accommodate the majority of community groups.

Based on the evidence of need, the following accommodation matrix recommends which services / facilities should be included in the new an ideal development, and ranks / scores each (1 being *low* and 3 being *high*) on:

- Evidenced Demand – scores on *demand* and the level of evidence that has been gathered to support this.
- Social Impact – scores on the social outcomes the service / facility will deliver to the community, and the extent to which it will meet funding outcomes.
- Viability Impact – scores on income generation potential.

Service / Facility	Evidenced Demand	Social or Health Impact	Viability impact (ability to generate income)	Comments	Space Requirements
Tennis	3	3	2	Need to negotiate how fees are generated, whether individuals or group	Two tennis courts – set into MUGA Usage = two evenings plus coaching Limited use of building
Bowling	3	2	3	Further detail required	Sole use of bowling green Shared use of changing and lockers Shared use of social space User of larger hall for carpet bowls
Football	3	3	1	Pitch hire to be discussed	Shared use of changing rooms. Need away and home dressing room. Use of gym and other space for training
Other Sport	2	3	2	Small demand largely cycling and free-running Some demand from school but likely to be small	Off road cycling area and links to cycle tracks in and beyond the village. Cycling group use space for meetings and training Could create a home for local cycling, bike hire, bike repair etc

					Free-runners need bespoke equipment ideally for up to 90 people.
Water Sport	1	3	1	May be persuaded to use café if marketing is good. Limited usage for meetings Little use of changing	Minimal
Other community groups	2	3	1	Main demand from Village Hall users Potential Reid Hall users	See timetable Medium sized room (around 40 people) – not much demand for large space
Space for social events for families and community	3	2	3	Eg back-up to Christmas event	Enough for up to 100 people
Café	2	2	3	Hub of the centre, to create an open welcoming atmosphere with display boards, information, small exhibition space Nervousness around sustainability so perhaps consider pop up volunteer run cafe	Needs to be family orientated
Fitness suite	2	2	2	Space for around 15 pieces of equipment	Modest. Perhaps 20m2
Interview rooms	1	1	1	No clear demand for this but there is a likelihood that users will require quiet space	Room for 3 people

Additional Shared Space
Toilets
Small Office accommodation for 2 desks if possible – or just a work station.
Outdoor garden space if there is enough on that footprint.
Cycle racks
Storage - significant and to be tested

Appendix 1 : Cash Flow Projection Model

Stanley Community Sports Hub - Year 1

			Month1	Month2	Month3	Month4	Month5	Month6	Month7	Month8	Month9	Month10	Month11	Month12	Totals	Notes
			5	4	4	5	4	4	5	4	5	4	4	4		
<i>Weeks per month</i>																
<i>Community rate per hour for hall</i>																
<i>Commercial rate per hour for hall</i>																
<i>Community rate per hour for MUGA</i>																
<i>Commercial rate per hour for MUGA</i>																
<i>Small hall lets community rate</i>																
<i>Small hall lets commercial rate</i>																
<i>Total potential hours available per week (day time)</i>			40	40	40	40	40	40	40	40	40	40	40	40		
<i>Total potential hours available per week (evening and weekend)</i>			44	44	44	44	44	44	44	44	44	44	44	44		
Sales	Catering	<i>Light refreshments, drinks, rolls etc</i>														0
	Catering for events	<i>Buffets for parties and events</i>														
	Bar trading at events	<i>Proportion of events</i>														
	Contracts															
Pitch Hire	Let of space day	<i>Occupancy levels</i>		£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	0
	Let of space eve & w/e			£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	£0.00	0
	Total Sales		£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	0
Direct Costs	Catering costs	<i>40% of sales</i>	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	0
	Bar costs	<i>30% of sales</i>	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	0
	VAT		£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	0
	Total Product Cost		£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	0
Overhead Expenses	Advertising	<i>£50 per week</i>	£250	£400	£400	£500	£400	£400	£500	£400	£500	£400	£400	£400	£400	4,950
	Rates (per week)	<i>£25</i>	£125	£100	£100	£125	£100	£100	£125	£100	£125	£100	£100	£100	£100	1,300
	Gas / Electric (per week)	<i>£50</i>	£250	£200	£200	£250	£200	£200	£250	£200	£250	£200	£200	£200	£200	2,600
	Insurance (per week)	<i>£60</i>	£300	£240	£240	£300	£240	£240	£300	£240	£300	£240	£240	£240	£240	3,120
	Misc	<i>5.00%</i>	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	0
	Stationery & Admin	<i>estimate</i>	£25	£25	£25	£25	£25	£25	£25	£25	£25	£25	£25	£25	£25	300
	Staff costs	<i>See separate spreadsheet</i>	£4,294	£4,294	£4,294	£4,294	£4,294	£4,294	£4,294	£4,294	£4,294	£4,294	£4,294	£4,294	£4,294	51,530
	Volunteer Expenses		£50	£50	£50	£50	£50	£50	£50	£50	£50	£50	£50	£50	£50	600
	Professional fees							1000							£2,000	3,000
	Repairs & Maintenance		£200	£200	£200	£200	£200	£200	£200	£200	£200	£200	£200	£200	£200	2,400
	Total		£5,494	£5,509	£5,509	£5,744	£5,509	£5,509	£6,744	£5,509	£5,744	£5,509	£5,509	£7,509	£69,800	0
Operating Profit			-£5,494	-£5,509	-£5,509	-£5,744	-£5,509	-£5,509	-£6,744	-£5,509	-£5,744	-£5,509	-£5,509	-£7,509	-£69,800	0
Operating Cash Flow			-£5,494	-£11,003	-£16,513	-£22,257	-£27,766	-£33,275	-£40,019	-£45,529	-£51,273	-£56,782	-£62,291	-£69,800		
Cash Flow	Sales		£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	0
Grant	Revenue start up grant	<i>To support staff costs</i>														0
	Total income		£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	0
	VAT reclaim	<i>Nominal sum</i>	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	0
	Direct Costs		£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	£0	0
Cash Flow	Overhead Costs		£5,494	£5,509	£5,509	£5,744	£5,509	£5,509	£6,744	£5,509	£5,744	£5,509	£5,509	£7,509	£69,800	
	Total Costs		£5,494	£5,509	£5,509	£5,744	£5,509	£5,509	£6,744	£5,509	£5,744	£5,509	£5,509	£7,509	£69,800	
	Gross Operating Profit		-£5,494	-£5,509	-£5,509	-£5,744	-£5,509	-£5,509	-£6,744	-£5,509	-£5,744	-£5,509	-£5,509	-£7,509	-£69,800	

Chronological Listing of Community Consultations and Survey
Proposed Stanley Community Hub

Date	Event
2009	Community Action Plan
2012	Community Enterprise Village Hall Survey
2013	Community Enterprise Sports Hub Survey
from April 2014	Steering Group includes representatives from VH, Stanley FC, Bowling Club, Tennis Club, SDT
Jan 2015	Community consultation as part of work for Stanley Masterplan
from May 2015	Community Enterprise Consultation with Stakeholders as part of feasibility Study
from May 2015	Community Enterprise Community Consultation as part of Feasibility Study
May 2015	Meetings with immediate residential neighbours
29 June 2015	Community Hub Open Event
February 2017	Meetings with immediate residential neighbours
19 February 2017	Feasibility update Afternoon
October 2019	Meetings with immediate residential neighbours
6 Nov 2019	AGM presentation to Members and invited guests Inc Local and Elected Councillors, Bishop from St Columbus, Minister from Stanley Parish Church
February 2020	Meetings with immediate residential neighbours
December 2021	Community Consultation regarding the relocation of the War Memorial
On going	Meetings with Community & Elected Councillors Discussions with Friends of Stanley Primary School Meetings with Stanley Primary School, PKC Education Department, PKC Estates Discussions with other potential users inc Badminton Club, Dance & Fitness Class instructors, Brownie Pack, WRI, Meetings with representatives from St Columbus Church (Congregation, Bishop and parish Management)

Listing correct as of 17 June 2022

STANLEY



COMMUNITY ACTION PLAN 2010 – 2015

STANLEY COMMUNITY FUTURES

Stanley Development Trust

Stanley and District Community Council

Stanley Tenants and Residents Association



INTRODUCTION



STANLEY COMMUNITY ACTION PLAN

This Community Action Plan summarises community views about:

- Stanley now
- the vision for the future of Stanley
- the issues that matter most to the community
- our priorities for projects and action.

The plan will be our guide for what we - as a community - try to make happen over the next 5 years.

STANLEY COMMUNITY FUTURES STEERING GROUP

The preparation of the Action Plan has been guided by a local steering group which brought together the main community development organisations in Stanley. The Stanley Community Futures Steering Group was made up of representatives from Stanley Development Trust, Stanley and District Community Council and the Stanley Tenants and Residents Association. The Steering Group also included two representatives from young people in Stanley.

LOCAL PEOPLE HAVE THEIR SAY

The Action Plan has been informed by extensive community engagement carried out over a five month period from May – September 2009.

The process involved:

- stakeholder interviews and meetings - with different groups and individuals representing all aspects of the community;
 - carrying out a community views survey, which was delivered to all households;
 - preparing a community profile detailing facts and figures about the community;
 - organising a Community Futures Event.
- **23 STAKEHOLDER MEETINGS AND INTERVIEWS WERE HELD WITH LOCAL GROUPS AND INTERESTS**
 - **269 COMMUNITY VIEWS SURVEY FORMS WERE RETURNED FROM OUR 900 HOUSEHOLDS**
 - **189 PEOPLE ATTENDED THE COMMUNITY FUTURES EVENT THANKS TO EVERYONE WHO TOOK PART**

OUR COMMUNITY NOW



We have summarised below the main facts and figures from the Community Profile and some of the views from the Community Views Survey.

STANLEY COMMUNITY PROFILE 2009 - SUMMARY

Location

Stanley is an attractive village seven miles to the north of Perth set close to the River Tay and in the heart of rural Perthshire. The wider area covered by the Stanley Development Trust includes the smaller settlements of Airntully and Kinclaven.

The village was originally established in 1784 as a 'mill village' to serve Stanley Mills. The closure of the Mill in 1989 and its eventual redevelopment as a Heritage Centre and private housing has brought with it an inevitable change in the community with more people commuting into Perth for work and a greater mix of people living in the community than when half the population worked in the Mill.

Population

The wider area covered by Stanley Development Trust is thought to have a population in excess of 2200. The village itself now has an estimated population of around 1,800 (Scottish Government Estimate, 2007). The 2007 figures show that there are higher percentages of children and people of working age in Stanley than there are in Perth and Kinross and Scotland.

Housing

It is estimated there are 920+ homes in our area of study of which 760 are in around Stanley itself. The 160+ houses in the surrounding countryside are for the most part scattered thinly, but with small concentrations at Airntully, Kinclaven Green/ Balmain and Gowrie.

While owner occupation is on the increase, Stanley still has high levels of rented accommodation compared to Perth and Kinross as a whole. There has been a shift from private rented accommodation linked to the Mill as former mill-owned dwellings are now managed by the Hillcrest Housing Association. There has also been a growth in second home ownership with the purchase of many of the flats in Stanley Mills for second homes and holiday lets. There are a number of proposals for expanding housing in the area.

Employment and the Local Economy

The main employment sectors for people living in Stanley are in manufacturing, wholesale and retail, building/construction, services and health and social services. The village is now popular with commuters due to its proximity to Perth and the main road networks.



OUR COMMUNITY NOW



Some of the local economy highlights include:

- The importance of fishing on the Tay
- Stanley Mills – with over 26,000 visitors in 2008 its first year of operation
- The attractions offered by e.g. Active Kids, Stewart Tower and Ballathie Farm Shop and Restaurant
- The Lynton Farm small industrial units
- The Ballathie and Tayside Hotels
- The great range of local shops and services
- A good number of local tradesmen (2% higher than the Scottish average)
- Speakeasy Productions, a global video & multi-media production company
- n-power renewables/RWE, currently located at Stanley Mills.

Education and Childcare

- Stanley Primary School
- Perth Grammar School and St. Columba's
- The primary school in Luncarty offers wraparound and holiday childcare care.

Health and Care Services

- Stanley Medical Centre – GP services and primary care services
- Hospitals in Perth, Dundee and Blairgowrie
- There is no residential care in Stanley, the nearest facility is in Luncarty
- There are a limited number of sheltered houses in Stanley.

Social and Community

Local voluntary and community organizations include:

Angling Club, Army Cadets (12-18 year olds), Bowling Club, Brownies, Church of Scotland, Guild, Highland Dancing, Masonic Lodge, Parents & Toddlers, Rifle Club, Scottish Women's Rural Institute, St Columba's Episcopal Church, Stanley & Kinclaven District Community Council, Stanley Development Trust, Tenants and Residents' Association, Tennis Club, Badminton Club, Village Hall Committee, West Stormont Historical Society.

Indoor facilities

Stanley Village Hall, Reid Halls, Kinclaven Church Hall, Community Room – Stanley Mill, Tayside Hotel.

Outdoor facilities

Playing Field at the School, 2 Play Parks, Tennis Courts, Bowling Green, Linn Beach for picnics and swimming.

OUR COMMUNITY NOW



Roads and Transport

Stanley is 2 miles from the main A9. Locally, Stanley is linked by a series of B Class roads which connect to other main roads which link it to Blairgowrie, Coupar Angus and beyond to Aberdeen. These routes tend to form a thoroughfare between Aberdeen and Edinburgh/Glasgow, which results in a disproportionate amount of heavy traffic passing through the village.

The bus service which connects Stanley to Perth is run by Stagecoach. Outlying settlements such as Airntully and Kinclaven have no bus service. A new service to Blairgowrie has been introduced and runs several times a day. The nearest railway station is at Perth.

Environment and outdoor activities

The estimate of land use outwith the main settlements is that 60% is arable farmland and 30% is used for forestry. The remaining 10% is made up of areas of rough pasture, the riverbank and the disused railway line running from the village towards Ballathie.

Special features

- River Tay is a designated Special Area of Conservation
- The two lochs in the area (Kingsmyre and Old England) and the River Tay at Thistle Brig are listed as Sites of Special Scientific Interest.

Outdoor activities feature:

- Fishing – with six world class salmon beats in the area and nearby
- A thriving local angling club
- Shooting and stalking on several estates
- Canoeing, rafting and swimming
- Walking in local Forestry Commission woods - 5 Mile Wood and Taymount.





OUR COMMUNITY NOW

Culture and Heritage

Stanley Mills. The Mill was built by Richard Arkwright and first opened in 1787. It originally produced cotton and provided employment for Highlanders affected by the clearances. Stanley Mills finally closed as a textile works in 1989. The whole site was purchased in 1996 by Historic Scotland and the Bell Mill has been opened as a Heritage Centre in 2008. The Bell Mill has been described as “probably the finest surviving example of an early Arkwright mill anywhere in the world.”

Other heritage assets

Important Stanley, Kinclaven and Airtully heritage features include:

- 60 listed buildings of historic or architectural interest
- Old settlements, round houses, souterrains, enclosures and other hidden remains of the past with particularly interesting concentrations around Gowrie, Kercock and Newmill
- Stone cairns and earthen barrows (burial mounds) as well as a standing stone
- Kinclaven Castle - a royal hunting seat, it has a genuine connection with William Wallace and his adversary King Edward I of England, who stayed here in 1296
- Inchbervis (Inshtruie) Castle – the remains of this fortification are in the bend of the Tay east of the village
- Tower Church – which houses a pendulum clock made by Richard Roberts of Manchester. Only one other similar clock exists and is in Russia.



OUR COMMUNITY NOW



COMMUNITY VIEWS SURVEY

LIKES AND DISLIKES

	LIKE	% Responses
	<p>Local shops and services <i>"It's got everything you need – Spar, Doctors, Chemist, Butcher and Post Office so you don't have to venture into town if you don't want."</i> <i>"Having a decent Post Office where nothing is ever a bother."</i> <i>"We are very lucky to have the number of shops in the village – you can get everything you needs. The Kids Activity Play area also brings in visitors to the village."</i></p>	46%
	<p>The nature of the village – quiet/size/village atmosphere <i>"Stanley is a relatively peaceful rural village which has evolved gradually from a small mill village into a medium sized village without losing its character"</i> <i>"A real village where people live – not full of holiday homes. A mixed community"</i> <i>"Right size neither too big or too small"</i> <i>"Airtully is where I live – and I like it because it feels remote, but is actually very close to everything we need.....I like the mix of ages in Airtully – lots of children up to lots of retired – I like the free range chickens wandering around!"</i></p>	26%
	<p>Access to the outdoors/countryside <i>"It is surrounded by beautiful countryside and has a splendid river running through it"</i> <i>"I like the walks around Stanley, 5 mile wood, The Mill and the Linn."</i> <i>"We are lucky to have the Beach area down the Linn"</i></p>	26%
	<p>Community spirit – friendly <i>"Generally Stanley is a very nice place to live with friendly neighbours and a community spirit."</i> <i>"I have experienced nothing but friendliness from all the people I have met since taking up residence here"</i></p>	25%
	<p>Location <i>"Stanley is ideally situated for commuting to Perth, Blairgowrie, Pitlochry, Crieff and is close to main roads for travelling further".</i></p>	23%
	<p>Heritage and culture <i>The village has a significant history arising from the Stanley Mills, now operated as a tourist attraction by Historic Scotland."</i> <i>"Historic Scotland – Mill good to see it vibrant again"</i> <i>"Mill is a wonderful facility and the education work it has done with the school has been very valuable"</i></p>	20%
	<p>Transport <i>"Good bus route to town"</i> <i>"Bus Services better now than when I first came to Stanley"</i></p>	46%
	<p>Village - built environment and open spaces <i>"Lovely kirk and attractive village square"</i> <i>"Attractive main street gardens"</i> <i>"Village green and school at the centre of the village"</i></p>	13%
	<p>Community facilities and activities</p>	5%



OUR COMMUNITY NOW

DISLIKE	% Responses
<p>Community safety – anti social behaviour – housing allocation policy <i>“I don’t like the way that Stanley is used by Housing Associations and Council to rehouse ‘problem’ families.”</i> <i>“There seems to be more and more trouble in the village it is not safe or does not feel safe for people at night.”</i> <i>“Vandalism at The Cross spoils area and it’s the first thing that visitors see.”</i></p>	47%
<p>Traffic <i>“I don’t like the busy Perth Road and think the speed limits are ignored and the zebra crossing is dangerous. Too much heavy traffic through the village.”</i> <i>“Traffic through the village and on B9099 Kinclaven-Stanley Road. Speed & volume of traffic dangerous to pedestrians and cyclists.”</i></p>	30%
<p>Lack of community facilities, activities and events <i>“No modern community hall where groups could meet or have social events. Facility for changing for tennis court, football fields required.”</i> <i>“No youth worker, community learning centre etc unlike other villages”</i> <i>“I feel that young people of the village (12 -16) are not catered for as regards to ‘places to go’ ie. Youth club.”</i></p>	28%
<p>Village environment and open spaces <i>“The Parks here are I feel sorely lacking in imagination considering how many children live here”. “Litter always around.”</i> <i>“Could be more floral (especially around The Cross.)”</i> <i>“The Linn/Beach area that is not looked after there are hardly any bins down there so no wonder it gets to that state.”</i></p>	23%
<p>Lack of access to the countryside <i>“Poor provision of circular walks other than on public roads.”</i> <i>“No defined walk or access to River Tay.”</i> <i>“Lack of good paths for walking either circular walks or walks to Luncarty etc.”</i> <i>“Lack of safe cycle route to link to Luncarty”</i></p>	11%
<p>Proposed housing development <i>“Threat to structure of village community by imposition of additional housing inappropriate to scale/mix of existing housing.”</i> <i>“Stanley is under a serious threat from major development around the village which could destroy its historical nature and attractiveness to residents and visitors alike.”</i> <i>“Don’t like the thought of hundreds of new houses being built in the village spoiling the ambience and turning into a soulless suburb to Perth.”</i></p>	10%

OUR COMMUNITY NOW



	DISLIKE	% Responses
	<p>Lack of infrastructure <i>"No gas supply. Poor mobile phone reception in places." "Communication, Broadband, mobile signal, digital TV not very good."</i></p>	8%
	<p>Lack of community cohesion <i>"Not the community it was no more galas in which everyone was involved." "Seeming loss of village spirit. Outside influences often detrimental." "The lack of community spirit, other villages close by have clubs, events etc. running on a daily basis."</i></p>	8%
	<p>Transport <i>"Not a good bus service between Stanley, Bankfoot, Blairgowrie." "No public transport service available along the Kinclaven/Ballathie Rd."</i></p>	5%
	<p>Lack of amenities and services <i>"There is no café. Mill area not developed - hoped for hotel not going ahead." "Lack of café/restaurant."</i></p>	4%
	<p>School and childcare <i>"Lack of nursery/creche, wrap around care at school makes childcare provision poor and life hard for working parents "School roll fallen from 150-100 other schools nearby at capacity."</i></p>	4%
	<p>Not doing enough for visitors <i>"More could be done to entice visitors especially to the river e.g. picnic area." "The River Tay is not well enough promoted."</i></p>	2%



STANLEY - OUR VISION FOR THE FUTURE

This statement has been prepared to summarise the main aspirations for the future as expressed by local people and organisations

Historic Village on the River Tay

Stanley will continue to develop as an attractive Historic Village with strong links to the River Tay and Stanley Mills.

A centre for outdoor recreation

Stanley will be a great place for fishing, canoeing and walking with good access to the River Tay and a good network of local paths

An attractive place to live in and visit

Stanley will be an attractive place to live in and visit with good quality well maintained open space, play areas and access to the countryside. Any housing or economic development will be carried out sympathetically to ensure that the village, the environment and local heritage is not compromised.

A village with good community and sports facilities, activities and events

It will have high quality and well used community and sports facilities with activities and events for the whole community.

A safe place to live with good community spirit

Stanley will be a safe place to live with people and local groups working well together.

MAIN STRATEGIES AND PRIORITIES



These are the main strategies and priorities the community will work towards achieving in partnership with public agencies and other supporters.

COMMUNITY AND SPORTS FACILITIES AND ACTIVITIES

There is a strong community desire to improve and develop local community facilities. There is currently a range of sub-standard provision – a jigsaw of provision that currently doesn't join together to give a complete picture and which has some missing bits! All the existing providers and other interested parties need to come together and plan something exciting and modern in the centre of the village that will provide well for a range of needs.

While new facilities are being researched there is still a need to get on with providing more activities for the young, for the elderly and indeed for all ages. There used to be more going on in Stanley than there is now and immediate action should be taken to look at organising more activities and events.

Main priorities

1. Improve and develop community and sports facilities
2. Develop youth provision
3. Organise and promote more activities and events

VILLAGE ENHANCEMENT, GREEN SPACES AND HERITAGE

Stanley is still today one of the finest examples in Perthshire of an 18th Century planned village and lies in a great location in the heart of the countryside and beside the Tay. Yet it doesn't look as good as it could and could do more now to show off its historic past and make the most of its environment and green spaces.

In enhancing the village there is a real opportunity to make more of the local heritage and incorporate it in improvements at The Cross and in street signage and furniture and even in a creative approach to redesign of the play areas.

Main priorities

1. Set up Village in Bloom group
2. Upgrade existing green spaces
3. Upgrade play areas
4. Make more of our local heritage
5. Develop community garden

COMMUNITY SAFETY

There are two main issues that affect the community's safety that were both identified as high priorities - traffic and anti social behaviour. Traffic is a major concern with local roads being used as a shortcut by cars and heavy goods vehicles. This leads to high volume and often speeding traffic going through the village and along small country roads.

The results of the community consultation also showed the deep concern people have about the effect of anti social behaviour on community safety in Stanley and on community spirit, local organisations and the village environment.

Main priorities include:

1. Traffic calming
2. Reduce anti social behaviour



MAIN STRATEGIES AND PRIORITIES

PATHS, CYCLEWAYS AND ACCESS

Stanley is situated in a great location in the heart of the countryside, but residents need better access out into it! There are two main issues. The first is the need to create 'functional' routes that connect Stanley and the other small villages into the main cycle routes that provide access to Perth. The other is to develop a recreational network of paths around the village – creating circular walks that improve access along the Tay and provide safe links into nearby woodland. Both of these measures have the potential to contribute to the local economy as well as providing recreational and health benefits. The other issue that was raised by the consultation was about the how much local people appreciated the Linn Beach and the need to protect and enhance it as an asset so that it can be enjoyed by locals and visitors.

Main priorities

1. Develop cycleways linking the villages
2. Develop local paths network
3. Improve Linn Beach

TOURISM, LOCAL ECONOMY AND HERITAGE

There is the potential to develop 'tourism' in Stanley. The Mill, the River Tay and surrounding countryside, and the village's great location, provide the basis for trying to encourage more visitors to stop and stay, enjoy the area and contribute to the local economy. There is a need to promote these assets more and make sure they are linked to the local village itself.

Main priorities

1. Promote Stanley
2. Investigate historic designation for the village
3. Establish a café in the village and/or Stanley Mill

PLANNING AND DEVELOPMENT

There are proposals for significant housing development in and around Stanley. It is important that the community are well represented and that their views are taken into account in the decision making process about these proposals. It is important that any decisions about scale, location, type and design quality are strongly influenced by and take account of the historic nature of the village and the need to develop and improve community facilities, open spaces and access to the countryside.

Main priorities

1. Encourage balanced development
2. Link development to community benefit

ACTION



A guide to the first steps to be taken over the next 12 months.

THEME 1: COMMUNITY AND SPORTS FACILITIES AND ACTIVITIES

PRIORITY 1

Improve and develop community and sports facilities

- Convene meeting of all interested parties
- Form Working Group
- Research/ visit other centres
- Prepare feasibility study brief
- Commission feasibility study

Action By

Stanley Development Trust to help establish Community and Sports Centre Working Group by bringing together representatives from the Trust, Community Council, School, Village Hall, Tennis Club, Bowling Club, Churches.

PRIORITY 2

Develop youth provision

- Involve young people in researching activities, events and activities that they would like to see in the village
- Develop youth club/ youth activities etc. in line with what is wanted

Action By

Stanley Development Trust to work with Perth and Kinross Council Community/ Youth Workers.

PRIORITY 3

Organise and promote activities and events

- Set up small working group to help develop more activities and events
- Provide more What's On Information about Stanley

Action By

Stanley Development Trust to set up small specialist Activities Group to organise and promote activities and events.



ACTION

THEME 2: VILLAGE ENHANCEMENT, GREEN SPACES AND HERITAGE

PRIORITY 1

Establish Village in Bloom Group

- Bring interested parties together
- Research how other villages have set up and operate Village in Bloom Groups
- Establish local group and develop proposals for local improvements
- Apply for funding to support the Group.

Action by

Stanley Development Trust, Community Council, TRA to convene special Village in Bloom meeting with the aim of setting up a local Village in Bloom Steering Group.

PRIORITY 2

Improve main green spaces

- Look at the potential to redevelop The Cross, Murray Place Gardens and other open spaces.
- Develop proposals for improvements
- Try to implement proposals.

Action by

Village in Bloom Group once established working closely with Perth and Kinross Council.

PRIORITY 3

Improve Play Areas

- Research other play areas
- Involve parents and children in this process
- Organise support/funding to help with design and costing
- Raise funds for improvements
- Develop new play area.

Action by

Stanley Development Trust working with Perth and Kinross Council and local parents and school.

PRIORITY 4

Make more of the local heritage

- Look at how local heritage can be incorporated into upgrading of the Open Spaces and Play Areas.
- Look at other ways of making local heritage more evident throughout the community e.g. street signs, Heritage Trail through the village.

Action By

Something for all to explore and bear in mind – and working in partnership with the West Stormont Historical Society and Historic Scotland.

PRIORITY 5

Develop community garden

- Bring Medical Centre, School, TRA and other interested parties together to explore options and enable them to progress the development of this initiative.

Action by

Stanley Development Trust to pursue with the Medical Centre, School and key people with skills and interests in producing local food and in healthy eating.

ACTION



THEME 3: COMMUNITY SAFETY

PRIORITY 1

Traffic Calming

- Village study required on how best to manage traffic and parking arrangements
- Develop proposals recommended by the study
- Study should include local research on how other communities have carried out calming measures.

Action by

Community Council supported by other groups, and Perth and Kinross Council to commission Traffic Calming Study.

PRIORITY 2

Reduce anti social behaviour

- Work with the Police, local authority and housing associations to address this issue.

Action by

Need to involve all local organisations in this issue to support the work already being done by the TRA.

THEME 4: PATHS, CYCLEWAYS ACCESS

PRIORITY 1

Develop cycleways linking the villages

- Support and progress the development of a cycle path between Stanley and Luncarty
- Support and progress development of a cycle path between Stanley and Kinclaven.

PRIORITY 2

Develop local paths network

- Develop and support existing proposals for a local paths network
- Establish a Paths Action Group to take proposals forward.

Priorities 1 and 2 Action by

Stanley Development Trust to establish Paths Action Group as a dedicated group working to develop paths in the area and able to work closely with the Council, Perth and Kinross Countryside Trust and Sustrans.

PRIORITY 3

Improve the Linn Beach

- Agree a management / development plan for the area.

Action by

Stanley Development Trust to work with landowners, Community Council and Perth & Kinross Council.



ACTION

THEME 5: TOURISM AND HERITAGE

PRIORITY 1

Promote Stanley

- Joint business and community initiative to develop promotional material e.g. web site, signage, leaflets, noticeboards/local interpretation.

PRIORITY 2

Investigate historic designation for the village

- Explore the potential to designate, develop and promote Stanley as a Historic Village.

PRIORITY 3

Establish café in the village or Stanley Mill

- Carry out feasibility study for a café in the Village or Mill – either through encouraging a private business or by through establishing a social/community enterprise.

Action on all priorities by

Stanley Development Trust to organize and coordinate local business/tourism sector meetings to develop proposals and carry them forward.

This could lead to the formation of a Tourism Marketing sub group.

THEME 6: PLANNING AND DEVELOPMENT

PRIORITY 1

Encourage balanced development

- Maintain links and discussion with landowners, developers and Council.
- Explore options for the community to prepare its own proposals to feed into the Council's development plan process.

Action by

Community Council with support from other local groups.

PRIORITY 2

Link development to community benefit

- Make sure that any planning gain is linked to the priorities within this Action Plan.

Action by

Community Council and Stanley Development Trust

MAKING IT HAPPEN



Responsibility for taking forward the action plan locally will lie jointly with the main organisations in the community Stanley Development Trust, Stanley and District Community Council and Stanley Tenants and Residents Association working with local residents, local businesses and public agencies.

If you are interested and want to get involved or know more about any of the Themes please contact the following people.

Themes	Key Contacts	Email addresses
COMMUNITY AND SPORTS	Munro Gauld	munro.gauld@tiscali.co.uk
VILLAGE ENHANCEMENT	Gordon Lammie	gordon@lammie4.wanadoo.co.uk
PATHS AND THE ENVIRONMENT	Gordon Lammie	gordon@lammie4.wanadoo.co.uk
COMMUNITY SAFETY	Gavin Davey	gavinjdavey@btinternet.com
TOURISM AND HERITAGE	Leslie Fraser	leslie.fraser@strathord.net
PLANNING AND DEVELOPMENT	Will Lindsay	lindsay.taymount@btinternet.com

For general information contact:

Stanley Development Trust

Chairperson: Gavin Davey
email: gavinjdavey@btinternet.com
Tel: 01738 828796

Stanley and District Community Council

Chairperson: Will Lindsay
email: lindsay.taymount@btinternet.com
Tel: 01738 828984

Stanley Tenants and Residents Association

Chairperson: Mary Nicoll
Tel: 01738 828464

STANLEY COMMUNITY ACTION PLAN 2010-2015

This Community Action Plan sets out the priorities for the development of Stanley over the next 5 years as determined by the community through an extensive process of community engagement carried out over a five month period in 2009.

The Plan contains

A summary of our Community Profile

Our main likes and dislikes as identified in our Community Views Household Survey

Our Vision Statement for the Future of Stanley

The main themes and priorities for action

Information on how you can stay in touch and get involved.

Thanks to all those who took their time to share their views and take part. Particular thanks also to all the volunteers who assisted with the household survey.

We are grateful to our funders for helping us carry out this exercise and look forward to working with them to help turn this plan into action.

A special thanks to Stanley and District Community Council for part funding the production of this Action Plan report.



Acknowledgements



Community Futures

Community Action Planning and Community Engagement

Stanley prepared this Community Action Plan with the assistance of the Small Town and Rural Development Group's Community Futures Programme.

Contact Colin Roxburgh email: colinroxstar@tiscali.co.uk

We are grateful to Munro Gauld, Heidi Knorr and William Lindsay for providing the photographs throughout the Action Plan.

**STANLEY COMMUNITY ACTION PLAN –
TASKS AS AGREED AT COMMUNITY ORGANISATIONS MEETING ON 25TH MAY 2010 and updated September 2011**

Reference	Task	Lead	Supported By	Remarks
THEME 1: COMMUNITY AND SPORTS FACILITIES AND ACTIVITIES				
1.1	Improve and develop community and sports facilities	SDT	CC, TRA, Tennis Club, Bowling Club, churches	Establish Community and Sports Centre Working Group by bringing together representatives from all of the organizations.
	1.1.1 Convene meeting of all interested parties			
	1.1.2 Form Working Group			Sub committee of SDT board working with St Columbas and Tennis Club. SDT also attend Village Hall meetings.
	1.1.3 Research/ visit other centres			Have visited Guildtown and Twechar and spoken to other centre in Edinburgh. Also need to talk to Dunning. Attended SENSCOT sport Conference and met with Sport Development Worker. Contact made with Sport Scotland contact in PKC.
	1.1.4 Prepare feasibility study brief			Need to complete brief
	1.1.5 Commission feasibility study			Draft funding bid completed July. Commission village wide needs survey to include Village Hall and St Columba's Hall.
1.2	Develop youth provision	SDT	PKC Community Capacity \BuiLding	SDTrust to work with Perth and Kinross Community/

				Officers and Youth Workers	Youth Workers. Two volunteer now had child protection training. Policies and procedures in place. Need to train wider volunteer pool in child protection. Need suitable venue.
	1.2.1	Involve young people in researching activities, events and activities that they would like to see in the village			SCID (from Blairgowrie) are coming to speak to AGM Oct 2011
	1.2.2	Develop youth club/ youth activities etc. in line with what is wanted	Julie and Ian		Help given to parent volunteers to set up Stanley Socca Foot ball club and secure funding and permission to establish new pitch.
1.3		Organise and promote activities and events	Village Hall Committee	CC, TRA, churches, SDT	Plant sale. Quiz night , 2 race nights and ceilidh all complete along with series of coffee mornings in village hall.
	1.3.1	Set up small working group to help develop more activities and events			Village Hall now running many more activities. NHS piloting older people's activity class.
	1.3.2	Provide more What's On Information about Stanley			SDT website complete and open to all local groups to promote their events and news

Reference	Task	Lead	Supported By	Remarks
THEME 2: VILLAGE ENHANCEMENT, GREEN SPACES AND HERITAGE				
2.1	Establish Village in Bloom Group	CC	SDT, TRA, PKC, school, brownies/guides, Young People, PKC Ranger Service	Completed by Stanley in Bloom
	2.1.1 Bring interested parties together			Completed by Stanley in Bloom
	2.1.2 Research how other villages have set up and operate Village in Bloom Groups			Completed by Stanley in Bloom
	2.1.3 Establish local group and develop proposals for local improvements			Completed by Stanley in Bloom
	2.1.4 Apply for funding to support the Group.			Completed by Stanley in Bloom
2.2	Improve Main Green Spaces	CC	SDT, TRA, PKC, school, brownies/guides, Young People, PKC Ranger Service	
	2.2.1 Look at the potential to redevelop The Cross, Murray Place Gardens and other open spaces.			Completed by Stanley in Bloom
	2.2.2 Develop proposals for improvements			Completed by Stanley in Bloom
	2.2.3 Implement proposals: Stanley Cross including sculpture, bulb planting, Murray Place tree planting, planters throughout village			Completed by Stanley in Bloom
2.3	Develop Community Garden	SDT	SDT, TRA, PKC, school, brownies/guides, Young People, PKC Ranger Service	

Reference	Task	Lead	Supported By	Remarks
2.3.1	Bring Medical Centre, School, TRA and other interested parties together to explore options and enable them to progress the development of this initiative.			
2.4	Improve Play Areas	SDT	CC, PKC, school, TRA, Young People, Police, Village Hall, Active Kids	
2.4.1	Research other play areas			
2.4.2	Involve parents and children in this process			
2.4.3	Organise support/funding to help with design and costing			
2.4.4	Raise funds for improvements			
2.4.5	Develop new play area.			
2.5	Investigate options for Food growing project	SDT – JL		
2.5.1	Research legalities around allotments		Katrina Marshall	Completed
2.5.2	Research support organisations		Judith Lowes	Completed
2.5.3	Conduct survey in village to establish need and demand for food growing	KM/JL	Judith Lowes	Completed
2.5.4	Explore options with medical centre		JL and GL	Site investigated. On hold. As garden share scheme best way to meet initial demand.
2.5.5	Consider possible event – e.g. harvest supper Autumn 2011		KM and BL	Plant sale held May. More events to be considered
2.5.6	Might communal seed buying be of interest?		KM	Explore at meeting in Dec
2.5.7	Establish demand for spaces for food growing	SDT		SDT held Community Food Growing Project Open meeting on 21 st February 2011 and distributed village survey.
2.5.8	Garden share project established.			6 offers of space and 6 potential growers in season 1. Spoke to other local scheme (Lethan) and researched legal agreements.

Reference	Task	Lead	Supported By	Remarks
2.5.9	Find space for polytunnel (s)			
2.5.10	Identify area for community orchard			Investigate Network Rail adoption scheme
2.5.11	Set up series of meetings and talks for autumn/winter 2011		KM	
2.5.12	Apply for funding		JL/BL	Autumn 2011
2.5.13	Set up page and forum on website for sharing produce/surplus seeds and seedlings		SDT	Completed
2.5.14	Hold plant sale/swap		KM	First event held May 2011 and raised £136
2.5.15	Investigate any insurance implications		JL	Completed and members advised.
THEME 4: PATHS, CYCLEWAYS ACCESS				
4.1	Develop Local Paths and Cycleways Network, Including Linking Villages	SDT	CC, PKC, P&K Countryside Trust, landowners	Stanley Development Trust to establish Paths Action Group as a dedicated group working to develop paths in the area and able to work closely with the Council, Perth and Kinross Countryside Trust, Sustrans and landowners.
4.1.1	Establish a Paths Action Group to take proposals forward	Gordon		Call meeting Feb 2011
4.1.2	Develop and support existing proposals for a local paths network		Gordon & Bob	Shiel Hill path completed.
			Gordon & Bob	Seating and signage to be completed
4.1.3	Support and progress development of a cycle path between Stanley and Kinclaven.		Gordon & Bob	
	Organise opening event for Shiel Hill Path		Gordon & Julie	Timing tbc
4.1.4	Restart regular walks		Gordon & Bob	

Reference	Task	Lead	Supported By	Remarks
4.1.5	Investigate liability issues for walks		Judith	Spoke to Paths for All
4.1.6	Support and progress the development of a cycle path between Stanley and Luncarty		Gordon/Judith Judith Judith	<i>This was the community's top priority for action plan.</i> Discuss with Perth Kinross Countryside Trust. Attempted to make contact with Quarry developers Judith spoke to Sustrans/PGS Headteacher but their project is not re path building
4.1.7	Establish litter picking and maintenance rota for Sheilhill		Gordon	October
4.2	Improve the Linn Beach	SDT/CC	TRA, landowners, PKC, school, Young People, SNH	
4.2.1	Agree a management/development plan for the area.			
THEME 5: TOURISM AND HERITAGE (ON HOLD AS NO VOLUNTEERS CAME FORWARD TO HELP WITH THIS)				
5.1	Promote Stanley	SDT	CC, businesses	SDT to organize and coordinate local business/tourism sector meetings to develop proposals and carry them forward. This could lead to the formation of a Tourism Marketing sub group.
5.1.1	Joint business and community initiative to develop promotional material e.g. web site, signage, leaflets, noticeboards/local interpretation.			
5.2	Investigate historic designation for the village	SDT	CC, West Stormont Historical Society	
5.2.1	Explore the potential to designate, develop and promote Stanley as a Historic Village.			
5.3	Establish café in the village or Stanley Mill	SDT	CC, TRA,	Could include any

				businesses	organisation keen to participate
Reference	Task	Lead	Supported By	Remarks	
5.3.1	Carry out feasibility study for a café in the Village or Mill – either through encouraging a private business or by through establishing a social/community enterprise.				
THEME 6: PLANNING AND DEVELOPMENT					
6.1	Encourage balanced development	CC	PKC, SDT, TRA	Community Council with support from other local groups. SDT attend CC meeting each quarter and share minutes of meetings.	
6.1.1	Maintain links and discussion with landowners, developers and Council.			SDT met with Bidwells and Zurich again in June. Maintain dialogue. CC invited but unable to attend	
6.1.2	Explore options for the community to prepare its own proposals to feed into the Council's development plan process.				
6.2	Link development to community benefit				
6.2.1	Make sure that any planning gain is linked to the priorities within this Action Plan.	CC	SDT	Invite Plean Community Trust to address open meeting.	



REPORT OF THE MASTER PLAN CONSULTATION UNDERTAKEN
BY STANLEY DEVELOPMENT TRUST

Summary

This is the report of the consultation undertaken by Stanley Development Trust on the proposed master plan for Stanley. A large number of residents have contributed to this consultation, with 148 responses made to the on-line questionnaire and over 135 people attending a consultation event on the 1st February. This is similar to the numbers engaged with the earlier and more extensive consultation process in 2009/10 which informed the development of the Stanley Community Action Plan. The current master plan consultation has again confirmed the significant interest in shaping the future development of the village by people who live and work here. It has also clearly identified a number of common issues and opportunities that should be tackled by the master plan.

Key recommendations are as follows.

A. Village-wide improvements

- 1) The development of a community sports hub.
- 2) The development of a modern community hall.
- 3) A 20 mph speed limit throughout the village with further traffic calming measures on Perth road at the north end of the village.
- 4) The development of the off-road cycle path to Luncarty to complete the implementation of the designated core path network.
- 5) Improved provision of a range of functional, accessible and attractive open spaces for the village, including greenspace, formal play areas, orchards and sports pitches..
- 6) Improvements to the path network within the village, to integrate the new housing sites and create a circular route around Stanley.
- 7) Further enhance the appearance and use of the centre of the village to make it a more attractive place to stop, to shop and to socialise.
- 8) Improved mobile reception, broad band and provision of premises for employment / attracting businesses.

- 9) The creation of a small grant fund for small scale residential amenity improvements e.g. planting; maintaining hedges and fences etc.

B. Developments sites

- 1) Use of energy efficient and sustainable house designs and materials
- 2) A diversity of housing types to meet a range of social needs, including affordable, starter small and large family homes and sheltered housing to allow older people to remain living independently for longer. A nursing home should also be considered.
- 3) Non-vehicular access to each of the sites to encourage walking and cycling to village centre
- 4) Traffic calmed design within sites, with good provision for off road parking and measures to avoid or reduce impacts of traffic on nearby residential streets
- 5) Inclusion of greenspace and formal play areas with provision for ball games within each development site
- 6) Inclusion of a range of measures to enhance biodiversity and improve the landscape setting of Stanley

The proposals are in line with the development plan recommendations for the master plan. We believe that the improvements would collectively add to the attractiveness and vitality of Stanley as a place to live, work and visit. They will therefore make new houses in the village easier to sell. Critical to this will be how well the master plan and its implementation manages to retain and enhance the qualities of the current village, namely: its strong rural character and sense of community; the range of services and activities for residents and visitors; its attractive setting with good access to the local countryside and River Tay; and the peace and quiet that can be found here.

It is our firm view that the village wide proposals should be implemented early in the life of the finalised master plan following granting of full planning permission on the first development site to be developed.

Having undertaken this consultation exercise, we now stand ready to assist further in the development of these proposals, including the formal consultation of the draft master plan.

Stanley Development Trust with Stanley Community Council and the Stanley Tenants and Residents Association.

March 2015

Report of the Master Plan consultation undertaken by Stanley Development Trust

Introduction

- 1 This is the report of the consultation undertaken by Stanley Development Trust on the proposed master plan for Stanley.

Background

- 2 The adopted development plan for Perth and Kinross makes a commitment to the development of a “comprehensive” master plan for Stanley prior to work starting on the five development sites identified around the village. The development plan identifies the following elements which need to be addressed by the master plan.
 - ⇒ Development phased to ensure that there is adequate infrastructure to accommodate it.
 - ⇒ The identification and provision of 1ha of employment land.
 - ⇒ The identification and provision of suitable public open space/playing fields together with changing facilities to support the expanded requirements of the village.
 - ⇒ Cycle paths, core paths and pedestrian routes incorporated into the master plan.
 - ⇒ A robust landscape framework maximising the potential to enhance biodiversity and protection of habitats.
 - ⇒ Contributions to enhanced community facilities.
- 3 The development plan indicates that the master plan is to be drawn up and consulted on by the developer of these sites - Muir Homes – before being adopted by the council. Following an initial consultation event by Muir Homes and Bidwells on the 28th October 2014 which was poorly attended (circa 20 people), Stanley Development Trust volunteered to undertake a more thorough consultation exercise with support of the Community Council and the Residents and Tenants Association to inform the development of a draft master plan for formal consultation. This report presents the outputs of this exercise.

Consultation methodology

- 4 There were 3 aspects to the community consultation: i) awareness raising; ii) online survey, and iii) a community event. Further details are provided in Annex A.
- 5 Information about the consultation was distributed widely around Stanley, and an effort was made by SDT volunteers to speak about the consultation to every household in Stanley (circa 700 houses). A series of walks around the 5 sites were also delivered, attracting 26 people.
- 6 Between 19th December and 4th February when the consultation closed a total of 148 responses were made to the on-line questionnaire and over 135 people attended a consultation event on the 1st February. Responses were obtained from nearly every street in Stanley, as well as the surround rural areas, suggesting that the consultation is representative of the views of the community for a consultation exercise of this sort.
- 7 The high numbers of people engaged through the consultation clearly indicate the significant community interest in the development of the master plan in Stanley, and in our view the feedback obtained provides a sound basis for preparing it. The rest of this report provides further details of the key findings from the consultation with Annex B providing more information on the survey findings and the feedback from the consultation event.

- 8 While a small minority of respondents continued to express their objections to the scale of the development proposals, the majority of respondents engaged positively in thinking about the opportunities for the village provided by the master plan process,. We have noted these views, but have set them aside for the purposes of this report.

Consultation Findings

Overview

- 9 The online survey identified a number of the qualities that the community value about Stanley at present and that the future development of the village should seek to safeguard and enhance as far as practical. These key qualities included

- Its strong rural village character and the peace and quiet that can be found here
- Its strong sense of community
- Its range of services, including shops and Post Office, GP and chemist, and the school
- Its attractive setting with good access to the local countryside, river and Mill

Current provision of housing was deemed to be good, together with parks and shopping and public transport (though only 1 in 5 respondents to the survey used it to travel into Perth). In contrast, job opportunities, leisure/sport facilities and paths from the village to elsewhere were considered to be poorly or very poorly provided.

- 10 When asked to identify the one thing they would change about Stanley, the three highest priorities were:

- Improving community facilities, with the provision of better sports facilities the most common suggestion, followed by the creation of modern community hall facilities and more activities for young people in the village.
- Improvements to traffic management in the village, including traffic calming, speed limits and road improvements.
- Provision of openspace and paths, with the proposed cycle path to Luncarty mentioned most times

While generally regarded as of *relatively* lesser importance than these 3 priorities, a range of other suggestions were made around the following themes – improvements to services; increasing community spirit; reducing crime, reducing dog fouling; improving public transport; improving the appearance of the village and housing provision.

- 11 More detail about these issues is provided in the following section grouped under the following four headings used to structure the consultation event - community facilities; transport and active travel, open space and paths; and housing and employment;. These are similar groupings to those used in the Community Action Plan with comparison of the results from both confirming the long standing aspirations of the community for the future development of village.

a -Community Facilities

Key recommendations

- **The development of a community sports hub.**
- **The development of a modern community hall**
- **Further enhance the appearance and use of the centre of the village to make it a more attractive place to stop, to shop and to socialise.**
- **The creation of a small grant fund for small scale residential amenity improvements e.g. planting; maintaining hedges and fences etc;**

12 The lack of leisure/sports facilities was highlighted as the key area for improvement in Stanley. As the village expands as planned, this issue will become even more significant unless proper investment in this area is made.

13 There is very strong support for the development of the proposed community sports hub by the school, and feasibility work is shortly to be commissioned by SDT to develop this proposal further. In addition to providing funding for the development of the sports hub, the master plan is an opportunity to look at a number of related issues including the use of the recreational field. This is currently managed by the education authority for use by the school. However, it is also designated in the development plan as open space and is the obvious place for locating a village football pitch if the issues over use, access and drainage can be addressed. The adjacent fields could add to this open space resource at the heart of the village, providing for a greater range of more informal greenspace uses. However, the significant issues with these fields noted below would need to be satisfactorily addressed for this potential vision to be realised.

14 Another key issue highlighted by the consultation was the provision of community hall facilities and the impact this has on the ability to hold meetings and activities in the village. At present, there are two recognised community meeting places (Village and Reid Halls), but both buildings have significant structural/maintenance issues and high running costs. They are also close to capacity and would not be able to cope with demand from a larger population. The consultation revealed a range of activities which the community felt were needed in the village, including better provision for young people

15 One solution that may be considered as part of the feasibility study for the community sports hub is whether the sports and hall functions could be combined on a single site. The other option would be for the redevelopment of the current village hall into a modern fit for purpose community space. Either option would require significant funding and was considered another priority area for investment.

16 Another theme arising from the consultation was the need for improvements to the centre of the village to make it a more attractive place to stop, shop and socialise, building on the work of the Stanley in Bloom Group. The community sport hub proposal provides an opportunity to look again at this area as a whole and see what opportunities there are to further increase its attractiveness and to encourage greater use of the existing shops and restaurant. The increased population of Stanley also makes the provision of a community café and aspirations for more shops potentially viable and the master plan should provide the potential for this.

- 17 Other implications about the increase in the population of the village were noted, such as the need to increase the capacity of the GP surgery. While some development of the school may be required (for example in terms of a dining hall which can accommodate all the pupils), the recent decline in the school roll meant it is likely to be well placed to accommodate future growth.

b – Transport and active travel

Key recommendations

- **A 20 mph speed limit throughout the village with further traffic calming measures on Perth road at the north end of the village**
- **The development of the off-road cycle path to Luncarty to complete the implementation of the designated core path network**
- **Traffic calmed design within sites, with good provision for off road parking and measures to avoid or reduce impacts of traffic on nearby residential streets**
- **Non-vehicular access to each of the development sites to encourage walking and cycling to village centre**

- 18 Nearly two thirds of people travel within Stanley on foot, with a third using a car. The generation of additional traffic movements within the village was therefore seen as a critical issue to be addressed by the master plan. In addition, there was strong support for promoting walking and cycling within the village by creating off-road path links from each of the development sites into the centre of the village. The development of the cycle path to Luncarty to complete the implementation of the designated core path network within and around Stanley was seen as a top priority for investment.
- 19 In the light of this consultation, serious consideration needs to be given by PKC to making the entire village, including the main Perth road, a 20mph zone. Additional humped crossings on the Perth road at the northern end of the village, the use of roundabouts to slow traffic, and wide spread traffic calming measures on existing and new residential streets were also strongly supported.
- 20 Significant traffic management issues would need to be addressed at all the sites, though H34 and H35 were considered particularly problematic given the narrow bridge over the railway at Duchess Street. Concerns were also raised about the increased traffic pressure on the minor road to the A9 from Duchess Street, which readily falls into a poor state of repair with existing traffic loads.
- 21 Each housing site would also need adequate off-road car-parking to avoid parking issues on existing streets. Consideration to the provision of parking spaces by existing shops on Percy Street was also needed if more use of these facilities was to be encouraged.
- 22 Safe pedestrian access to the school, the shops and Active Kids is needed. A circular path linking the new housing sites would also strengthen the existing path network and provide a good recreational resource for the village.

c – Open space and paths

Key recommendations

- **Improved provision of a range of functional, accessible and attractive open spaces for the village, including greenspace, formal play areas, orchards and sports pitches.**
- **Improvements to the path network within the village, to integrate the new housing sites and create a circular route around Stanley**
- **Inclusion of greenspace and formal play areas with provision for ball games within each development site**

- 23 The provision of a range of accessible and attractive open spaces was seen as a critical issue for the master plan, with investment in allotments, a community orchard, play parks and open spaces seen as key priorities. While current provision was generally seen as good, it is important that as the village grows then additional open space is created for a village of the size Stanley is set to become rather than is at present.
- 24 A range of open space, including formal play areas, greenspaces and woodland areas should be developed at each site. Informal areas for ball games should also be included. While the form and location of open space will be site specific, the same standards of provision per head of population should be applied at each housing site.
- 25 The master plan should also include the development of a number of strategic open space assets, each linked to an expanded path network. There should provision for a usable sports pitch; a community orchard and growing area, and an enclosed dog walking area. New woodland areas should also be developed and the view point area at Sheil Hill enlarged to create a more attractive area for picnics, community events etc. The mill fire pond/reservoir area could also be developed as a community biodiversity project, with access to it and the river improved, potentially also providing an educational resource.
- 26 Neither of the two open space allocations in the village could be considered as usable public open space at present. The sewage works area has very limited potential because of its function and slope. The current fields next to the school fields which are currently used to graze cattle have more potential but would need investment as parts of the area are boggy, often underwater and difficult to access. They are also not in public ownership and should not be allocated as greenspace unless this changes.
- 27 The incorporation of a range of greenspaces and wood land areas into the master plan would provide considerable opportunity to enhance the biodiversity of the area. Native trees of local origin should be used. Opportunities to incorporate wildflower meadows, wetland areas and beech hedging into the layout of each housing site should be identified, with responsibilities and funding for future management identified.

d – Housing and Employment

Key recommendations

- **A diversity of housing types to meet a range of social needs, including affordable, starter small and large family homes. Sheltered housing to allow older people to remain living independently for longer together with a nursing home should also be considered.**

- **Use of energy efficient and sustainable house designs and materials**
- **Inclusion of a range of measures to enhance biodiversity and improve the landscape setting of Stanley**
- **Improved mobile reception, broad band and provision of premises for employment**

28 The current range and quality of housing was generally considered to be good in Stanley. A similar range should be provided in each of the new housing sites, including provision of more affordable housing, and starter, small and larger family homes, and sheltered housing to allow older people to remain living independently for longer. A nursing home should also be considered.

29 Strong support was expressed for energy efficient and sustainable house designs, including provision of wildlife friendly features such as swift boxes, wildlife friendly drains and SUD areas. House styles and features in keeping with the character of the village such as beech hedges and native trees should be incorporated into the layout of each site. Each site should include good provision for a strong greenspace and woodland framework both for people as well as nature. Open space should also include play areas and space for informal ball games. Non-vehicular access to each of the sites should be provided to encourage walking and cycling to village centre

30 There were mixed views expressed about the possibility of bringing mains gas to Stanley, or the provision of district heating schemes, though both options could be explored further. A small grant fund for small scale residential amenity improvements e.g. planting; maintaining hedges and fences etc. was also suggested.

31 There was clear support for increasing the range of job opportunities in the village, and the master plan should consider how best to do this either through the proposed allocation of 1 hectare of land for this purpose or the reuse of existing buildings. Increased provision of shops and other services may also create employment opportunities as would the development of a care home. Improved mobile reception and broad band was also seen as important in attracting businesses to the village.

Conclusion

32 The findings of this consultation provide a solid evidence base for preparing a high quality master plan for Stanley which addresses the issues raised by the community and supports the expected investment in community facilities that have been identified in this exercise. Its conclusions are in line with the proposals of the adopted development plan, as well as earlier work by the Development Trust on the Community Futures Action Plan. We now look forward to seeing these aspirations being fully realised in practice through the development and implementation of the master plan.

Stanley Development Trust with Stanley Community Council and the Stanley Tenants and Residents Association.

March 2015

Annex A - Stanley Master Plan Community Consultation Methodology

There were 3 aspects to the community consultation:

1. Awareness raising,

A promotional flyer was delivered by volunteers to each household (circa 700) in Stanley during the Christmas and New Year, 2014/15, holiday period. Where the occupant was at home the volunteer engaged them in a brief conversation about the purpose of the consultation and how to participate in the on-line survey. Hard copies of the survey were distributed to people without internet access or who preferred a paper copy.

The consultation was promoted on Stanley Development Trust's website and facebook pages, and there was a link from the front page to the on-line survey.

Information about the consultation was emailed to the membership of Stanley Development Trust, some 200 people.

Posters and flyers were displayed in public buildings around the village and paper copies of the survey were available from Stanley Post Office.

Local organisations helped to promote the consultation through newsletters and at meetings. A series of three walks were organised to show people each of the development sites.

2. Online survey

The Survey Monkey was open from 19th December 2014 until 4th February 2015.

The survey comprised a mix of open and closed questions designed to capture data on the local community's aspirations for the village.

The initial results of the survey were used to inform the topics for discussion at the community consultation event. This enabled the sharing of the initial results with the community, and provided an opportunity to test and build upon the results.

A total of 148 responses to the survey were received.

3. Community event. – 1st February 2015

The event held on 1st February 2015 was attended by 135 people.

A presentation on the Master Plan process was given by Stanley Community Council.

A presentation on the initial results of the survey was given by Stanley Development Trust.

Attendees participated in each of four separate, themed discussion groups where they were asked to rank statements in order of importance to the community and the Master Plan. The statements were ideas, suggestions and themes emerging from the initial analysis of the survey responses. Participants were encouraged to add ideas. The discussions were recorded on 'graffiti tablecloths' and later written-up by the group facilitators. The 4 themes were: Community facilities; Transport (including roads, paths, traffic); Housing; Open spaces (including play parks, environment, biodiversity, food growing).

Annex B – Consultation results

Results from on-line survey

Q1 Rating of current provision within Stanley

	Excellent	Good	Poor	Very poor	Total
Housing	6.94% 10	77.78% 112	14.58% 21	0.69% 1	144
Job opportunities	0.00% 0	12.23% 17	61.87% 86	25.90% 36	139
Leisure/sports facilities	1.39% 2	12.23% 18	53.47% 77	32.64% 47	144
Parks/play areas/open space	7.59% 11	49.66% 72	37.93% 55	4.83% 7	145
Shopping	5.52% 8	51.03% 74	32.41% 47	11.03% 16	145
Public transport	10.96% 16	69.86% 102	28.47% 41	4.79% 7	146
Paths within the Village	8.33% 12	61.81% 89	28.47% 41	1.39% 2	144
Paths from the village to elsewhere	4.23% 6	20.42% 29	50.00% 71	25.35% 36	142

Q2 Mode of travel within Stanley

Mode	%	Number of responses (138)
On foot	59.42%	82
By car	34.06%	47
By bus	3.62%	5
By bicycle	2.90%	4
By motor bike	0.00%	0

Q3 Mode of travel to/from Perth

Mode	%	Number of responses (138)
By car	77.30%	109
By bus	19.86%	28
By motor bike	1.42%	2
By bicycle	1.42%	2
On foot	-	-

Q4 Three best things about Stanley - grouping of valued qualities (1)

Village setting (size, peaceful, rural) (37)	Its size - not too big; the quietness; quiet; peaceful; peaceful most of the time; centre of village attractive; living in the country; quiet place to live; rural; rural village with community feel; nice quiet village; it's quite peaceful village and not much trouble; quite village; quieter than most villages; rural; traditional village setting; it's a village; village community atmosphere; small village with charm and history; good amenities in keeping with its village status; quiet and safe environment; small village; quiet; it is a nice village to live in; relatively quiet rural village; feels like a village, tend to know everyone by sight; rural, what a village is supposed to be; access to open and quiet country roads; space;
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	rural setting; attractive village and safe place to bring up young family; small village not busy; close to countryside; community village feel, friendly. people sized village; rural atmosphere; it's a village; it's kept it's small village feel
Sense of community (25)	Community spirit; community feeling; people are friendly; friendly people; Stanley is a village where many generations of the same family live; neighbours/friends; socially mixed community; small and friendly; people; community; people; friendly people; community; safe - little, no crime; people; locals are friendly and helpful; friendliness; community spirit e.g. church fellowship, ecumenical church events, Stanley community games, Christmas lights switch on, stanley timebank, stanley fete, walking group; people; the community spirit and activities; close knit community; community spirit; the community; friendly community; sense of community
Services (21)	Range of services available - Post Office, shop, chemist, butcher, school and medical centre; facilities such as shops and medical centre; shops on street; local amenities are good; shops; shops; shops; having some shops; shops; good selection of shops; chemist; the Tayside Hotel; the Tayside and Apron Stage; good bus service; public transport to Perth; doctors surgery; GP Surgery; doctor's surgery and chemist in the village; the school; school; good school; local police station
Natural and historic environment (20)	The setting; local environment; picturesque scenery; being in the countryside; countryside; it is out in the country; surrounding countryside is unspoilt and peaceful; rural environment; surrounding countryside; the countryside and natural beauty around the village ; the countryside lovely walks 5 mns from door; river; beach (linn); beach; the River Tay; River Tay; the river; Stanley Mill; the Mill; Stanley Mill
Location (19)	Location; location; situation out of Perth but within reach and ease of getting around Scotland from here; its close to Perth; peaceful village close to the A9 for commuting; within a reasonable distance of Perth; location; location to Perth , central belt and the north; proximity to Perth; it's location; proximity to Perth; access to the A9; not far from perth; close enough to the town but far enough away to feel rural; location; it has a rural location though in easy reach of all the facilities I require; easy access to major cities; attractive location; access to A9
Parks, Openspace and walks (10)	The open space; access to good (dog) walks without needing to drive; local walks; lovely walks from the doorstep, especially up Shiel Hill; proximity to nice paths along the Tay; proximity of open spaces; parks; the big school park; the School grounds; school playing field
Other	I live here; quite (low crime); I got better value for when I bought my house 16 years ago

Q4 Three best things about Stanley –grouping of valued qualities (2)

Services (36)	Good provision shops, bank, library etc; good bus link to Perth; shops; good transport links to Perth; transport (bus facilities); transport to Perth; the community facilities that are; local post office / shop very handy; the Spar; the Spar; shops; good local amenities; bus service; local shops and medical centre; local shops/pharmacy/post office; facilities; medical centre; school; medical centre; public transport; doctors surgery; chemist; bus service; Stanley post office and the other good local shops; reasonable facilities; the hotel; good local shops and school; doctors; ability to buy fresh meat from butcher and groceries from the shops; for size of village good number of shops i.e chemist post office ,butcher, Spar; school; bus service to Perth; good school; most amenities; Tayside hotel serves lovely meals and supports the village with charity events; Apron Stage restaurant.
Village setting (size, peaceful, rural) (22)	Countryside; village atmosphere; small rural village; quiet village; nice and quiet; the village is quiet but the people are friendly and 'look out' for each other; rural location; it's not over-housed or over commercialised; prettiness as you enter; the size; peaceful; it's retained the central square, albeit it's cut in two by the B9099 and half is a car park; village centre which is tidy and well look after; size of village (not too big not too small); quiet; visually nice; small size; it is quiet most of time; quiet; peaceful; small community; peaceful living conditions.
Location (20)	Access to Perth; everything close at hand; easy commute to Perth etc.; closeness to Perth; location; access to Perth; proximity to Perth; semi-rural living but with proximity to Perth; close to the city but still out of the hustle and bustle; rural, but near to Perth; location; good place to stay with easy access to Perth and to attractive surrounding countryside; good distance from Perth; close to city; being in the country, yet only 10 minutes to Perth; easy access to Perth, needed for leisure and shopping and entertainment(also at Dunkeld); it's close to my family in Murthly; location; closeness to Perth; near to Perth.
Natural and historic environment (17)	The river; the countryside; we are surrounded by fields, woodland and the river; proximity to river; lots of fields and nature around; surrounding countryside; the history; countryside inc. river; the river Tay; the views are nice just now; Stanley Mill; beautiful setting; the good unobstructed views; Stanley mills; the fact that it is surrounded by stunning countryside; countryside; Stanley Mills.
Sense of community (16)	Wholesome community; small friendly community; community spirit getting better; emerging community cohesion and desire to pro-actively identify and resolve issues; improving community links; good community; the sense of community; community; village community; good community spirit; community; emerging sense of self-development; friendliness; growing community awareness; the people(some); friendliness.
Parks, Openspaces and walks (11)	Walks; the local walks; easy access to many wonderful walks; park; nice walks; beautiful places to walk and wildlife to spot on the way; good country walks; river walks; historic heritage due to Stanley mills; local walks; walks;
Other	Sports; the Development Trust which is doing an excellent job; lively nightlife at the weekend; clean; Stanley Development Trust - looking after the interests of local people; traffic; village hall but it could be bigger; hardly any crime; lack of crime; reasonably safe (now where is perfect - there are always exceptions).

Q4 Three best things about Stanley –grouping of valued qualities (3)

Services (31)	Tayside; shops; shops; good medical centre; good shops; has the essentials - chemist, Dr. surgery, shop, post office shop, chemist, health centre (the essential needs); the school is great; the bus stops; we are a village yet we have access to facilities such as active kids, doctor surgery, chemist etc; the local facilities (post office, medical centre, spar, chemist, butcher's); shops; shop; post office; the chemist; school; school; shops; post office; shops; local post office; good transport link to Perth; post office; staff at the post office and local shops who are so helpful and friendly providing extra services that shops in a city would not do; good bus service; Tayside hotel; good bus service; school; school; post office; medical centre; ease with which it is possible to get an appointment at the medical practice.
Location (21)	Not far from main town; proximity to Perth; close to town; close to where i work; easy access into town; easy to reach Perth; location to Perth; central location for most main cities; only 20mins from Perth; easy reach of the A9 for commuters to Perth and elsewhere; self-contained yet close to Perth for other facilities; accessibility; friendly community; good access to surrounding areas; close proximity to open countryside; good motorway links; views/proximity to attractive countryside; good access to Perth; 15 minute drive to Perth; proximity and easy access to Perth; central location.
Village setting (size, peaceful, rural) (17)	Fairly quiet; small local feel; peace and quiet and safe; good size; safe; peaceful & safe; rural setting; size; the feeling of safety; sense of not being just an extension of a large town; rural setting un spoilt by development; safety; quiet; rurality; it isn't over populated and at the moment the school can cope !!; quietness; not over-crowded.
Sense of community (15)	Spirit; neighbours and friendliness; family friendly; Christmas lights in square; friendly people!; the community; great atmosphere; friendly; the people; enthusiasm for community activities for social welfare; the people; friendly inhabitants; people actually speak to me; sense of community identity; community.
Parks, Open spaces and walks (15)	Nice walks; proximity to outdoor recreation - river, woodlands, walks etc; lovely walks by the River Tay; public access to the beach; walks; many good walks in the local area; open spaces; space to walk the dog; nice walks; nice walks; lots of walks; the walks; closeness to areas like Campsie Linn and Five Mile Wood for walks; walks; open space.
Natural and historic environment (11)	Location in beautiful Perthshire; proximity to areas of outstanding beauty; fields all-round the village; countryside and natural environment; countryside /views; It's a beautiful area; history; the river Tay; the river and fishing; countryside; historic interest.
Other	Safe relatively low crime, though burglary seems more common recently; the village hall; the village hall; cleanliness; lack of interest from the council; there is little crime; easy to park; Stanley Development Trust.

Q5 One thing to change about Stanley

<p>Improve community facilities (31)</p>	<ol style="list-style-type: none"> 1. Good community / sports centre 2. Develop the tennis courts to the same standard as the bowling club. 3. Increase leisure facilities 4. Leisure amenities 5. Have a youth club or something similar for he youth in the village. 6. could do with some kind of leisure centre and maybe a few more shops 7. Better social facilities - pub/restaurant/sports hall there is a need to improve weekend bus 8. More sports facilities in the village 9. Sports facilities, 10. Better village facilities - hall, sports, open space etc. The current facilities are in very poor condition and currently do not meet the needs of the community, let alone when housing development takes place and Stanley's population increases by 50%. 11. More leisure facilities and parks and places to walk and run 12. Purpose built sports and community amenities 13. Improve the facilities within the village so that you don't need to travel into Perth or elsewhere. 14. leisure facilities including cycle paths 15. The clubs etc for kids 16. Better facilities for leisure, sports and other community group activities, outdoors and indoors, within Stanley and connecting to neighbouring villages. 17. Leisure facilities 18. More activities for the children 19. If I want to play sport/ visit gym/ swim I need to travel to Perth. It is quite a dangerous cycle ride along the road to Luncarty so I end up taking the bus. It would be good to have a cycle path to Luncarty and improved sport facilities in Stanley. 20. A few more sociable events for kids/teenagers. 21. Not enough for kids to do 22. New village hall with better facilities 23. build a community centre 24. Stanley needs a Sports Centre in one place somewhere near the centre of the village. This would need provision for indoors sports and associated activities, meeting/Club room. Also a café/bar facility for existing clubs, such as the tennis and bowls club etc. A football pitch adjacent to the Sports Centre should also be included and be available to Stanley School for activities. The current village hall, despite valiant attempts to adapt does not have sufficient space for adequate expansion for the increase in population with the 180 to 280 new houses increase over the next years. 25. A community hall. 26. Investment in Leisure facilities suitable for all ages within the Village require improvement 27. To reinstate a railway station with a good service in both directions. 28. Better leisure facilities (hall, sports, arts) 29. Better sports facilities 30. Improve Sports facilities 31. Give it better community facilities
<p>Address traffic issues (20)</p>	<ol style="list-style-type: none"> 1. Yellow lines on main road near chip shop 2. Traffic management. 3. Traffic! 4. More police presence for traffic calming in and around the village 5. Bypass road to make the increased traffic flow safer 6. The speed at which traffic go through the main street 7. Reduce the amount of traffic, especially freight coming through the centre of the village on the B9099. 8. Reduce the volume of traffic on the main road.

	<ol style="list-style-type: none"> 9. the roads to be safer 10. speed control of vehicles on King Street 11. The volume of traffic. 12. Reducing the volume of traffic on Perth Road 13. Traffic control i.e speed on Perth Road, also Linn Road could do with speed bumps from Shielhill to Mill Street. The people going to and from beach and canoeists show no concern for locals 14. Heavy traffic passing through. Create a bypass! 15. Perth road traffic, 16. Introduce more prominent speed reduction measures at the North end of the village - many rad users do not really slow down till near the Police Station on Perth Road. 17. Sort out the road infrastructure. The main road is used as a 'Rat Run' from the north into Perth and beyond on 'B' class roads which are inadequate to deal with the ever increasing volume. The other road out of the village from Duchess Street to the A9 is a hazard in itself with the roads collapsing at the side, it is really a one lane road but is used by trucks, buses etc which when the 2 new housing projects destined for that end of village will be unable to cope, and can barely cope now. 18. traffic calming on King Street and Store Street 19. speed control of traffic 20. To introduce speed bumps. Cars drive too fast through village and never any traffic police presence.
<p>Open space and paths (17)</p>	<ol style="list-style-type: none"> 1. Better large area for taking dogs to play 2. places to take dogs for a walk 3. More park space with equipment for under 2s. 4. Somewhere for the children to play 5. more paths 6. to improve the footpaths around Stanley 7. better path network/cycle links 8. Paths in Stanley, around Stanley and to Luncarty could be improved and created to allow safe walking and cycling. This could include the space for pram walkers and dog walkers and have enough dog bins too. 9. More amenities 10. a well equipped play park would be good as there are a lot of young families living here and not much for them to do outside 11. Increase the cycle and walking friendly routes. The Airntully to Stanley road is well used by walkers and my kids often cycle to school, but the high-hedge rows, winding single-track road and speed of traffic don't make it the safest. When my kids leave Primary I would love for them to cycle to Perth Grammar. From Luncarty to Perth there is a great cycle route, but nothing from Stanley to Luncarty 12. Play areas. Football pitches for kids. It would keep them away from houses 13. Public park / community centre skate park. 14. The lack of foot walks at the proposed entrance to new scheme on linn rd 15. Paths in Stanley, around Stanley and to Luncarty could be improved and created to allow safe walking and cycling. This could include the space for pram walkers and dog walkers and have enough dog bins too. 16. Increase the cycle and walking friendly routes. The Airntully to Stanley road is well used by walkers and my kids often cycle to school, but the high-hedge rows, winding single-track road and speed of traffic don't make it the safest. 17. Community allotments/orchard
<p>Cycle path to Luncarty (14)</p>	<ol style="list-style-type: none"> 1. cycle/footpath to link to Luncarty and therefore to Perth 2. Path to Luncarty 3. Improved access, i.e. footpaths and cycleways. 4. Being able to walk to other villages 5. foot path to luncarty 6. Have an off road cycle path to Luncarty 7. leisure facilities including cycle paths 8. provide a cycle link to main off road cycle paths at Luncarty

	<ol style="list-style-type: none"> 9. Cycle path between Stanley and Luncarty 10. cycling between stanley and luncarty especially at Thisle Brig ,would like a cycle /pedestrian path for safety especially if all these houses are to be developed 11. also cycle track to Perth to avoid using car. 12. A cycle link between stanley and luncarty to allow of road access to perth by bike 13. When my kids leave Primary I would love for them to cycle to Perth Grammar. From Luncarty to Perth there is a great cycle route, but nothing from Stanley to Luncarty 14. Would like a cycle path from Stanley to Luncarty
More shops and services (14)	<ol style="list-style-type: none"> 1. Better social facilities - pub/restaurant/sports hall there is a need to improve weekend bus 2. Nice country pub 3. better value shopping available locally 4. would definitely be nicer to have more shopping facilities. While the two shops on Store Street have basic provision, they can be quite expensive. 5. Coffee shop/tea room facility would enhance the village as this currently is lacking 6. all the minks put in the village causing trouble 7. Having a cafe/ meeting places 8. Better stock of groceries 9. More facilities, 10. Better facilities in the village 11. More shops 12. More choice re shops. Spar is very expensive and has little choice 13. It would be great to have a coffee shop. 14. better range of facilities for residents, such as shops, etc...
Increase community spirit (8)	<ol style="list-style-type: none"> 1. Lack of community spirit 2. To many community groups/community spirit 3. Stanley seems to have a bit of a bad reputation at the moment, I would like this to improve. Luckily it is just the minority that contribute to this bad reputation and I feel that recently the village has gained more of community spirit due to factors such as the development trust and events such as the community fun days at the school, Christmas light switch on, the introduction of the toddler group in the hotel, Rascals for the children held at the church, the organised group walks etc. I hope that the new houses attract people to the village who take pride in the village they live in and contribute to making the village a place we can all be proud to live. 4. There used to be a wonderful sense of community in the village and I truly feel that that is now gone. There is nothing for the children to do (we used to have a youth club, the village fete, etc). I used to feel safe in the village but not so sure anymore 5. A greater community spirit 6. Better community spirit. Still feel that it lacks a bit, new ideas are always met by some with a negative response and it makes you wonder if it's worth trying anything new. 7. have a better community sprit 8. A stronger community spirit
Enhance village character (8)	<ol style="list-style-type: none"> 1. Strengthen the village and country aspect of the place 2. Have a campaign to get the village spruced up. The amount of rubbish and dog muck left lying around is really bad. People leave rubbish in their front gardens too and don't bother to tidy up. We should be proud of our nice village. 3. State of roads, pavements, etc 4. Remove dustbins from the street. 5. Improve the litter situation 6. Doesn't always get a great name compared to surrounding villages ... would like that improved. 7. tidier and better pavements 8. Initial impression - it could be a much prettier village which would attract more visitors.
More houses to	<ol style="list-style-type: none"> 1. More houses being built... I am 21, considering moving out and there is no

choose from (7)	<p>affordable properties (none at all even) and would prefer to stay in the village that I grew up in rather than moving out.</p> <ol style="list-style-type: none"> 2. To get more council housing. 3. Less council housing 4. More rental properties 5. Housing 6. Better homes that don't have damp and you could actually heat with central heating not storage heaters that cost the earth and don't even heat your home. 7. Fix the current damp & subsiding houses before building new ones
Reduce crime (7)	<ol style="list-style-type: none"> 1. Crime 2. Reduce crime by removing problem families from Murray place and Atholl Drive 3. Remove "minks" from village 4. No more drug addicts and council housing anyone they want rid of. 5. people being decanted from housing schemes in Perth to here and then drugs problems 6. not to be used to relocate families from Muirton etc as it has been in the past 7. stop sending drug addicts. they need to live in areas where help is readily available for them.
Reduce dog fouling (6)	<ol style="list-style-type: none"> 1. To try and stop the dog fouling on the streets. 2. stop dog fouling 3. Less dog fouling on the pavements and walkways which is a real problem and getting out of control. 4. The dog mess in the village seems to be worse than ever again. Another example of the minority spoiling the village for others. 5. Remove dog fouling from the pavements 6. Dog fouling.
Improve public transport (6)	<ol style="list-style-type: none"> 1. Railway station with parking facilities to serve Stanley and surrounding villages 2. Public transport to other places. 3. Better social facilities - pub/restaurant/sports hall there is a need to improve weekend bus service, needs to be more regular 4. more regular buses 5. Better public transport links to Perth. 6. I'd like to see the railway station back in action
Other	<p>Better phone signal I get no mobile signal at home. To see gas being piped into village.</p>

Q6 – Key priorities to be addressed in the Master plan (1 = most important, 2= next most important etc.)

Answer Options	1	2	3	4	5	6	6	Rating Average
Local facilities, e.g. sports, leisure, meeting space	60	26	18	19	9	8	2	2.46
Traffic	28	29	17	22	19	16	11	3.47
Type of housing	22	17	28	23	25	20	8	3.73
Accessible open spaces	15	29	24	19	23	24	8	3.77
Appearance of new housing developments	8	18	22	22	29	23	21	4.39
Layout of new housing	3	12	12	20	24	40	32	5.08
Employment	6	11	21	17	14	12	61	5.13

Q7 – What type of housing is suitable for Stanley? Please tick all that apply

	%	Number of responses (145)
Family homes	78.62%	114
Affordable housing	68.97%	100
Assisted living/sheltered housing	62.07%	90
Eco-friendly homes	55.17%	80
Care home	37.93%	55
Two bed flats	20.69%	30
One bed flats	13.10%	19

Q8 – Key priorities for the use of funds generated by the development?

	Definitely Yes	Probably Yes	Probably No	Definitely No	Total responses
Cycle path to Lun-carty	69.01% 98	22.54% 32	7.04% 10	1.41% 2	142
Sports facilities	60.58% 83	34.31% 47	2.19% 3	2.92% 4	137
Village Hall upgrade	54.61% 77	33.33% 47	8.51% 12	3.55% 5	141
Open spaces	46.67% 63	40.00% 54	10.37% 14	2.96% 4	135
Allotments	14.71% 20	53.68% 73	25.74% 35	5.88% 8	136
Community orchard	15.63% 20	41.41% 53	34.38% 44	8.59% 11	128
Play parks	38.69% 53	47.45% 65	12.41% 17	1.46% 2	137
Footpaths within the village	40.15% 55	43.80% 60	13.14% 18	2.92% 4	137

Q9 – Suggestions for the use of funds generated by the development?

<p>Sport facilities (23)</p>	<ol style="list-style-type: none"> 1. A new sports hall containing all the sports in the village, i.e. bowling, tennis, football 2. Some kind of central community recreational facility. Multi-purpose playing surface, activity centre, gym classes etc...anything that gives a safe, inviting and active meeting place for adults and kids. 3. Some sort of artificial surface sports pitch (multi-purpose with changing facilities. 4. Leisure facilities: all weather pitch/ improve drainage and accessibility to existing school pitches. Might be a mix of improving existing hall and new facility: Place for people to meet / have milk shake or coffee. Indoor facility suitable for sports (badminton, football, gym, yoga, dance) or other community activities. 5. Reinstate the football ground for local football team. Youth club; Tennis courts. I think it should be spent on the football pitch 6. Upgrade bowling club/tennis club facilities 7. Sports and meeting centre . 8. Sports hub. Financial contribution to allow SDT to develop facility next to school / tennis courts 9. Sports hall 10. Sports facilities, 11. A sports facility which could also provide a community hub and meeting space would be a valuable asset. This could circumvent the need for significant (and expensive) village hall upgrades. 12. Sport venue for the people of Stanley 13. Sports Hub project is already underway, money from housing development should contribute to this. 14. Leisure facilities, sports etc. 15. Sports recreation facilities 16. Sport ie all weather pitch & tennis courts 17. Definitely spent on a centrally located Sports Facility with changing facilities. If the sports facility fund was sufficient then to provide for a comprehensive facility to include for the activities currently carried out in the village hall. Then the village hall could be sold off /demolished for housing to provide further funds to the pot for the village. 18. The development of improved leisure facilities is important but to be sustained in the long term requires investment in people and must include provision for paid personnel such as youth and sports development workers. 19. I would love to see sports facilities such as a small skate-park or pump-track, renovated tennis courts. 20. Sports facilities & improvement of Community facilities 21. Community Hall with sports facilities 22. Improved community facilities suitable for 21st century that allows people to meet, socialise and take part in sport and leisure locally.eg community sports hub with cafe as per the recent sports survey. 23. Money needs to be put into better provisions for youngsters in the village. A sports hall, upgrade on local facilities. Tennis, badminton etc.
<p>Community hall/Village Hall (22 responses)</p>	<ol style="list-style-type: none"> 1. Drop-in coffee shop at village hall 2. The Village hall is probably the most important 3. Village Hall refurbishment / redevelopment essential and would provide good local facilities for community sports and other activities including social events/parties/meetings etc. 4. A contribution to St. Columba's Church which is a listed building - we are at present a very small congregation (12) and want to keep the church open for the benefit of the increased population when the new proposed houses are built. - we have no toilet or kitchen facilities - are struggling to raise funds to provide these, which by law

	<p>we should have.</p> <ol style="list-style-type: none"> 5. A new community centre or refurbishment of the village hall which is very outdated and tired. 6. Hall facilities. Financial contribution required to renovate / replace existing dilapidated facilities - village hall (no longer fit for purpose and requiring new roof, re-modelling), St. Columba's Hall (structurally unsafe and unusable) Reid Halls (underneath Church of Scotland building which is unlikely to be safe or usable in the coming 5-10 years) 7. I feel the village hall is in desperate need of an upgrade. I feel the hall is not used as much as it should be considering the size of village we live in and with the village set to increase in size soon this is even more important. It should be the hub of the village, being used by all generations. Bankfoot has a fantastic facility. 8. The village church and the Reid Hall 9. Community Centre (see Bankfoot) 10. Maybe a wee base for the library or a local donation/exchange shop, something like a charity shop 11. Modern purpose built Community building that would have multi sports incorporated. A community cafe perhaps a social enterprise would be a valuable addition to the shops and services currently in the village. 12. Green upgrade to the village Hall similar to the wonderful Church centre in Bankfoot which encompasses all ,a splendid hub to the community 13. The village hall is a resource that is seldom used and utilised and I think if the housing goes ahead this building should not be forgotten about 14. To improve the village hall. 15. Village Hall has plans to renovate 16. Upgrade of the village hall to a Community Centre which can be used by all. 17. Improved community facilities yes, but that does necessarily mean an upgrade of the existing village hall 18. ground and current village hall could be rebuilt into a community centre 19. A Community hall which will benefit everyone. 20. There is no informal open meeting place in Stanley. A community face might be a useful resource. 21. Upgrade of Reid hall to incorporate a cafe , library, etc. and the church could do with a facelift 22. Think the village hall should be upgraded and utilised more. What about tennis courts again?
<p>Things for community to do (14)</p>	<ol style="list-style-type: none"> 1. More social events in the village hall, concerts, quiz nights etc. 2. Open a Youth club * Help the Toddler group * A meeting place for elderly people, something along the lines of bankfoot church centre * Soft play area also like bankfoot church centre * 3. Activities for young and old 4. The use of hall space to benefit younger children with clubs such as badminton or fit clubs. 5. activities for young people - youth club 6. A community café 7. Community Cafe during the day with specific night for groups ie Youth. 8. Community cafe 9. More stuff for the community to do together 10. Community cafe or shop. 11. Coffee shop. Community centre. Film club. 12. anything to do with the community getting together would be a bonus 13. Anything in general which supports the community coming together and working together for the better of the village.... think there are enough play parks for the size of village however community spaces, such as allotments, etc could be well received as they instil a sense of community.... 14. An education centre (night classes etc)

<p>Open space and paths (22 responses)</p>	<ol style="list-style-type: none"> 1. Seat up Duchess Street as it is now used by so many people walking to Active Kids. 2. Footpaths to link to nearby forests and river. 3. Another footpath like the Shielhill Path around Stanley somewhere. 4. new paths to link the new housing development together / to village centre and facilities. 5. Open space. This needs to be accessible and useable. Potential to meet with existing demand for a community garden, allotments and orchard. 6. Orchard, open spaces, 7. The car park on the left as you come into Stanley to be upgraded for water sports users . 8. A footpath linking the Mill to the Linn 9. A circular path around the adjacent countryside. 10. If there were to be a cycle path to Luncarty, it would be good to have a footpath along the river bank to Luncarty as well, and also to have a footpath that links fully from Stanley Mills to Linn Beach. 11. I think it would be good to ensure there is some spaces for biodiversity opportunities, especially for displaced species that don't thrive in gardens. Designs should include any planting which relates to the habitats round and about Stanley and plants should be of native and local provenance. 12. Creating allotment area as part of the master plans would be good, and maybe building in space for linear orchards. 13. Access to surrounding countryside. 14. To make access to the countryside with the creation of footpaths. 15. Green space in the village should be a space you can at least see and enjoy and preferably walk/ play on. The green space between Duchess street and Brougham St can only be seen from some people's back gardens and can't be accessed by anybody. It does not make sense to count this is in the area of green space in the village since it might as well not be there. It could be made into a park or orchard and a walking route could be put through it OR a different area of fields which is accessible should be allocated as green space instead. It would be great to have an area where people can throw a ball for their dogs. Currently they do this on the playing field despite the no dog sign because there is nowhere else really. 16. creation of a circular path around village linking new housing sites 17. We already have bronze, silver and gold medal routes in Stanley. It would be good to have new circular walking routes through the new housing areas linking them to the core path network as part of the plan. 18. New access to shielhill park as linn road may get too busy with traffic 19. Tree planting. 20. Better footpaths. 21. cycle paths 22. Additional to path and safe cycling network
<p>Cycle path to Luncarty (6)</p>	<ol style="list-style-type: none"> 1. Cycle path to Luncarty essential 2. I feel a footpath to Luncarty would be of huge benefit to both Stanley and Luncarty. I don't drive but a foot path would enable me to get to Luncarty by foot safely. Access to Bankfoot would also be fantastic. There is no regular bus route connecting Stanley and Bankfoot. 3. Off-road cycle routes to Luncarty would link well with the cycle network to Perth and beyond. 4. Cycle path to luncarty. 5. off road cycle path to Luncarty 6. cycle path to luncarty
<p>Improvements to village appearance (15)</p>	<ol style="list-style-type: none"> 1. General improvements to the Centre (designed to be as maintenance free as possible on an ongoing annual basis) 2. Tidy up and look after Wildwood, and plant young trees for the future. it is supposed to be for us all to enjoy. 3. Cleaning of War Memorial. 4. Clean up campaign!

	<ol style="list-style-type: none"> 5. village community clean up 6. make it look nicer - improve roads, pavements more bins + more dog bins in streets 7. Just an overall upgrade. Stanley use to be a lively place with activities every festive season and now you are stuck in the house or finding yourself having to travel elsewhere. 8. More dog mess bins. 9. I've also been wondering whether some more radical improvements could be done to the central village square - does half of it really need to be a car park? 10. I've been wondering about SDT facilitating small 'home improvement' grants or loans, maybe up to £3,000. This could help cash-strapped residents with things like fence-building or house-painting which allows them to get things done that might improve the overall amenity of the village. The house on the corner over the B9099, facing diagonally across from The Old Linn (former B&B), could do with being painted. Then there's the broken down fence on the right-angle corner as you come into the village from the south on the B9099. 11. More litter bins around the village to keep everywhere tidy. 12. More litter bins 13. improve the appearance and open space of the square at the heart of the village 14. Road and pavement renovation 15. Fixing other houses. Eg damp, subsiding, bad fitting windows and poor insulation
<p>Traffic management (10)</p>	<ol style="list-style-type: none"> 1. Traffic! 2. better traffic management. (Far too many large vehicles going thought village) 3. Traffic calming in Duchess Street as this is now being used frequently as alternative to Luncarty road 4. I would like the camber of the road at Burnside Cottages because the young family are at their peril and it has cost them hundreds of pounds to replace their fence 2 and 3 times each winter. 5. Reduction of traffic noise by use of special fencing 6. Regardless of the likely increase in traffic with further housing, the road leading west out of Stanley to the A9 is already in need of upgrade. In the event of A9 dualing it would be useful to ensure this route continues to provide vehicle access onto the A9 (north and south) and can be crossed safely by bicycles. 7. Upgrade to Perth road in particular the car parked on the road blocking it. 8. Better street lighting. 9. With increase in traffic safe walking and cycling routes within and from the village area must 10. I would like a full pavement from the top of Duchess Street over the railway bridge to Active Kids. As a non driver with a child I feel very lucky to have such fantastic facility like Active Kids in the village but due to the lack of pavement I feel getting there by foot with a child walking or in a pram can be a bit dangerous as motorists often speed over the bridge.
<p>New services (10)</p>	<ol style="list-style-type: none"> 1. Better shopping facilities un-like the spar that offers more junk food than good food and things are regularly off 2. A supermarket? Maybe that's being a bit too optimistic! 3. It's really good that there's a medical centre in Stanley. If there's enough demand here for a doctor's, then what about a dentist's? Could a dental practice be co-located at the medical centre? (..especially if new housing means an influx of new residents in the village). 4. making the Spar a bigger shop 5. An expansion to the shops to accommodate fresh fruit and veg. 6. Bring the gas pipeline to Stanley 7. Ensure the school is equipped to cope with an increase in pupils 8. Better mobile phone reception . 9. mobile phone reception . 10. A petrol station

Improve public transport (5)	<ol style="list-style-type: none"> 1. Maybe a community bus to take people for meetings to other villages or to the supermarket. 2. Better transport links and opportunities, this also leads to better access to employment and service providers outside the village 3. Supporting Stagecoach to improve bus services to and from Perth, Bankfoot and Dunkeld would be beneficial, particularly on Friday and Saturday evenings. 4. Perhaps less likely to be forthcoming yet worth pursuing and potentially beneficial for the marketing of new housing and attracting business investment would be a Stanley platform on the trainline between Perth and Dunkeld. This would not only benefit Stanley residents but also ease pressure on the extremely limited parking facilities in Perth (particularly at the rail station). 5. Better public transport links.
Other	<ol style="list-style-type: none"> 1. I think we have to be very careful with this. Developers are commercial beings and they are no longer obliged to make commitments to planning gain as this has been removed by the current government. They will do their up-most to ensure that they spend as little as possible in local communities - its a case of build them large and fast, cram as many little boxes in to the area available (almost 15 to every acre!) - make the most profit and then get out of there. I should know I worked for a developer for 10 years! 2. Developing old church? 3. Could the taller houses have SWIFT boxes built in as Stanley is a hot spot for SWIFTS because of the type of housing in the village. Areas for bats would also be beneficial (see biodiversity ideas above) 4. mini golf/putting/pitch & putt other, more imaginative, small scale visitor attractions/activities 5. Also something that might provide long term revenue to community eg community owned hydro/wind turbine/solar scheme, or district heating

Q10 – Suggestions for making the roads safer

Traffic calming general (17)	<ol style="list-style-type: none"> 1. Priority for oncoming vehicles on Perth Road!! The amount of near misses I've had with cars flying past not caring about if you have right ahead. also the 60mph to 30mph without signs to say new layout ahead and drivers slamming on their brakes, would have been a lot easier going to 40 then 30 with warning!! 2. Current speed bump at zebra crossing is very effective in slowing traffic down. However, especially heading north on Perth Road, cars accelerate continuously through the village due to the straight road, and thus traffic speeds are routinely excessive. . Southbound cars entering the village only slow down when they get to the village hall, or even to the police station due to the single file road where cars are often parked. Further traffic calming is therefore necessary - particularly on Perth Road. Use of either sleeping policemen or pavements jutting out in to the road on alternate sides so as to only allow single file traffic would help slow traffic down. This is particularly important as there will be considerably more people in the village / children walking to school etc. 3. Is there something that can be done to reduce the amount of through traffic (especially freight) on the B9099? I've often wondered whether traffic lights or speed bumps could be put on the Stanley bends to try and reduce the number of accidents here. 4. King Street/Percy Street - make a one-way system 5. Not sure but slowing down traffic on main Perth road should be addressed. The linn road past atholl drive should be considered under slowing traffic topic. 6. Traffic calming measures on main road and more off street parking. 7. Road traffic calming chicanes at various locations (at least 5 critical points) along the B9099 plus several down Mill Street. 8. Better calming measures, and law enforcement of speed limits. Parking issue on Perth
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	<p>Road to be addressed - narrow footpath and create parking to allow traffic to flow in a safer manner</p> <ol style="list-style-type: none"> 9. More traffic calming on the busier roads. 10. Less vehicles would make the roads safer 11. Speed reduction measures at the North end of the village - with actual speed indication - coupled with more police spot checks. 12. More road calming measures in the 30 limit at the Airtuly junction for the drivers that are speeding down the hill from the derestricted zone. Also no parking on the street opposite the bus depot and outside the hairdressers. 13. More traffic calming measures on perth road 14. Traffic calming, such as narrowing chokers on King Street, curb planters on Store Street, bumps on Mill Street, etc 15. Traffic calming at top of village on Perth road Some traffic calming/improved pedestrian access at key points on Mill street (e.g. access to park/medical centre) - not sure what the term is but a sticking out bit of pavement that given better visibility past parked cars, and a narrower road to cross for older people/slow walkers) 16. Traffic calming measures 17. Reduce speed of traffic entering Stanley from the north.
<p>Traffic calming - speed bumps (25)</p>	<ol style="list-style-type: none"> 1. Speed bumps 2. If anything, avoid road bumps and use a contraflow system. for example, Islands on each side of the road each give way to a different direction of travel. 3. some speed bumps as speed of traffic is way to fast in all streets. 4. More spaces to cross the road safely are also required. 5. More speed bumps 6. More speed humps on the Perth Road 7. Speed bumps all the way down the Perth Road to stop people speeding through 8. Speed bumps particularly on mill brae 9. speed bumps within the inner roads. 10. More road bumps on Perth Road and Mil Street. 11. Speed bumps. 12. Perth Road more sleeping policemen. Traffic needs to be slowed down Perth Road and Mill Street. 13. speed humps in some areas 14. Maybe Speed Bumps. 15. On safety, while I detest them, we may need to consider more speed humps or possibly mini-roundabouts, especially at Duchess Street/Perth Road where emerging has recently become far less safe because of big cars parked outside the chip shop. 16. sleeping policemen Store street 17. speed bumps 18. Speed bumps near the shops 19. Strategically placed speed bumps 20. Speed bumps at top of Perth road as you enter village. 21. More speed bumps please. 22. More humps up Perth road. 23. Traffic calming ie speed Bumps 24. install speed humps at access to residential streets 25. Reduced speed at the northern 30mph limit by adding an additional sleeping "policeman".
<p>Speed Limits (22)</p>	<ol style="list-style-type: none"> 1. The hump in the road at the school doesn't seem to slow many people down and quite often motorists don't even stop for pedestrians at the zebra crossing. The other main streets in the village such as King St. Mill St, Store St and Duchess St are all streets that motorists drive too fast on. 2. Cut the speed limit for the start of the village to the end of the village. 3. 20mph throughout the village. Passing places and Lorry restrictions 4. 20 mph 5. 20mph 6. I feel that they are quite safe, but a few 20pmh signs may help

	<ol style="list-style-type: none"> 7. reduce speed on main roads and widen narrow smaller roads into village 8. Reduce the speed limit on Perth Road 9. I feel King Street is already potentially unsafe with people speeding/accelerating on it particularly coming west from the Mill end. I am concerned that in the winter folk from the Mill park up on Kings Street and I worry that people will do the same from the development at the bottom of Kings St which I assume may well not get cleared as a priority by the council. People have to cross through the parked cars and with the speed of traffic I feel it is unsafe for youngsters and the elderly especially when congested. I feel that speed restriction at/towards the Mill street end of King St may help the speeding and safety 10. Speed limit of 20mph 11. Speed drop to 20mph 12. Better speed restrictions 13. Youngsters & the not so nimble have to step out from parked cars to cross the road where certainly in King street some drivers go too fast..enforced speed limits would help but no solutions for street parking. 14. Slower speeds. 15. 20 mph throughout the village 16. Impose a 20 mph speed limit. 17. 20 mph zones on all side roads 18. Make the speed limit in the village 20mph. 19. Reduce speed in village, 20. 20 mph speed limit 21. 20 miles an hour through village 22. feel the roads are fairly safe although there is an issue with speed on the main road, especially at rush hour with traffic using it as a route from Blairgowrie to Perth. The proposed new bridge may ease this in the future
<p>Sign- age/Enforcement (16)</p>	<ol style="list-style-type: none"> 1. A solar powered traffic sign that flashes up the speed that you are actually doing through the village, like the one in Dunkeld. It really makes you appreciate the speed you are travelling at. 2. A permanent traffic sensor / digital warning sign to replace the current one which is only occasionally operational would also help 3. Keep the illuminated speed limiter sign on the main road working all the time. 4. Better traffic signs 5. Enforce speed limits 6. Enforce speed limit. Chevrons as enter all 30mph limits.. 7. Tighter police presence to slow the traffic down 8. average speed camera / speed reduction measures 9. That people adhere to driving laws. 10. Make sure that all traffic stick to 30 mph. 11. Traffic Control Need to stop speeding through the village. 12. static slowdown sign to reduce speed at top of village 13. averaging cameras at each end of the village 14. Frequent traffic police presence 15. Have some sort of flashing speed sign at school crossing. dropping the kids off here I still see cars flying over the speed bump. 16. Speed restrictions being adhered to.
<p>Pedestrian crossings, paths and other facilities (28)</p>	<ol style="list-style-type: none"> 1. More pedestrian crossing in appropriate places to allow children to cross main roads from new developments. 2. Dropped pavements for scooters and prams at end of all pavements. (I had a bad fall trying to manoeuvre my scooter where there was no dropped pavement and it was unsafe to reverse at that point.). I know there are at least 5 scooter owners in the community. 3. Traffic lights at zebra crossing 4. Have a lollipop person on duty at school crossing every day 5. As the school crossing patroller, I have already spoke to the council about extending and creating more barriers at the crossing at the school for the children's safety. How-

	<p>ever, it is still too busy and fast a road to be next to a school. Perth road needs to be a 20zone with speed cameras.</p> <ol style="list-style-type: none"> 6. Sometimes the lollipop lady isn't there so we need another one to keep the crossing safe 7. I feel pedestrian crossings on the Perth road would be beneficial. 8. Also the crossing by the school will probably need to be upgraded from a zebra to a pedestrian crossing 9. more pavements 10. Pavements on both sides of Duchess Street at least up to the railway bridge. Any other improved pavement access where it does not exist at present. 11. Pedestrian crossings on Perth Road. 12. Something to slow down traffic coming down the hill to the zebra crossing at the school, most days I stand at the bus stop at least one vehicle will hit the crossing too fast and they risk losing control. e.g. 20mph limit on Perth road. Most children at school time walk and it would be good if all the new houses had footpaths to the school and shops so that this could continue, it makes the school gates much safer 13. Separate path network for walking and cycling 14. Separate cycle path to Luncarty (connecting to cycle network from there. 15. Development of the off-road cycle path to Luncarty. 16. A cycle path would encourage more people to cycle when commuting reducing the number of cars on the road 17. Railway bridge at the end of Duchess street - pavement needed so pedestrians can cross safely to active kids/ 5 mile wood / new housing developments. Also traffic lights or some way to get oncoming traffic to slow down before the bend and the bridge, it is currently a dangerous route for cycling. 18. Junctions from Margaret Street and James street out on to Perth road are narrow with no pavement. 19. Proper width pavements (wide enough for pram/wheelchair) connecting all housing (including to west of railway bridge/Burnside farm end of village at end of Duchess street) 20. Islands in Perth road to slow people down and enforcing parking which is currently there. 21. Pelican crossings at top of village on Perth road, not just outside school 22. install a crossing in Mill Street, 23. Cycle paths/lanes 24. Wider pavements, 25. Put "Walker and Cycle Friendly" Road signs along Airntully Road and reduce speed limit on this road. 26. Continue pavement from north end of Stanley to Airntully Road junction. 27. A footpath all the way up linn rd 28. The areas of the village adjacent to the proposed developments will see an increase in heavy traffic and those lorry drivers and construction workers should have it drummed in to them that they be especially careful for the younger residents of the village. I would be reluctant to let my young son cycle about our street if there is a big influx of vehicles. At the moment there are few/no significant trouble spots in the village as regards road safety...planners should aim to sustain this!!
Road maintenance (6)	<ol style="list-style-type: none"> 1. Repair them !!! 2. Get any potholes fixed! 3. I think the roads should be resurfaced 4. fixing sunken drain covers 5. get the roads to current legislative standards 6. Roads kept in good condition ! They are not presently !
By-pass for village (4)	<ol style="list-style-type: none"> 1. Bypass to take through/commuter traffic. 2. Bypass the village to ease the increased traffic flow 3. Or alternately build a bypass on the west side of the village linking the Airntully Road junction with Burnside Farm. This would ensure that the increased volume of traffic which will inevitably result from the upgrade of the A9 at Newmill Farm does not add to

	<p>our existing traffic problems.</p> <p>4. village bypass</p>
Restrict traffic (12)	<ol style="list-style-type: none"> 1. Reduce the amount of heavy lorries and vans through the village. 2. Get rid of the big lorries 3. Reduce the traffic or by-pass the village. 4. Prohibiting lorries over a certain size 5. discourage the large logging lorries coming through 6. Ban heavy lorries. 7. Restrict access for large lorries using Stanley as a short cut. 8. Stop large vehicles using the village as a 'Rat Run'. Keep traffic to main roads 9. roads in Stanley would be safer if they did not have such a heavy flow of traffic 10. reduce number of lorries using Stanley as a 'rat run' 11. reduce weight limit of vehicles allowed through village.... 12. Stop the enormous lorries travelling through the village
Lighting issues (5)	<ol style="list-style-type: none"> 1. Better street lighting 2. Improved Street lighting 3. Make sure the main roads are well lit - during the winter nights it can be difficult to see very far 4. If there is to be more traffic in the village then there might need to be traffic lighting at those junctions with heavy use. 5. Good street lighting one way streets provision of pavements
Snow (3)	<ol style="list-style-type: none"> 1. More gritting in winter 2. ensure immediate gritting and clearing snow on all the streets during winter 3. Better snow clearance throughout the village, including Mill Brae.
Parking (8)	<ol style="list-style-type: none"> 1. Stop cars from parking just after the bad bend when you come into the village Stop all the police cars parking on the street when they have a drive and a garage 2. less parking on the main bends or main road! 3. Restricted parking to allow two way traffic. Alternative parking would have to be provided. 4. reduce the number of cars parking on the main road Having a parking space for cars within the village free of charge 5. Stop parking on Perth road or allow parking partially on the pavement as previously between the police station and school particularly. 6. removal of the bus stop in mill street ,the out from kerb section which causes problems with buses blocking a main through fare 7. Parking restrictions on Perth Road 8. Murray place is currently a free for all (parking on access areas, entrances to car parks, blocking gritters) for any idiot who can't be bothered and cares about nobody else
Road improvements for new developments/extra traffic (22)	<ol style="list-style-type: none"> 1. upgrading Duchess Street out to A9. 2. Some sort of traffic calming in Duchess Street - the traffic has increased year on year and people use it as alternative to main road. They then drive up/down at speed to make sure it is quicker than main road. 3. Formalise a single track road with passing places on the Duchess St- A9 minor road rather than sporadic ineffectual pothole repairs, this might discourage the large lorries and speedy cars using it as rat run. Improve the alignment of main road to Perth 4. I would like to see the corner on Perth Road near County Place widened by a compulsory purchase order of a piece of garden as there is a lot of heavy traffic going through Stanley and that corner is very sharp and dangerous 5. widen narrow smaller roads into village 6. upgrade roads into the village - widen stewart's tower and active kids roads 7. Take out bend by realignment to west of 'canoeists' car park, thereby also reducing risk of collision with canoeists crossing road as well as number of incidents on the bends. 8. Widening the road between the bends leading to Luncarty or making a new road from canoe car park into village 9. Slight widening of the road west to the A9. 10. Upgrade Five Mile wood road

	<ol style="list-style-type: none"> 11. Something to improve the visibility for cars coming out to join the traffic on Perth road and footpath to improve the safety for pedestrians. One way system. 12. Improvements to the other roads to the A9 (the Active Kids road and the Stewart Tower road) would be useful. At present these roads are practically single track in places and when there has been an accident on the main Luncarty road with a diversion via the Active Kids road I have felt that it was quite dangerous due to the state of the road 13. One way in James Street 14. The roads within the Village are generally of a good standard but with the ever increasing amount of traffic the single track road from the A9 into Stanley via Duchess St is no longer adequate. 15. The roads into Stanley are a disgrace not per se, but because the size and sheer volume of traffic using them far outstrip their capacity. They suffer from the modern driver's view that where there's tarmac my vehicle can go. This creates potholes, verge destabilisation and drainage collapse and leads to incidentals like verge litter and congestion and creates a far less safe environment. The road between Stanley and the A9 is particularly bad - it's a glorified single-track road treated like a motorway by many drivers. 16. By-Very careful thought and consultation on exactly where the access points to the new developments will be and how this will impact on existing residents. 17. Careful consideration of roads into and out of the proposed housing developments, especially on duchess street. 18. As a priority the road from Stanley to the new grade separated Tullybelton junction on then dualled A9 needs itself to be upgraded to allow two vehicles to pass safely over its entire length, not with just passing places as is with the road passing Stewart Tower Dairy to Bankfoot. There will be a significant increase in traffic from the new housing, 2 areas of which will have direct access to this road. 19. All housing new and old should have an fully integrated path/cycleway network. Traffic calming particularly from the north access into Stanley, though Duchess Street can be a bit of a race track on occasions 20. Linn Road should be widened if the new houses are accessed from this road only. It's a dirt track at the moment. This road is heavily used with dog walkers and mothers with children walking to the Linn. I believe there should be an entrance/exit at Station Road also. This would ease the noise/traffic on Linn Road. 280 houses will generate at least 280 cars (or more as some families will have two cars). I don't think Linn Road can cope with this volume of traffic. 21. Make sure all new roads have a pavement and speed bumps in housing estates 22. Upgrade corner on mill street /king street due to more vehicle movements,
Other	<p>Roads are safe They seem safe now. Cover for traffic controller for school crossings It's not the roads it some of the drivers on them Drivers Take more care.</p>

Q11 Any other comments

<p>Comments on consultation exercise and next steps</p> <ul style="list-style-type: none"> • Thanks for putting in the effort • I would like to commend the value of SDT, its directors and members. Thank you for providing a credible platform to gather views from residents of Stanley. • Stanley needs to decide what it is. It has developed from a village, based round the mill, piecemeal without any apparent thought or planning. This exercise is therefore to be welcomed. • Would suggest that P&K Council co-ordinate with Stanley Development Trust to ensure that a wide range of public benefits are created through appropriate planning of the housing developments so as to meet the objectives set out in the Local Development Plan. • Why is this master planning exercise taking place after the Council has already given the 'green light' to
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developers for five new, very large housing schemes?

- People in Stanley want to be involved in deciding the masterplan for the benefit of residents present and future not just the people who are making profits from the new houses.
- money and development promises carried out before the houses
- Please contact food growing group for ideas around allotments and linear orchards, etc. Swift surveys were undertaken in 2014 around Stanley, more planned 2015.
- Have to wait and see

Housing and Employment

Concerns over housing numbers and impact on village qualities and environment

- I feel we need to keep Stanley a village as much as possible, its fine having new housing, but why so many? This could take over and end up with Stanley being a town.
- The village is big enough.
- 280 new houses is an awful lot, giving the existing size of the village.
- Ridiculous suggestion to build 280 houses in a small village!
- We need to be clear that our historical sites are preserved particularly the curling pond - the field in that area should be now classed as common ground and shouldn't be allowed to be built on. There is planning precedent to this. We should also look to Planning Democracy for support - Our planning system is no longer fit for purpose set up as it was in 1945 to aid the restructure of the UK after the 2nd world war. It's all about growth regardless of the social and environmental impacts on local communities and is heavily weighted in favour of the developers. PKC should be challenged to rezone rather than pushing the problem of where to build houses out to the outlying villages. Brownfield sites in the city should be reclaimed rather than the easy option of building on greenfield sites. Its all so lazy and last century - there is no secondary thinking!
- no buildings behind Athole Drive!, we have moved in just before the signs went up, with no knowledge or say on the matter, and a housing development just outside of our purposefully chosen calm and rural new home in a calm district close to nature was the last thing I would have wished for in my life!
- Not happy with the Linn road development. I received notice shortly after buying my flat ... Partly because of the view.
- Do not allow the village to be ruined by too many houses and losing our small friendly village into a soulless suburb
- People need housing but it would be distressing to see housing being built on our wonderful farmland on our doorsteps
- To ensure that the infrastructure can cope with an increased number of residents and not to allow so much development as to destroy the village atmosphere and create a faceless new small town.
- Drainage and sewage issue is fully suitable for number of housing and extra facilities planned for village
- Limit number of new houses- 280 too many , refuse any further incremental increase during development. Mix of houses to suit all life stages - if all family homes will be issues for waiting times for clubs / school capacity. What will be impact on sewage and water pressure? Design of new houses should reflect character of original vernacular buildings. Landscaping of developments - greenspaces on plans should be enforced. Planting should natural and native species in keeping with rural landscape ie not a line of lollipop trees or leylandii. Expand car parking for canoeists and create and maintain a car park at Stanley beach - it's well known stretch of river , canoeists will come and needs managing to avoid conflict. There isn't as much Greenspace open to public as marked on plans.
- leave as many of the lovely views as possible. Don't take away the peaceful village lifestyle.
- I am totally against the Master Plan. The scale of the development will ruin

	the whole concept of the existing village
Mix of Housing	<ul style="list-style-type: none"> Housing that isn't too modern and affordable family homes as myself and partner are looking to purchase one of these homes depending on how it looks and affordability. I personally feel Stanley lacks a community meeting area; I think Bankfoot church centre is something this village is desperately in need of, minus the church. Indoor sports area; an area for elderly people to meet; a place to hold baby and toddler groups; youth club; coffee shop; a place for the school children to hold events at night if need be All your plans are for the younger and older generations. There is nothing for in-between teenagers and 20 year olds looking to set up roots.
Key design considerations	<ul style="list-style-type: none"> At present Stanley is a decent sized village and whilst I don't feel more houses are required there is obviously a need for them near Perth. I just hope that common sense is used when estates are built so that the increase in size is not too sudden and that new estates are merged with the old village so it doesn't have that horrible estate feel of Luncarty The housing and landscaping should reflect current designs *(eg use of beech hedging and trees. Also would be nice to incorporate biodiversity benefits eg swift boxes/apple hedges. It's essential that new estates have easy and safe pedestrian access to village centre to avoid unnecessary traffic movements. Although there is a reasonable play park, the new settlement should include playing space within sight of houses for young children including ball games Biodiversity friendly developments please Between site H33 and H34 but about 20-50m to the north east down the road is some extremely rare mushrooms growing by the roadside. These mushrooms will most likely not be seen in the spring when work commences as they appear from summer to autumn but their species is declining in the area greatly so all due care should be taken not to park lorries or other construction vehicles on the grass verge of the road past the bridge or they may be destroyed forever. They are edible giant puffball mushrooms and so their location has not been disclosed to others as I feel they would be picked beyond a regrowth but I would like to see this small consideration taken into account. Many thanks
Employment opportunities	<ul style="list-style-type: none"> Major consideration needs to be given as to the whereabouts of the 1 hectare of Employment Land required by the Local Development Plan and what types of employment activities we would like to attract to the village and how we should attract it. What, if any, plans are there to bring jobs to Stanley? Could any light, traditional craft trades be accommodated in presently unused buildings, including those at Stanley Mills (it would be necessary to liaise with Historic Scotland on this)? Arkwright's Mill at Cromford, Derbyshire has both the historic buildings for the public to visit, and local craftsmen both working and selling their wares, to the mutual benefit of both. This is greatly appreciated by visitors, and enhances their visit to the historic site. This could generate additional income within the village, especially if a Café was part of the Plan. It would be great to see some more small shops and businesses being encouraged to Stanley
Community Facilities	
<ul style="list-style-type: none"> although I have suggested that the upgrade of the village hall is a definite yes I would like to suggest as an alternative that the hall be demolished, land sold for housing, village church should be rebuilt using existing stonework on ground near to King Steet with an all purpose new village hall with views to the river etc., created behind. village hall is already supported by those that use it - the money for any future upgrades of it should come from what it raises through it's us - Better marketing of it's community value would increase usage and thus funds. Funds from increase in housing should go towards facilities for the increase in population, such as sports hub & facilities, community events (xmas lights, stanley summer fayre, etc). Stanley is one of few villages that has no recreations ground this should be reinstated, with a MUGA. 	

Lack of suitable child care (eg a nursery/after school area is a real gap in provision, could ideally have some community function too out of hours, or be incorporated in community sports hub or village hall? The appalling broadband coverage outside the village needs addressing - is it going to get even worse with new houses taking up bandwidth?

- An increase in population would probably merit a larger post-office facility and potentially a larger grocery store. It is unclear whether there is an existing demand for allotments within Stanley and whether this would increase (depending on housing types of new developments). This may be worth exploring, however. An alternative approach would be to facilitate the development of community growing space for fruit and vegetables, such as that within Dunkeld. For any new developments there should be safe pedestrian access to the centre of town.
- We could do with a coffee shop to meet friends in
- Builders should be made to contribute towards increase in Stanley School capacity; ensuring that traffic routes to new developments take into account the large pedestrian population of the village

Open space and paths

- The recent paths have been great, but we need to consider proper safe access to Five-mile Wood and a cycleway to Luncarty would presumably also afford walkers the chance to go there or link with the path down the Tay to Perth
- Adequate lighting for new recreational areas

Transport and active travel

- new access roads to save too much traffic filtering through village and 'racing on mill street' Congestion on linn road may be a problem Mains gas would be ideal Bigger supermarket Gym/swimming pool
- A potential park and ride at the top of mill street would reduce car numbers coming through the village. And improve bus links.
- New Road Layout Very Important
- Traffic noise reduction especially as the road is very narrow going past my property and the sound bounces off the opposite banking.
- To employ a local road sweeper to keep street clean, maybe only 2-3 times a week.
- Duchess Street never seems to be salted although it is a bus route and has heavy traffic. Why? AS we are a street of mainly older people a bus to Perth and back at a reasonable hour up our street would be beneficial.
- Cycle path to Luncarty is a high priority.
- Cycle path to Luncarty should be responsibility of PKC under their road safety planning not for our village to pay for in a once only opportunity to use funds for the village

Other

- Remove the drug addicts.

Q12 Age of respondents

	%	Number of responses (145)
Under 12 years	2.76%	4
12 - 17 years	0.69%	1
18 - 24 years	5.52%	8
25 - 34 years	10.34%	15
35 - 44 years	15.17%	22
45 - 54 years	22.76%	33
55 - 64 years	21.38%	31
65 - 74 years	15.17%	22
75 years and over	6.21%	9

Reports from workshop sessions at consultation event

a) Community facilities

Statements discussed	Overall ranking	Discussion points and comments
Create a community sports hub	1	<ul style="list-style-type: none"> • Sports hub entrance must be from a PUBLIC road and have adequate parking. • For adults as well as kids and not just football.
Improve mobile phone reception	2	<ul style="list-style-type: none"> • Phone for people who work here (improve mobile phone reception)
Set up a community café (social enterprise)	2	<ul style="list-style-type: none"> • A privately run coffee shop / tea room would provide a little employment. • Community café integrated with sports/community hub. • Charity shop within community café/facility
More for young people to do	2	<ul style="list-style-type: none"> • Things for young people to do • Link with community sports hub/café • Intergenerational projects • After-school activities
A bigger range of shops	2	<ul style="list-style-type: none"> • Maintain (or improve) current shops, pubs, hotel etc. • Improve current offering in shops, healthier/fresher produce. • Bigger shops, existing ones will be too small. • Craft shops
Upgrade the Village Hall	3	<ul style="list-style-type: none"> • The village hall is overflowing today –how will 280 new houses (600 new people) fit in? • Linked comments: what will we offer them as an incentive to use it? • Need a new village hall with proper community facilities: the <u>Heart</u> of the village • Increase use? How? • Village Hall expensive. • Versatility • Energy • Inside and outside space • Workshop facilities for craft workers, e.g. Birnam Institute, at Mill or Village Hall
A children's nursery	3	<ul style="list-style-type: none"> • Nursery need will depend on profile of new residents – could create and support employment.

		<ul style="list-style-type: none"> • Nursery / employment. • Larger room for nursery provision. • School has nursery already (up to 2.5 hours per day).
Bring mains gas to the village	4	<ul style="list-style-type: none"> • Possibly too late and expensive to bring mains gas to village – people would need to change existing boilers/cookers. • Energy plan / security for village more generally.
A local charity shop or exchange shop	5	

Additional topics discussed

Health	<ul style="list-style-type: none"> • More doctors for increased and aging population • Is the medical centre big enough to cope? • Medical facilities need to be larger – i.e. another GP to be added to surgery, also – what about dentistry? • Local dentist? • Physiotherapy facilities • Defibrillator for the village – like Murthly shop. Some villages use old telephone boxes to house them.
Things to do in Stanley	<ul style="list-style-type: none"> • Night class facilities • Elderly people's facilities • Clubs –activities • Things for mature people to do! • Encourage more people to go to church • Outreach facilities for community out- with Stanley centre • Facilities for wider community.
Employment	<ul style="list-style-type: none"> • Employment for staff to avoid commuting. • Care home will provide employment.
Paths	<ul style="list-style-type: none"> • Footpath going down to Linn past farm site – take away verge on right hand side.

Note – all 4 groups completed prioritisation exercise

b) Housing

Statements discussed	Overall ranking	Discussion points and comments
Mixed developments	n/a	<ul style="list-style-type: none"> Concern over the type of houses to be built and the green spaces around the developments
Type of housing should reflect the needs of the local population	n/a	<ul style="list-style-type: none"> Concerns about selling the houses – possibility of them being left empty and the implications House exchange old for new – redevelopment of old properties
A mix of housing that allows people to stay in communities they have grown up in and lived in, if they so choose	N/a	
More social housing	n/a	
Co-housing (groups of older people living together in appropriate housing)	n/a	<ul style="list-style-type: none"> requirement for more suitable housing for the elderly A group of older people living together is an idea – who would sweep/dig the snow off their paths, put their bins out etc.
Eco-friendly homes	n/a	<ul style="list-style-type: none"> Energy [Insulation/micro-renewables/micro CHP boilers if gas or oil/energy resilience] Eco friendly homes with provisions for bats, swifts etc. Sustainable footprint/sustainable standards for all houses/sustainable product sourcing Ecology [built-in biodiversity features/bird boxes/fruit tree in every garden/wildlife friendly boundaries/bat boxes] FSC/UK- European products and materials by preference Rainwater harvesting Interconnected green spaces
A district heating system for new housing developments	n/a	<ul style="list-style-type: none"> District heating can be owned by community so profits go back to the community

Developers could use their influence to bring mains gas to the village	n/a	<ul style="list-style-type: none"> • Access to gas proved a popular discussion point, but the cost likely to be prohibitive
New housing developments should blend with the existing village	n/a	<p>New housing needs to contain variety and appearance, be harmonious but not uniform</p> <p>Important to preserve/enhance what we have and not just develop new things</p>

Additional topics discussed

General Traffic issues	<ul style="list-style-type: none"> • vehicles/condition of roads/ weight restrictions on bridges – have all road routes been considered • Developers to pay for straightening Perth Road bends and take pressure off Duchess Street to A9
Services	<ul style="list-style-type: none"> • Would be good to have a nice pub in the village
Parking	<ul style="list-style-type: none"> • Concerns over parking and access to developments – increase in traffic flows/construction
Pavements and paths	<ul style="list-style-type: none"> • Duchess Street pavement is not all council owned – there is no public access to the end of Duchess Street or over the railway bridge

Note - No groups completed the prioritisation exercise. There was also lots of discussion about objecting to the developments (a little late in the day)
Concerns over the sewage infrastructure.

c) Transport

Statements discussed	Overall ranking	Discussion points and comments
Introduce traffic calming on other main routes in village	1	<ul style="list-style-type: none"> • But put plenty of warning signs. • Traffic calming//reduction is v important. • More roundabouts in new development may calm traffic naturally. • All groups regarded calming as highly important and saw this as overlapping with other proposals
Increase traffic calming on Perth Road	2	<ul style="list-style-type: none"> • Speed of lorries through Stanley even though hump in place. • Improve warning signs for big speed bump outside school or better still have bump BEFORE crossing.
Introduce 20mph limit throughout the village	2	<ul style="list-style-type: none"> • car free zones within housing sectors to enable walking with minimal road crossing • Not just introduce 20mph limit but enforce it! • one way system on King St/ Percy St.
Build cycle path from Stanley to Luncarty	3	<ul style="list-style-type: none"> • should be "all abilities access" • cycle racks/ communal close to cycle routes • medium or lower priority as a transport solution, seen as a good leisure option and for commuters.
Restrict access for large lorries	3	<ul style="list-style-type: none"> • Weight limited on bridges. • Speed (weight?) limits on bridges would reduce the number of lorries.
Widen access roads from Stanley to the A9	4	<p>General</p> <ul style="list-style-type: none"> • Traffic infrastructure needs reviewed to manage increased vehicle numbers on all roads in/out of village. <p>Duchess Street</p> <ul style="list-style-type: none"> • Needs to be properly repaired but shouldn't become a main route for traffic - it should remain a quiet road. • Solve main route to Perth not make Duchess Street and connecting road to A9 over v.small railway bridge the main route. Making the railway bridge bigger will just encourage more traffic. • Instead of widening roads to/ at top of Duchess Street/ A9 narrow them and create a "choke area point" with priority to oncoming traffic signs. • Concern over width of Duchess Street for envisaged increase in lorries/ cars. • Duchess St to A9 road needs passing places so you go slowly but pass safely. • Restrict lorries on this road (Duchess St to A9 road)

		<ul style="list-style-type: none"> • Main access to H30 should be from main (Perth?) road not from Duchess Street... Bridge too small for extra traffic. • Fence at Duchess Street bridge gets knocked down a lot in accidents. <p>Perth Road</p> <ul style="list-style-type: none"> • New road to bypass bad bends from Thistlebrig - Summerhill- village
Increase number of pedestrian crossings on Perth Road	4	<ul style="list-style-type: none"> • lower priority than traffic calming, if traffic too fast you would be afraid to use the crossings.
A circular walking route through new houses linking them to the core path network	4	<ul style="list-style-type: none"> • low priority as a transport solution but strong support for the idea that houses should be integrated in the village, be connected in and able to be walked though. • Footpaths and cycle routes to link green areas • Footpath/ cycle route to luncarty • every development should have access to core paths and cycleways • Reopen Path from weir to Linn
Reopen railway station	5	

Additional topics discussed

General Traffic issues	<ul style="list-style-type: none"> • Potential of 600 more cars in village - must manage access routes from new sites and throughput of traffic • The "Bridgend" problem in Perth. Blairgowrie vehicle users use Stanley as a rat run, 4 miles longer but still 20-30 min quicker than sitting in a Q on bridge end's Glenisla road/Scone • Stanley shouldn't be a shortcut for through traffic, provision should be made elsewhere to shorten journey times e.g bridge over the Tay. • Better bus service (for young folk at weekend)
Parking	<ul style="list-style-type: none"> • How much parking per house on each site will there be? there must be adequate parking. • Electric car charging points (free to begin with) • Off road parking
Pavements and paths	<ul style="list-style-type: none"> • Safe pedestrian access to Active Kids • Dropped pavements on all street junctions for scooters and prams.

Note – All 4 groups completed the prioritisation exercise

d) Openspace and paths

Statements discussed	Overall ranking	Discussion points and comments
make all green space accessible to the public	1	<ul style="list-style-type: none"> • Need accessibility to greenspaces • Existing greenspace should be made more accessible • Connectivity between existing green spaces • It's not OK for developers, who own masses of land, to designate someone else's land as village green space pen space by school is used by livestock and is flooded and boggy. Not actually suitable for community greenspace (or would at least need a lot of work to make it so). Need other sites.
more play areas for children, especially ball games	2	<ul style="list-style-type: none"> • Satellite play areas created within all developments with ball game areas – there was particular enthusiasm for this idea, which should be in addition to a larger centralised play area. • Small green spaces and play areas close to housing and safe distance from roads and railway. • Teenage / youth play areas within Community Facilities
Improve the appearance of Stanley	3	<ul style="list-style-type: none"> • Biodiversity should lead the landscape plan • Amenity / home-owner improvement grants could help improve the appearance (e.g. for external wall painting), biodiversity (e.g. trees and hedgerows) and energy efficiency (e.g. external wall insulation) of existing homes and businesses in Stanley. • We already have beautiful areas of biodiversity. Don't build on them. Protect them for a socially and environmentally just community
Plant more native trees	3	<ul style="list-style-type: none"> • Use Native Trees and have natural planting (no lollipops and avoid having straight rows)
New housing should be wildlife friendly	3	<ul style="list-style-type: none"> • Swift boxes on housing • Biodiversity areas which facilitate losses (gardens are not replacing like for like) • Fruit trees in gardens • Wildflower areas not just trees – diverse habitat
Develop a community growing space	4	<ul style="list-style-type: none"> • Allotments for whole community (not just new housing) • Use linear orchards linking to community orchard
Hedgerows rather than	4	<ul style="list-style-type: none"> • Use hedgerows but not in private ground which could be replaced later or may be poorly main-

fencing		tained.
More litter bins.	5	<ul style="list-style-type: none"> • litter bins were relatively less important at this stage....the issue is getting people to use them, rather than their existence... • Better control of litter / dog fouling • Tidy up the Square – make it prettier
Preserve historical sites	5	<ul style="list-style-type: none"> • Curling pond (Fire reservoir for the mill) should be re-established to attract biodiversity

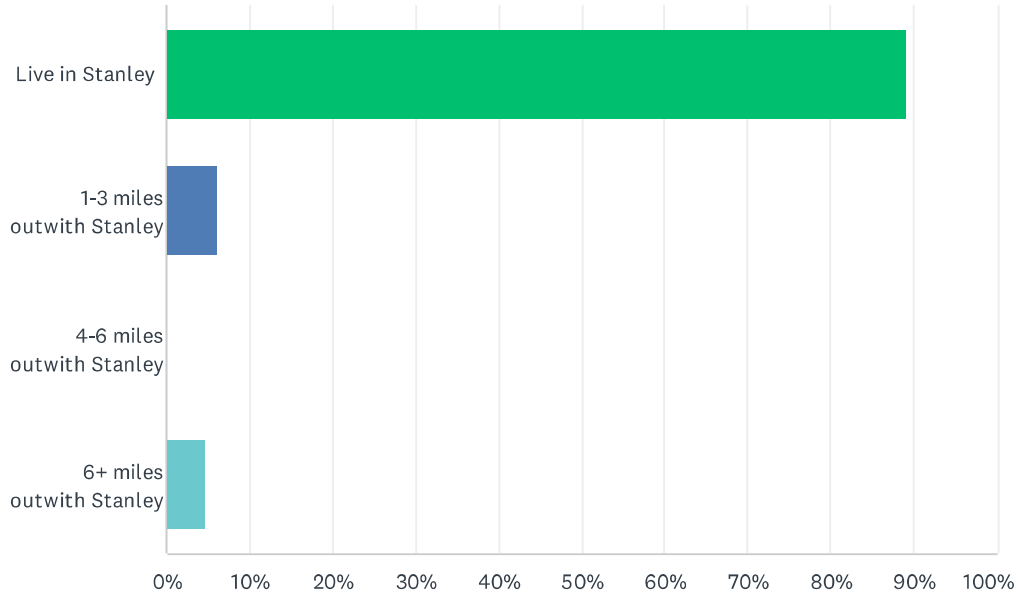
Additional topics discussed

Traffic	<ul style="list-style-type: none"> • Bypass bad bends in the road to Stanley • Noise pollution – soundproof fencing may be useful if there will be more road traffic. • The new development should be integrated into the existing housing stock by smart use of road systems and walks in and around new areas so they are not separate and unknown to the existing village
Things to do	<ul style="list-style-type: none"> • Intergenerational projects should be encouraged – Allotments / Sports/ social / educational activities
Dog walking area	<ul style="list-style-type: none"> • Marked dog areas / need to be cleaned
Vermin control	<ul style="list-style-type: none"> • Will Zurich start to pay attention to their obligation of “Estate Management” (i.e. deer & vermin control)
Master plan implementation	<ul style="list-style-type: none"> • The developers should engage with the various active community groups in Stanley (as perhaps should SDT to ensure the collective interests of such groups are represented).

Note - Only 1 group completed the prioritisation exercise

Q1 How local are you to Stanley?

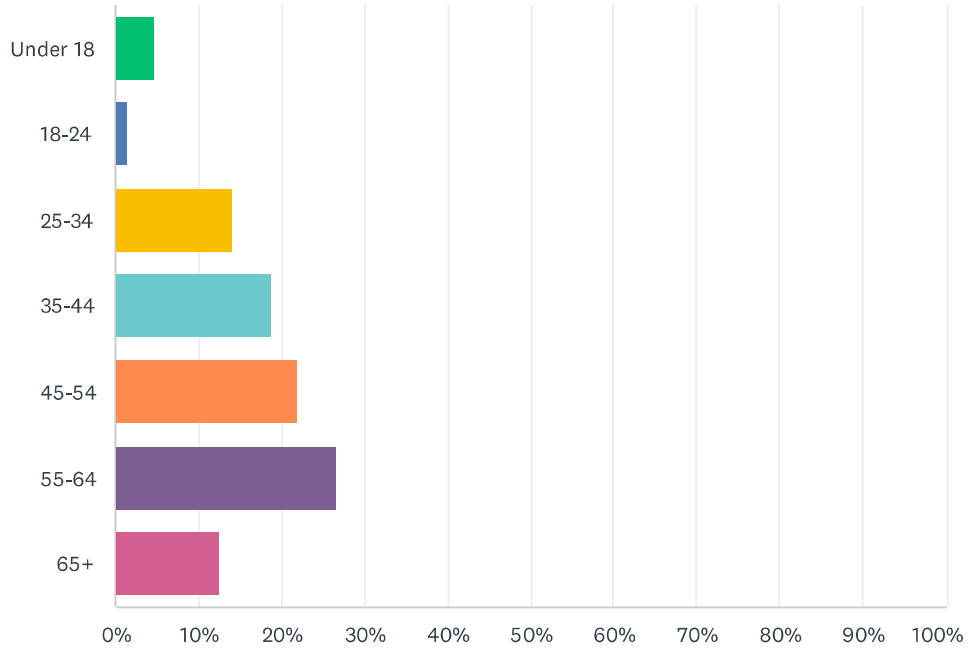
Answered: 65 Skipped: 0



ANSWER CHOICES	RESPONSES	
Live in Stanley	89.23%	58
1-3 miles outwith Stanley	6.15%	4
4-6 miles outwith Stanley	0.00%	0
6+ miles outwith Stanley	4.62%	3
TOTAL		65

Q2 What age are you

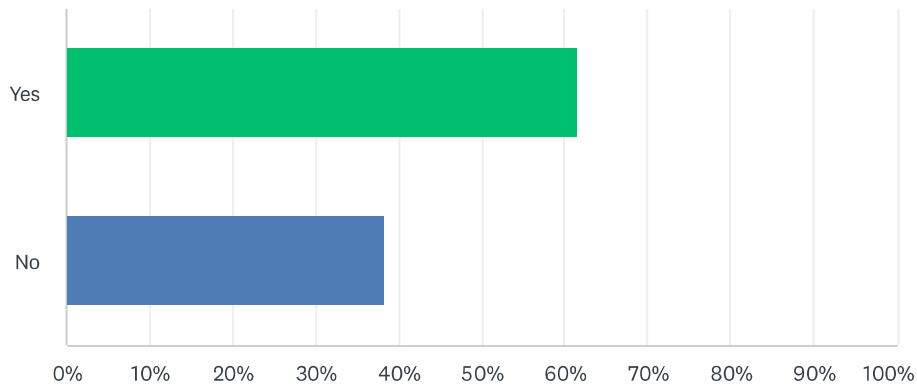
Answered: 64 Skipped: 1



ANSWER CHOICES	RESPONSES	
Under 18	4.69%	3
18-24	1.56%	1
25-34	14.06%	9
35-44	18.75%	12
45-54	21.88%	14
55-64	26.56%	17
65+	12.50%	8
TOTAL		64

Q3 Were you previously aware of the Hub project?

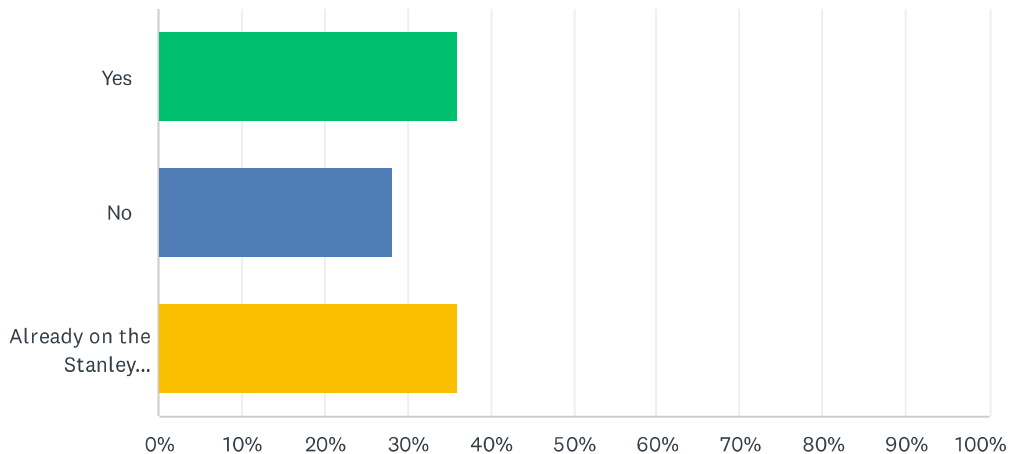
Answered: 65 Skipped: 0



ANSWER CHOICES	RESPONSES
Yes	61.54% 40
No	38.46% 25
TOTAL	65

Q4 Would you like to sign up to our mailing list?

Answered: 64 Skipped: 1



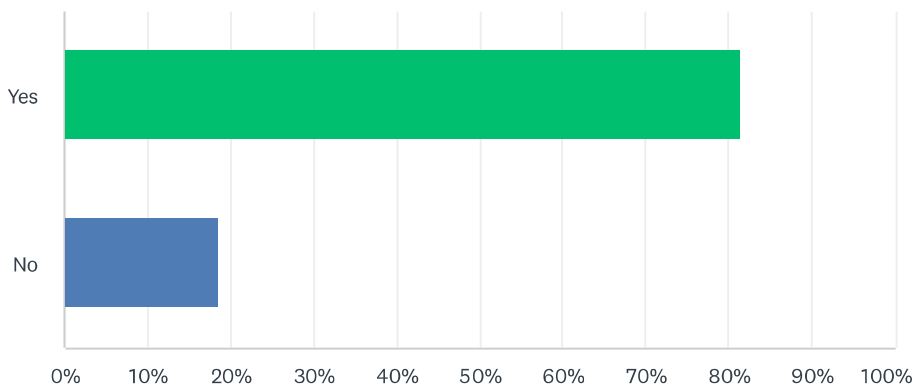
ANSWER CHOICES	RESPONSES	
Yes	35.94%	23
No	28.13%	18
Already on the Stanley Development Trust mailing list	35.94%	23
TOTAL		64

Q5 Please provide your email address

Answered: 36 Skipped: 29

Q6 We are looking to relocate the War Memorial to a more centralised position within Stanley. Would you support this?

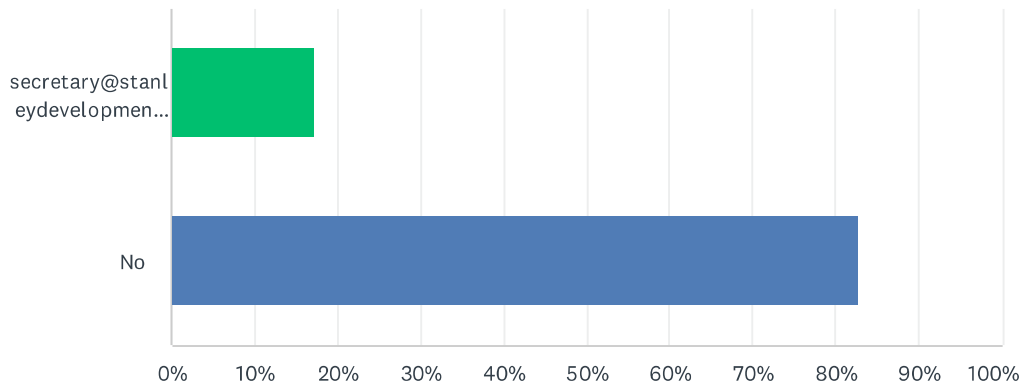
Answered: 65 Skipped: 0



ANSWER CHOICES	RESPONSES
Yes	81.54% 53
No	18.46% 12
TOTAL	65

Q7 Do you have any other comments? Please send us an email.

Answered: 58 Skipped: 7



ANSWER CHOICES	RESPONSES	
secretary@stanleydevelopmenttrust.org	17.24%	10
No	82.76%	48
TOTAL		58



Community Enterprise

Title: Survey Analysis

Client Name: Stanley Sports Hub

Date: May 2013

Introduction

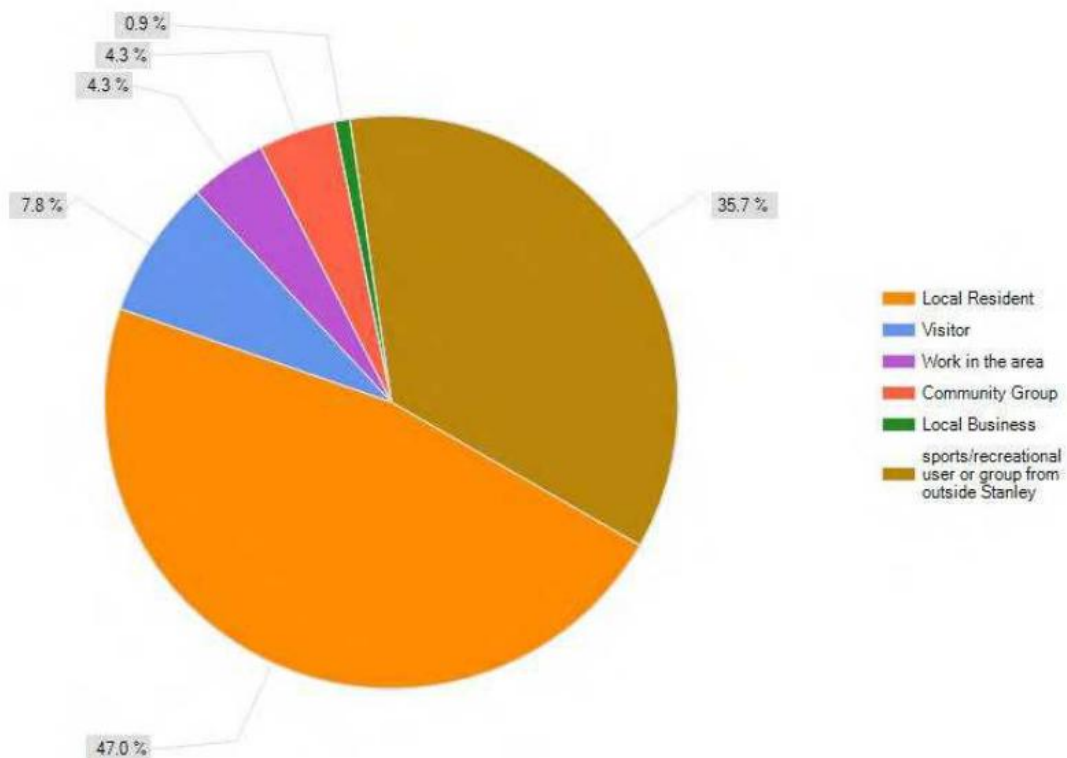
Stanley Development Trust applied to receive support from the Perth and Kinross Social Enterprise Support Programme. They were assigned 2 days support and, following a meeting with the Trust, elected to commission community enterprise to facilitate a potential user's survey for the sports hub. It was distributed locally and also to a range of intermediaries and community groups across the area.

In addition, the Village Hall committee was keen to identify demand and views on their facility, so this was embedded into the survey.

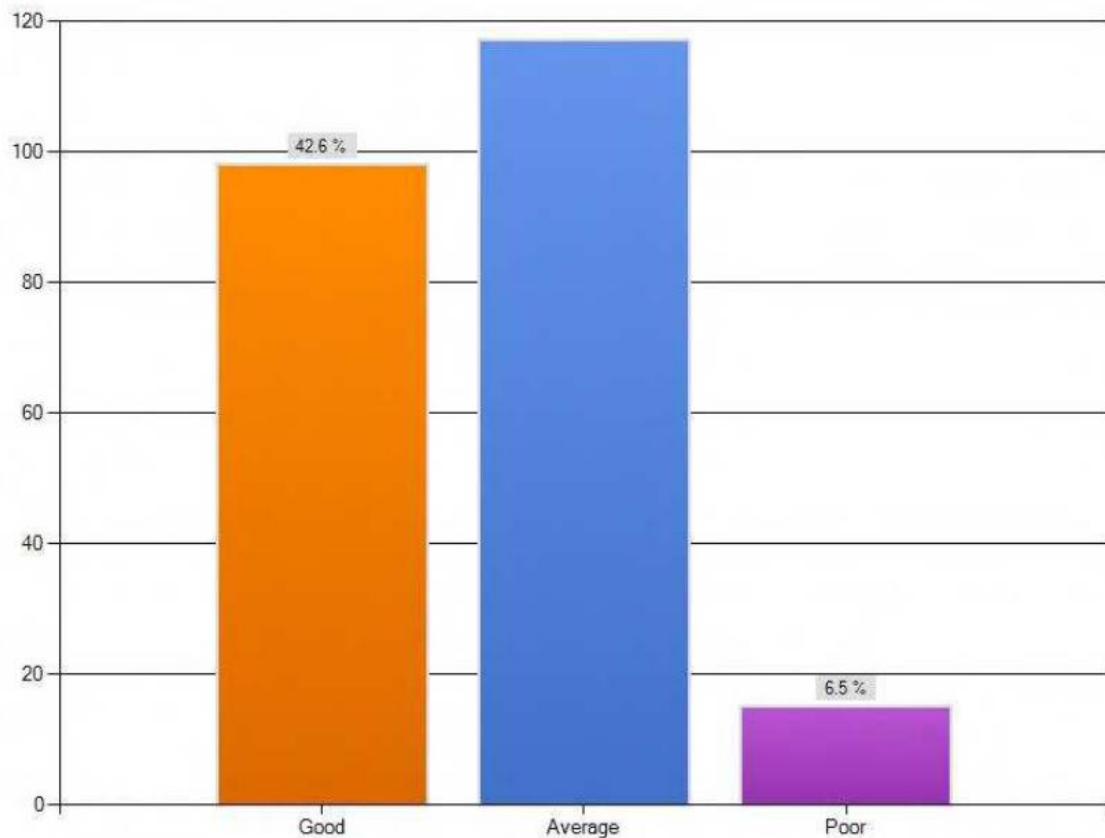
Summary of Results

1. Sports Hub

232 people answered the survey which is an overwhelmingly high response. 47% of respondents were local residents, 34% were members of a group.

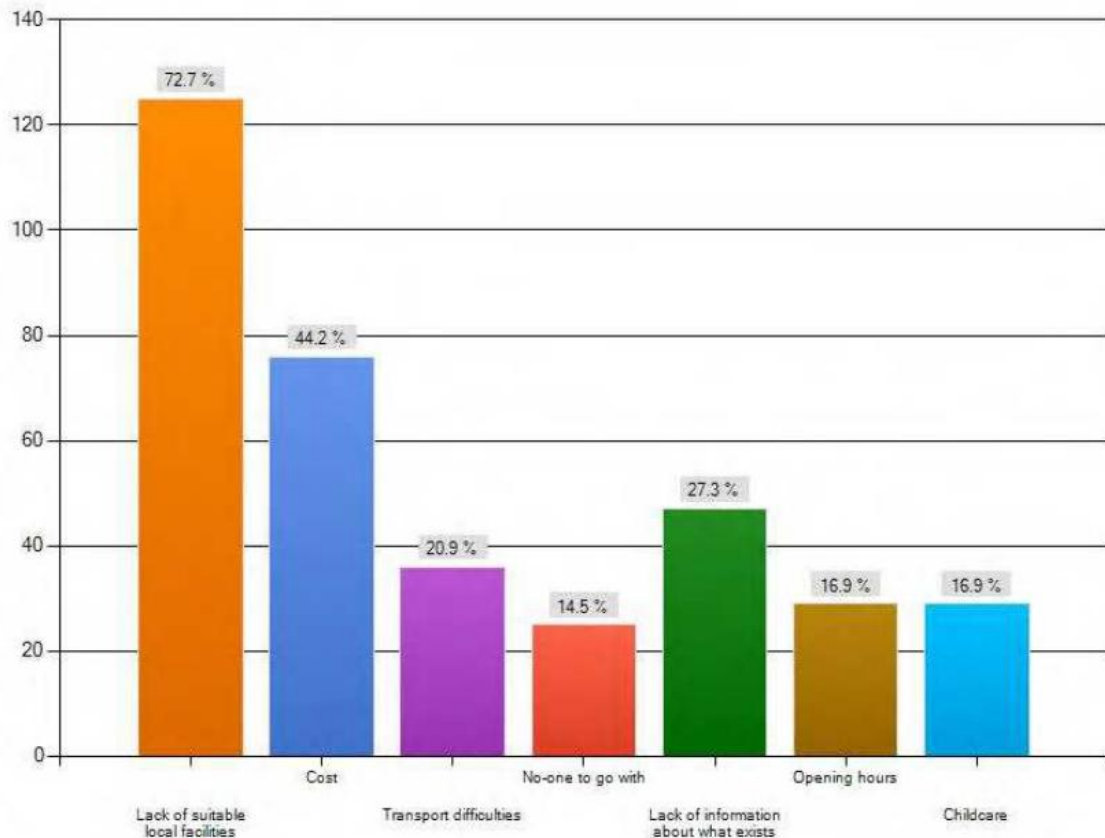


- Respondents were asked to judge their general fitness, and the fitness of their family or members. Though 42.6% felt their fitness was good (not surprisingly since this was targeted partly at sports groups) but 60.9% felt it was only average and 6.5% felt it was poor.



- 40% felt they met the national average for physical exercise¹ while 55.6% felt they only sometimes did.
- 22.4% had had a health professional recommend that exercise may be beneficial for them.
- 53.3% found it difficult to access sports facilities.
- The chart below sets out the detailed breakdown, but the key reasons were lack of suitable facilities (72.7%) and cost (44.2%)

¹ adults 21/2 hours per week and children 1 hour per day

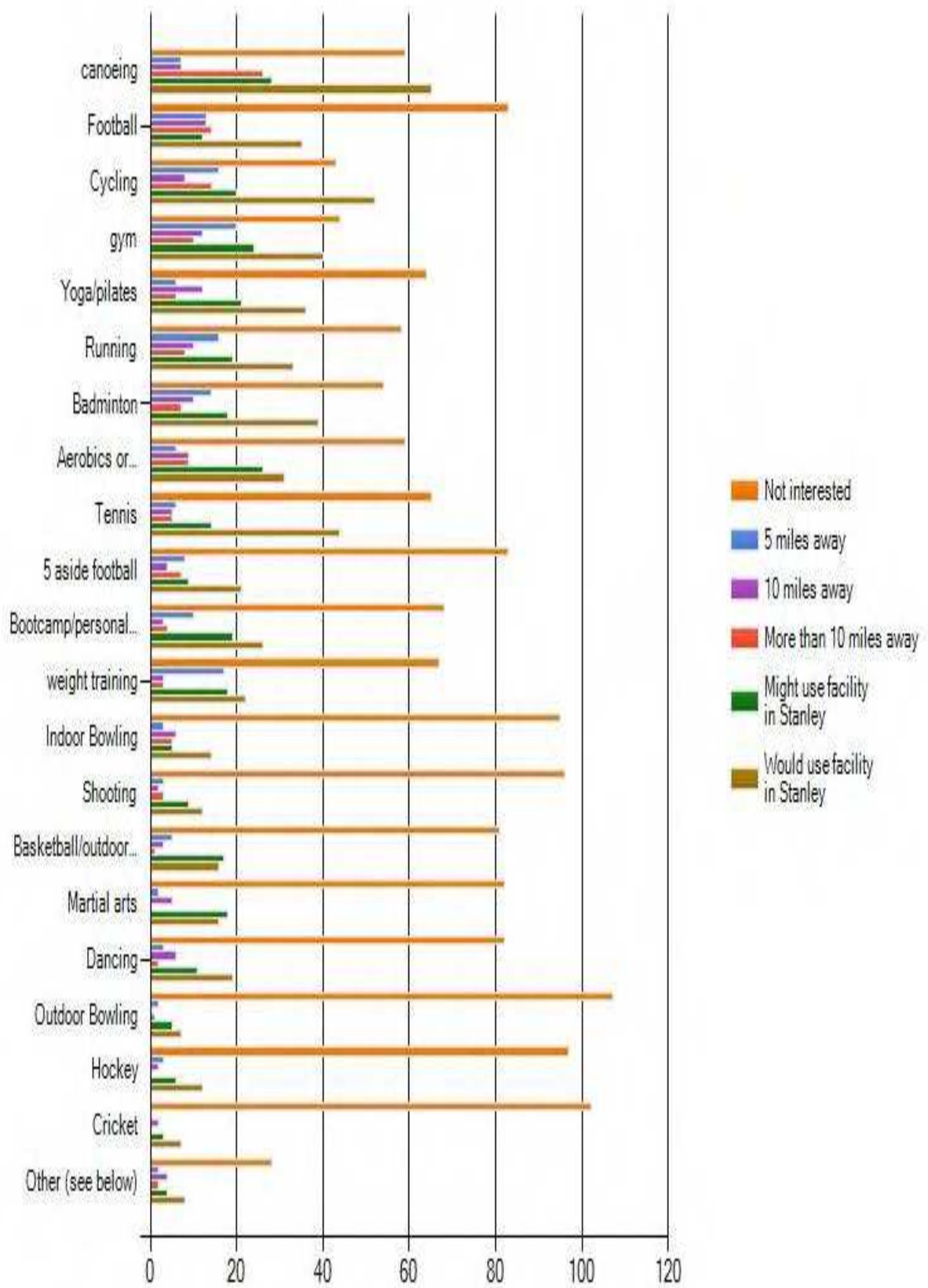


Other reasons were listed as;

- Lack of time, especially when you include travel time
- State of Health
- Parking, especially at Burnmouth, for access to river Tay
- No changing area to go kayaking
- Poor access to the river in Stanley
- Other places e.g. courts and pitches often booked up
- Need to open early morning

A detailed question then asked people to identify the services they travel to and whether they would attend these if there were facilities in Stanley.

- The most popular sports demanded were canoeing (41.7%), cycling (38.2%), gym (30.5%), Badminton (31%), tennis (33.8%), and yoga (29.3%). The table notes how far people travel and also whether they "might" use facilities at Stanley.



Other responses were;

- Trampolining
- Safe cycle areas for families including small children
- Pole dancing and belly dancing
- Golf
- I run a free running club and use Stanley village hall
- Parkour
- Outdoor training
- Walking club
- Swimming
- Walking
- Canoe slalom
- Kayaking
- Canoeing
- Sumba
- Swimming -10 miles away
- Rugby in Blairgowrie
- Hill walking, birdwatching, footpaths along rivers needed
- Swimming
- Currently use North Inch Campus - kettlebell classes would be good also

- 48.5% were interested in using Stanley as a drop off point for water sport. 25.8% were not sure.

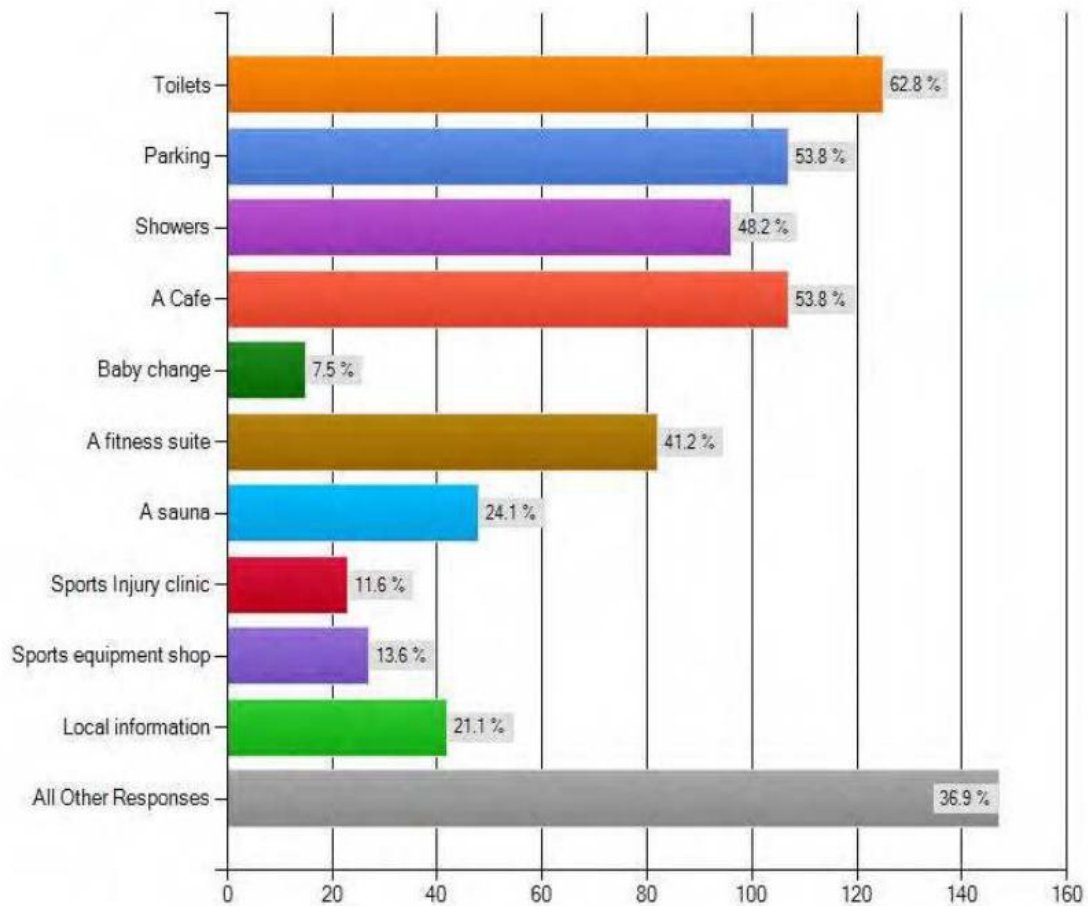
People were asked to comment on this and the responses were;

- Don't do water sports but it is a good access point
- Good idea but needs a cafe
- Bit congested on access road
- Would be great to have good access to the river
- As a local paddler with Perth Canoe Club regularly paddle, leading groups, at Stanley
- We currently use Burnmouth car park at least once a month all year round, so new facilities in the area would be welcome.
- Toilets at car park thistlebrig or Burnmouth, not in Stanley itself
- I would love to kayak

- I'd love to be involved but am not at the moment

Respondents were asked what particularly would attract them to using a Stanley Sports Hub.

- The most important elements were toilets (62.8%), parking and a café (both 53.8%), showers (48.2%), and a fitness suite (41.2%).



- When asked what would put them off using such a hub, the most important reason was that it was too expensive (58.2% noted this as the most important thing. 30.2% were most concerned about quality of facilities but a further 47.6% had this as a second choice. Very few were concerned about quality of services and remoteness.

Nearly 40% of respondents were in an organisation which could benefit from a sports hub. The fleshed out responses are;

- Boots n Paddles, Mobile Outdoor Activities
- Currently train yoga in Uncarts
- Five-a-side group
- Chanelle Wilson School of Dance
- Murthly Youth Club
- Strathallan Canoe Club
- Kayak club

- Perth United Cycling Club/Tay Titans
- ACF
- Army Cadets
- Red Cross/ 1st responder ambulance service
- Perthshire free runners x 2
- Perth Outdoor Fitness group
- Martial arts – Ippon x 2
- Parkour
- Drama Group
- I am a paddler in a group of friends who use the Tay on occasions
- Speyside paddlers,
- Canoeing children and friends
- Forth Canoe Club
- Venture trust
- Glasgow Kayak Club
- Ancrum canoe club
- Angus Canoe Club
- Fife council outdoor education
- Perth High School / Duke of Edinburgh Award
- SCA, Strathallan Canoe Club
- SCA
- Stirling & Falkirk Canoe Club
- Scottish canoe association
- Armed forces group
- Cults Canoe Club
- Team spittal canoe club
- FCAQ
- Stirling Canoe Club
- MCC
- Monklands Canoe Club x 3
- Nomads canoe club may use facilities depending on their nature.
- Monklands Canoe Club x 2
- Kayakers from Oban

- Lincoln uni kayak team
- Canoeing
- Aberdeen kayak Club
- EEKCC
- Scottish Canoe Association
- Perth Canoe Club x 2
- North Glasgow College- Outdoor Education. John Montgomery 0141 630 5136
- A canoe club x 2
- Kayak club
- Forth Canoe Club
- Bowling club
- Scottish Natural Heritage
- Stanley Socca x 4
- Perth Canoe Club x2
- Stanley Socca
- Stars

Final comments

- As a canoeist I have used Stanley to Thistlebrig for 37 years now. An upgrade to parking facilities down at Stanley Beach would probably not go amiss though I have always found space. A facility for changing and toilets would be great but it would have to be in a position that did not interfere with the residents so I do not know how feasible that would be. One idea that you may be interested in is to erect a slalom training site down at Stanley Mills at the outflow of the Lade. It would be very simple to design and would be a great facility for low-level slalom training and perhaps even one competition a year. I believe there is space and perhaps buildings there that could be adapted to provide some facilities. it would not interfere with the fishing and I am sure that we could come up with a design that would not adversely affect the residents
- We have Live Active membership for the family and would be reluctant to pay additional for sporting facilities that are available through our membership with Live Active
- As a canoe/kayak water user, the key features would be an initial meeting place (sit/chat/coffee till everyone arrives), basic communal changing. Options for car shuttle. Shower afterwards possibly.
- I have used the river Tay for over 25 years and try and shop in Stanley or Perth, to help local community, Access issues are not the problem they used to be, so I am

more inclined to continue using the area, toilet/changing facilities would be helpful for beginners.

- There are currently no toilet facilities in the village. Groups that I bring for kayak coaching and rafting therefore use facilities elsewhere and spend their money at that location.
- A public car park and toilets at Burnmouth would assist greatly.
- A cycling group for non-hardcore country-road cyclists would be good
- An excellent idea that has my total support. It could provide easy access to sports and recreational facilities for all ages and abilities, that are currently only available by travelling into Perth. It would provide a badly needed facility for local sports teams eg. Stanley Socca youth football team currently have to travel to Dunkeld to play 'home' games, and changing facilities there are far from inspiring. Modern, well maintained facilities are vital to encouraging greater involvement and enjoyment of sport, and to realising the wide-range of health and social benefits that brings.
- I don't think many kayakers would use a facility other than at their launching/landing places, they often need to change before driving their cars.
- I am still not clear what a 'sports hub' is. Is it 'the facilities' in Stanley, or bussing people into Perth? A swimming pool in Stanley would be fantastic. Also a river bank footpath /cycle way all the way to Perth.
- PLEASE GET SOME GOOD SPORTS FACILITIES IN STANLEY!!! WE NEED THEM!!!!
- My grandson is currently living with us so would be interested in this facility as well as my husband and myself

2. Village Hall

153 of the 232 respondents carried on to the second section and completed surveys for the village hall. Many were still quite sports orientated.

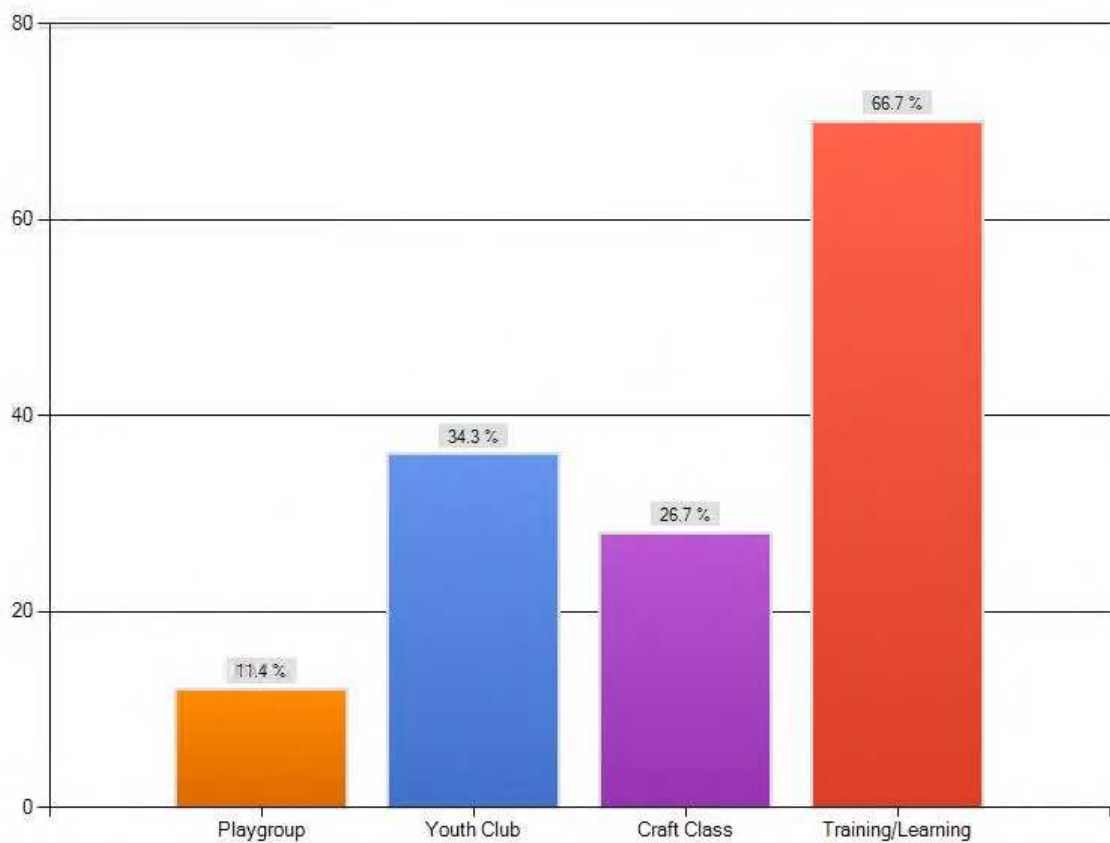
- 72.5% of respondents felt an improved facility would be of benefit to them directly.
22.2% were not sure

Open responses were as follows;

- Although in Luncarty, improved facilities in Stanley and a range of classes, like craft classes, would be good.
- Would use facilities in Luncarty first.
- I would like a sports hub for location, to save travelling to Perth.
- Especially my dance school
- Organised events, birthday parties etc.
- Live in Murthly
- I run a club in the Hall at the moment and would use the sports equipment if available.

- Although the facilities are adequate, it would be beneficial to purchase some gym mats. Mats would benefit the quality of teaching.
- We spend a lot of time driving to Perth and Bankfoot for clubs and would consider using Stanley if an option became available
- As a family with younger children, we would like to use leisure facilities locally instead of driving 8 miles into town.
- The children in the village have no leisure activities after school; a sport hall would benefit them greatly
- Would be more to do
- More to do
- Have not made use of it, could not comment
- If you put up slalom gates on the river
- Access to winter training in Stanley is useful.
- A Cafe would be a nice meeting place for breakfast..., then for a de-briefing cuppa after activities
- Canoeists can be funny folk - not the normal needs of your typical leisure user.
- I love this section of river, I use it a lot. Toilets and food break, most important for me
- Don't live in the area and only usually go there to kayak
- My interest is in conjunction with paddling on the Tay and the facilitation of that.
- Would hope it would offer facilities for all ages, not just younger age groups
- Community events
- Travelling more than 2 hours with a trailer. Shower and toilet facilities would be fantastic.
- Stanley could be a hub for paddle sports in the region. To achieve this a local club, improved parking, toilet and boat storage facilities are needed.
- It would be really good for the social health village to have a sports hub which had facilities for all age groups and encouraged a range of physical activity - both formal sports and informal recreation (walking, cycling - use of new trails at five mile wood.
- Don't live here
- I live nearby, for sport I would change at home anyway probably.
- Yes in theory, currently tend to go to Bankfoot Church Hall (same distance for us), but if Stanley had something similar we'd use it, especially once kids get a bit older.
- Having the opportunity to exercise indoors over the winter months without having to drive to Perth would be a benefit to me and my family
- Because I need to get out more!

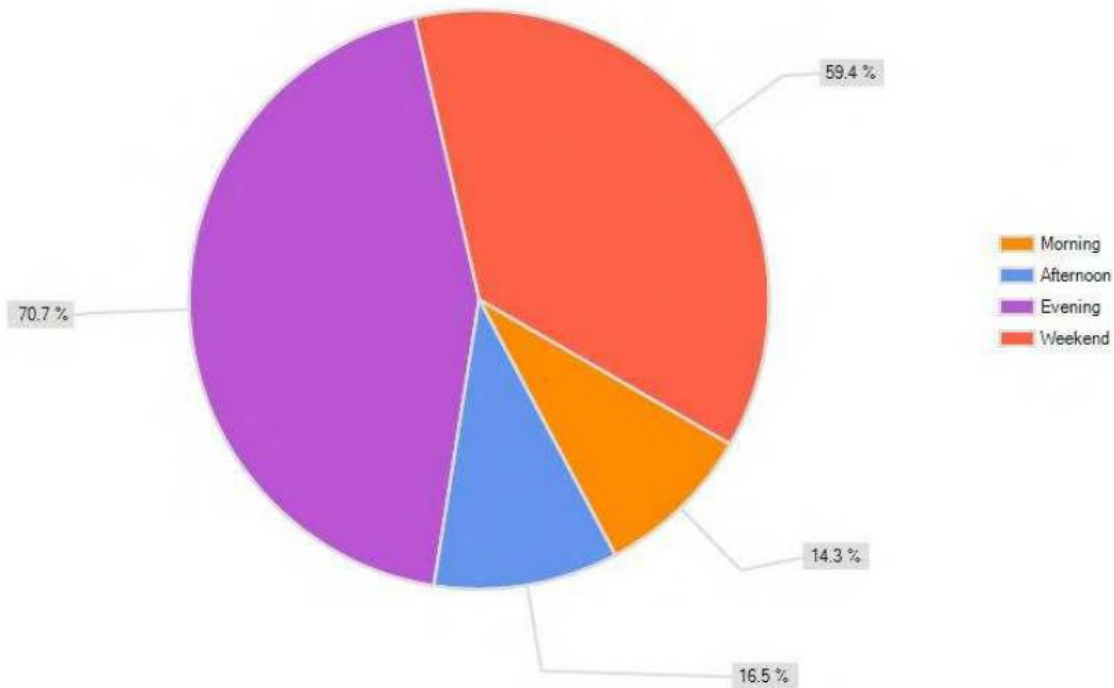
- The highest demanded activity was learning and training (66.7%). See below for breakdown.



Open comments were as follows;

- Yoga / pilates
- Children would use youth club
- Community groups
- Canoe/kayaking events in River Tay
- Kayaking
- Zumba
- Community event, spring fair etc
- Cafe maybe, though not really the right part of Stanley
- Community events.
- Concert band/orchestra

- We are equally close to Stanley and Bankfoot, our young kids use Bankfoot church hall soft play facility weekly, as its v good. May use Stanley if something similar.
- My grandson has been attending the youth club when on
- Evenings and weekends were the most popular times to attend the Hall.

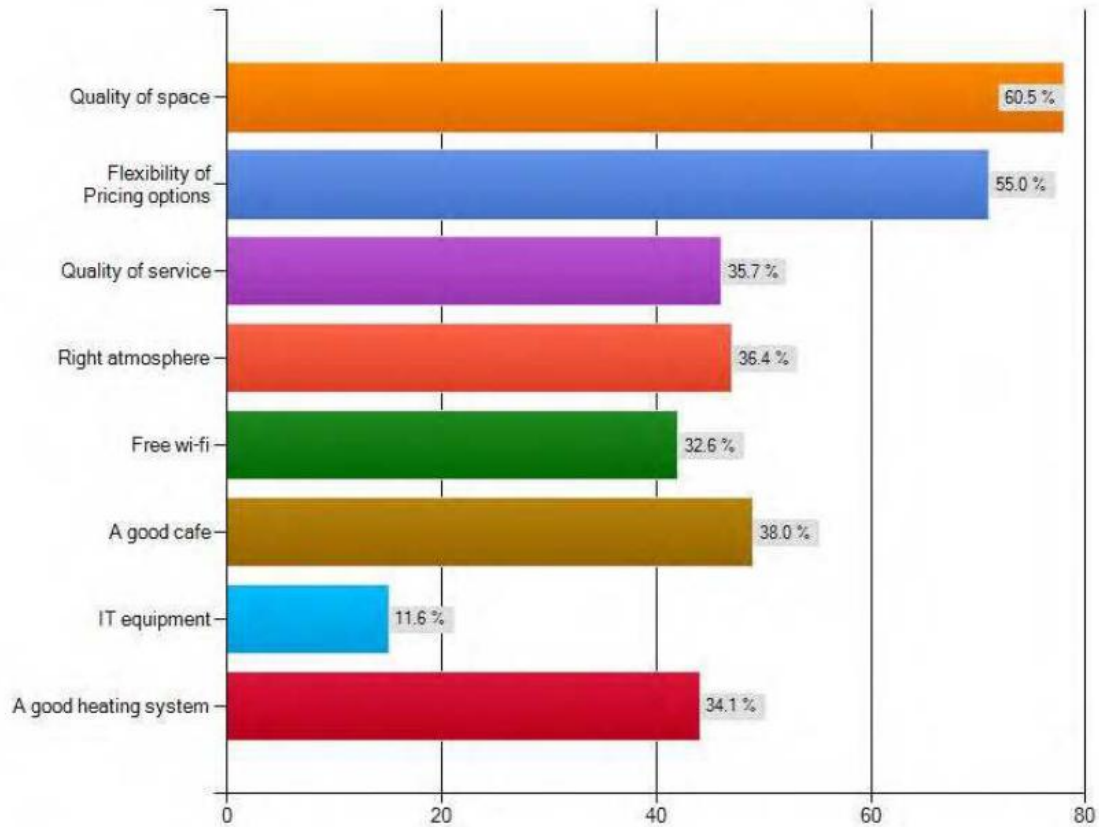


- 54.5% would consider using the facility for a private party. A further 29.7% were not sure.

Open comments were as follows;

- Have previously used hall for birthday
- No need to but maybe would if available
- The village already has a perfectly functional function room
- Overnight accommodation facilities would be good
- Would need to be much higher quality
- Good for a ceilidh
- If it was tarted up a bit.
- Depends on what the space is like

- A variety of things were noted as important to make this an attractive space, the most important of which being the quality of the space (60.5%), flexibility of pricing (55%), quality of service (35.7%) and right atmosphere (36.4%).



Final comments

- Modern and clean facilities
- Improved facility a must for Stanley to develop as a stronger community for all ages
- I think slalom gates on the river would attract more people
- Group overnight accommodation would be of benefit to many groups I would imagine.
- Looks to like it would cost a lot to do up. Is this worth it?
- Bankfoot church hall is a big success and well used (shame it's affiliated to a religious organisation!), aim for that standard or better and Stanley Hall would be a success too. Greening measures should be integral to any building work etc.
- Anything that improves the facilities in the village can only be a great thing. Hope you get enough feedback and look forward to hearing more.



Statement in Support of Planning Application for Community Hub in Stanley, Perthshire

Introduction

Following the submission of the pre planning application to Perth and Kinross Council (PKC) a request was made for Stanley Development Trust (SDT) to provide a detailed response to questions raised by PKC Planning Department. This document aims to fulfil this requirement.

Why Stanley Requires a Community Hub

Stanley does not have a multiuse adaptable facility. Due to the closure and recent sale of Stanley Parish Church which included the Reid Halls the only public facility now within Stanley is the Village Hall.

The Village Hall offers a small meeting room, kitchen and main hall but this means that only 2 groups can use the facility at any one time. The main hall has limited adaptability and in many situations this means the rooms are either too large or too small which restricts the amount of use they receive and availability.

A new Community Hub as proposed in the application would offer numerous adaptable spaces of varying sizes allowing multiple user groups at any one time both inside and out (Football Pitch, MUGA & Bowling Green).

The Hub would become a focal point and would allow for the development of activities across the whole spectrum of the Community. Based on similar facilities across PKC and Scotland this could include opportunities for back to work schemes, breakfast and after school clubs, holiday clubs, youth groups, dementia groups and a wide range of classes to improve physical and mental wellbeing. Many of these were identified in the Community Action Plan (appdx D6) and Masterplan Consultation Report (appdx D7).

Results from the Masterplan Survey showed nearly 95% of respondents said that any monies received from developments in and around the village should be spent on sports facilities.

The proposed site is central to the village, located adjacent to the bowling green, football pitches, Community greenspaces, playpark & Stanley Primary School.

The Hub would offer changing & clubhouse facilities for all sports clubs, an after service meeting place for the congregation of St. Columba's (there are no kitchen or toilet facilities within St. Columba's Church). The proposed location was chosen as being the only site considered suitable and appropriate to meet all the requirements of the Community.

There is a desire within the Community to provide before and after school clubs. With the proposed Hub location children would not be required to cross any roads to enter the site thus offering safe passage.

During the initial feasibility study other sites within the village were considered including the Village Hall site and land at the top of Mill Brae.

The Village Hall site would have required the complete redevelopment of the current Village Hall structure. While the result would have been an improvement on the current facility restrictions would have still existed.

While siting the Hub at the Top of Mill Brae would have provided a 'clean sheet' for new development it was not considered 'central' to the village and also not in close proximity to the bowling green, football pitch, primary school and St. Columba's Church.

Both of these locations could provide a Community hub of some description but would not address this need of the Community by providing changing and clubhouse facilities near to the outdoor sports areas.

Community Consultation

For a full chronological listing of consultations and surveys please see attached document titled Chronology of Community Consultation (appdx D4)

Since 2009 there has been a number of Community consultations to establish the needs and desires of Stanley residents.

The Community Action Plan 2010-2015 was guided by a local steering group which brought together the main community development organisations in Stanley. The Stanley Community Futures Steering Group was made up of representatives from Stanley Development Trust, Stanley and District Community Council and the Stanley Tenants and Residents Association. The Steering Group also included two representatives from young people in Stanley.

The Action Plan was formed by extensive community engagement carried out over a five month period from May – September 2009.

The process involved:

- stakeholder interviews and meetings - with different groups and individuals representing all aspects of the Community;
- carrying out a community views survey, which was delivered to all households;
- preparing a community profile detailing facts and figures about the Community;
- organising a Community Futures Event.
- 23 stakeholder meetings and interviews were held with local groups and interests
- 269 community views survey forms were returned from our 900 households
- 189 people attended the community futures event

The Action plan identified 3 main priorities for the provision of Community and sports facilities and activities:

1. Improve and develop community and sports facilities
2. Develop youth provision
3. Organise and promote more activities and events

(Appdx D6 Community Action Plan)

Following on from the creation of the Community Action Plan two further specific consultations took place regarding the Village Hall and a Sports Hub survey. (Appdx D9)

A steering group with members from the Stanley and District Village Hall Trustees, SDT, Bowling Club, Stanley Socca (now Stanley Football Club) and Tennis Club was established to take the idea of a Community Hub project forward. A grant from Social Investment Scotland allowed the appointment of Community Enterprise and Leeboyd architects to carry out an Options Appraisal (Appdx D3)

Neighbours

Site neighbours include St. Columba's Church, Stanley Primary School, Friends of Stanley Primary School, Stanley Bowling Club, Stanley FC, Stanley Tennis Club.

Cycling & Active Travel

The Stanley Development Trust working in partnership with volunteers from the villages of Stanley and Luncarty is taking forward a community initiative to develop an all abilities path suitable for activities including walking and cycling, between the villages.

The proposal is to create a safe pathway to increase connections between the villages and encourage Hub activity. The opportunities for leisure and recreation will increase and as a result the health and wellbeing of local people. Families with young children looking for safe places to cycle, those without access to a car and those who use a wheelchair or mobility vehicle will have the chance to enhance their lives.

The proposed Hub site is within metres of main bus stops within the Village and close to the newly installed pelican crossing to offer safe passage across Perth Road.

During the Masterplan consultation in 2015 Stanley residents were asked how they would travel to the Hub from in and around the village. The recommendations can be found in the Masterplan Consultation Report (appdx D7).

Within the Masterplan Survey over 62% of respondents said they already travelled by foot or bicycle. The proposed Community Hub plans include suitable provision for bicycle 'parking' as well as safe pathways to and from the main routes leading to the Hub. It is felt that these provisions will encourage Hub Users not to use their cars to travel short distances within the Village.

Trees Survey

Please see attached report titled Arboricultural Impact Assessment (appdx D14) regarding tree survey.

Stanley War Memorial

Following numerous meetings and discussions the residents of West Park have declined to allow any access down their private road during either the build or operation of the Hub.

The relocation of the War Memorial was always an action of last resort however the stance taken by the West Park Residents means that without doing this the viability of the whole project is in serious doubt.

Relocation of the Memorial would allow the provision of disabled parking directly at the front of the Hub as well as easy level pedestrian access through that space.

The Trust has carried out a number of consultations with Community Groups within the village including the Community Council, PKC Councillors, Stanley in Bloom and the wider Village Community via a survey in 2021 (appdx D8).

While a new site for the Memorial has yet to be finalised it is hoped that continued discussions with Stanley in Bloom will see this confirmed with the preferred relocation site being in the Village Square.

A separate application would be submitted once relocation is confirmed as necessary.

Proposed Opening Hours

Despite research of similar facilities and discussions with existing Groups the initial opening hours for the Hub are hard to predict.

All hours of operation would need to be based around user groups requirements and business demand. For example if there was demand for a Breakfast Club then earlier opening hours would be required. Closing hours would again depend on business and user group demand. It would be expected that inside availability be available beyond that of outside spaces to avoid potential nuisance to neighbours from sports activities.

Currently The Maddoch Centre in St. Madoes operates weekdays 9am to 9pm with weekend closures whereas Bankfoot Church Centre concentrates on mornings throughout the week and weekend.

As the Hub will be entirely self-supporting opening hours and thus employee working hours would need to closely reflect the demand from user groups and the local community to ensure value for money for the business.

Operating hours for the serving of alcohol would obviously be submitted as part of the Premises Licence application process.

Facilities Management

Preventative Maintenance contracts would be established during the latter build phase and early operating life of the Hub. There would obviously be a number of areas where such contracts would be required for health and safety requirements as well as legal obligations to users and employees.

The assigning and review of such contracts would be the responsibility of the facility Manager and the Managing Committee.



**ST COLUMBA'S EPISCOPAL CHURCH,
STANLEY,**

**QUINQUENNIAL CONDITION SURVEY
REPORT**



FEBRUARY 2016



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St Columba's Church, Stanley
Per Murdoch Architects
Methven Castle
Perth
PH1 3SU

ST COLUMBA'S CHURCH, STANLEY

1.00 INTRODUCTIONS

1.01 Instructions:

An email instruction was received from Philip Colville, Treasurer of St Mary's Church, Birnam, dated 21 January 2016 via David Murdoch of Murdoch Architect's.

1.02 Purpose of Report:

The requirement is for a quinquennial condition survey report, to provide an update of the current maintenance requirement.

1.03 Description of Property:

St Columba's Church is a single storey property, with a timber frame wall construction, timber weatherboard wall lining, and a steeply pitched slate lined roof. There are Vestry and Porch extensions to the sides. It is understood to have been built in 1898.

A stone built Church Hall is located to the west (rear) of the Church and is linked at roof level. It is understood to have been constructed in 1907 but has been disused since 1970. It is currently used as a store.

It is understood that the properties are C (S) Listed.

1.04 The Survey:

The property was surveyed by C McNeill MRICS on Thursday 28 January 2016. Conditions were cold, with intermittent rain and wind at the time, and the property was not therefore inspected under the worst of weather conditions.

1.05 Orientation:

For the purposes of this report it is assumed that the gable elevation facing the main road faces east.

1.06 Access:

No access was gained to the following areas:

- Roof surfaces
- Floor voids.

1.07 Statutory Listing:

It is understood that both the Church and Hall are C (S) Listed

1.08 Photographs:

Photographs are contained within Appendix 2.

1.09 Schedule of Condition:

The Schedule of Condition relating to the various building elements and their condition, is set out in a tabular format, with budget costs is contained in Appendix 1.

1.10 Limitations:

- 1.10.1 The report is for the use of the party to whom it is addressed and no responsibility will be accepted to any other third party for whole or part of its contents. The report will not be published either in whole or in part and no reference shall be included in any document, circular or statement without the written approval of Hardies on the form and context in which it will appear.
- 1.10.2 The extent of the survey included a survey of the Church, while the Church Hall survey was limited to repairs required to prevent further deterioration of the building, only. A full survey was not carried out in respect of the Church Hall.
- 1.10.3 The survey has been carried out on the basis of a reasonable inspection of random parts and was limited to visible surface examination of accessible parts.
- 1.10.4 Within the scope of the survey it has not been possible to inspect parts of the structure, which are covered, non-exposed or inaccessible, and therefore no advice can be given not responsibility accepted for the condition of such areas. Likewise it will not be possible to accept any liability in respect of defects that may subsequently become apparent arising from timber diseases of any description, beetle infestation, vermin, insects, defects and constitutes on concrete, the extent of bearings, ties, fixings or defects of a similar nature.

- 1.10.5 No tests have been carried out on materials.
- 1.10.6 No tests have been carried out for noxious gases including bacteria, etc.
- 1.10.7 No fires or flues have been lit nor flues tested.
- 1.10.8 The drainage system has not been tested.
- 1.10.9 The report is not to be used as any form of specification or means for employing or directing contractors to carry out work and its use for this purpose is expressly excluded. Prior to the selection of any appropriate specification further investigation and exploratory works will be required in order to determine the full extent of the work necessary prior to a submission to contractors for tendering.

2.00 SUMMARY

2.01 The full report on the extent of the damage is contained in Appendices 1: Schedules of Condition

2.02 **St Columba's Church** is in quite sound condition considering its timber construction. It does suffer from a general level of dampness, which results from a lack of heating and ventilation, due to its occasional occupancy. This has led to warping timbers etc.

2.03 The major deficiency in the Church is the lack of toilet facilities.

2.04 The principal items requiring repair include:

- Minor roof repairs
- Leadwork repairs
- Suspended timber floor: suspected problems: further investigation required
- Dilapidated chimney
- Electrical upgrade

2.05 **The Church Hall** is in a fairly poor condition, suffering from serious structural problems in particular. Its future should be considered, in liaison with Planning Authority.

2.04 The principal items requiring repair include:

- Bulging stonework
- Insecure roof structure
- Minor roof repairs
- Leadwork repairs
- Suspended timber floor: suspected problems: poor condition

3.00 RECOMMENDATIONS AND BUDGET COSTS

3.01 Further investigations are required in respect of:

- Sub floor voids
- Electrical report.
- Structural Engineer's advice on Hall

St Columba's Church

Total cost from schedule	32,850.00	(urgent: 3,450.00; essential 29,400.00)
Contingencies	5,150.00	
Preliminaries	5,000.00	
TOTAL BUDGET COSTS	£43,000.00	

St Columba's Church Hall

Total cost from schedule	53,650.00	(essential 53,650.00)
Contingencies	8,303.00	
Preliminaries	8,047.00	
TOTAL BUDGET COSTS	£70,000.00	

Excluded:

- Improvements
- Note exclusions on the Schedule
- Professional fees
- VAT

In the case of the Church Hall, allowance has been made for essential repairs to prevent deterioration only, (in line with the instruction). This **does** include the remedial structural work outlined by Allen Gordon and Co (2 March 2011).
Floor repairs are excluded

It is hoped that this report will be helpful in planning the future maintenance of the church. Please contact the writer should you require to discuss any elements of the report.

Reported by



Colin S McNeill MRICS
SENIOR BUILDING SURVEYOR
For and on behalf of
HARDIES LLP

Hardies Property & Construction Consultants
Old Academy Buildings
7 Rose Terrace
PERTH PH1 5HA

February 2016

Tel: 01738 631631
Fax: 01738 637768

APPENDIX 1

SCHEDULE OF CONDITION: CHURCH AND CHURCH HALL

APPENDIX 2
PHOTOGRAPHS

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
	CHURCH					
1.00	ROOF:	Steeply pitched slate lined roof, with similar smaller roofs to porch and vestry, clay crested tile ridges. "Sprocket" splay at eaves				
1.01	Coverings:	Scots slates to diminishing courses on hair felt underlay.	Fair condition but some damage. Slates beginning to wear at nail hole, but should have a remaining life span of 10-15 years. Some loose or missing slate. Poor slate projection at verges. Pointing loose/missing. Moss on northern roof slope. Hair under slate felt disintegrating.	Replace damaged/missing slates on regular basis. Rake out and point slate edges at gable tiftens (verges). Clear with medium bristle brush. No action possible.	E1	1,150
1.02	Ridges:	Crested Clay tiles.	Apparently sound.	Check bedding/fixings for firm fixing.	E1	200

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
1.03	Valleys and Watergates:	Lead (at roof intersections)	Heavily patched and source of water penetration. Lead out of raggle at NW corner.	Replace valleys and Watergates (careful detailing required).	U1	1,400
1.04	Tapered Gutter:	Lead lined. Located at junction of church and hall roofs.	Not visible – condition not known, but evidence of leaking internally (Hall & Church).	Examine at close quarters. Allow for repair (chimney in middle see 1.05).	E1	2,000
1.05	Chimney:	Sandstone with flexible fluelineer from Hall.	Deteriorating externally, damaged stone and flashings.	Demolish (subject to Planning Consent/LBC) or repair stone, cap and replace lead flashing.	E3	2,000
1.06	Roof Drainage:	Mixture of cast iron and PVC gutters and downpipes.	Some signs of corrosion in cast iron gutters, some leaks. Leaking at stop ends.	Replace corroded lengths of gutter. Reseal leaking joints and stop ends. Re fix rotated lengths (north elevation)	E2	1,800
			Cast iron gutter on north slope rotated.	Re-fix to connect, fall and level		inc
		Downpipes	The provision of downpipes is very poor, with 1no. rainwater outlet discharging via a rainwater shoe over the roof junctions vulnerable lower roofs and lead valleys and watergates, encouraging rain water penetration.	Ideally, additional downpipes should be fitted, connecting to rainwater drains, but this would be quite costly.		excl

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
1.07	Insulation:	None.	Open roof structure, with exposed timber sarking boards and structure	Not practical to install.		
1.08	Roof Structure:	Timber trusses, purlins, rafters and timber sarking (all exposed).	Apparently mostly sound. Some evidence of rot with water penetration at NW and SW corners.	Carry out timber repairs.	E3	900
1.09	Gable Bargeboards:	Timber and timber beading. Timber Sarking Boards.	Wet rot affected in some locations (due to poor verge slate projections see 1.01). Wet rot affecting timber sarking in isolated areas at base of roof slope, particularly at verges and intersections.	Examine at close quarters and replace rot affected lengths. Cut out damaged timber sarking and replace.	E1	850
2.00	EXTERNAL WALLS					
2.01	Structural Frame:	Timber trusses set into external wall frame.	Heavy timbers. Some gaps showing between members but generally satisfactory.	No action at present – monitor gaps.		
2.02	External Walls:	Timber frame with external 'shiplap' weatherboarding Internally lined in lath and plaster or timber dado.	Splits and bulges in a few boards but generally sound. Some wet rot in timber 'sill' above brick base course, particularly at corners. Unpainted exposed timber lining at northwest corner	Cut out and replace damaged lengths. Prepare and paint to protect.	E2 U1	2,450 250

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
		Brick base course brick rendered externally.	following partial outhouse demolition. Render breaking off in parts. Small gap between Church wall and Hall wall.	Hack off loose sections of render and reapply. Ensure thickness allow timber sill projection over. Consider sealing gap. Roofs already linked.		
2.03	Windows:	Timber frames, single glazed, leaded glass – non opening. External protective wire mesh in timber frames. Timber flap ventilators fitted to some windows at wall head.	Apparently sound condition. Leaded windows fairly planar (minimal bulging). Sound. Apparently sound but level of ventilation not sufficient.	No action. No action. Consider addition ventilation provision		excl

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
2.04	Doors:	Timber lined.	Ageing and worn, warped closing acting impaired.	Adjust to suit openings. Overhaul ironmongery (fire escape requirement).	E1	400
2.05	Damp Proof Course:	No evidence..	The brick upstand to the timber frame is minimal (50-100mm).	To reduce the possibility of rising damp, excavate around building and lay a gravel margin, to ensure a minimum of 125 (in conjunction with 2.02).	E2	700
3.00	BELOW GROUND DRAINAGE					
3.01	Foul Drains:	None functional, but there is understood to be a foul drain running from the recently demolished toilet to main road sewer.	Not known.	Test and establish condition prior to development. (Drain specialist).	E3	excl
3.02	Storm Water Drains:	Thought to be present but location unknown.	Not known.	Clear and establish route. (Drain specialist).	E3	excl
4.00	SANITARY					
4.01	Provision of Toilet Facilities:	None.	Old toilet block partly demolished.	Apply retrospective for demolition statutory consents.		excl

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
			Lack of toilets significant detrimental to function of church activities.	Consider how best to introduce toilet facilities. (NB Disabled requirements).		
5.00	KITCHEN					
5.01	Kitchen:	None.	Lack of kitchen significant detrimental to function of church activities.	Consider how best to introduce kitchen facilities.		excl
6.00	CEILINGS					
6.01	Ceilings:	No lining to church (open to u/s sarking). Lath and plaster in vestry.	U/S sarking generally sound. Some damp signs but minor.	No action. Carry out minor plaster repairs.	E1	300
7.00	INTERNAL WALLS					
7.01	Internal Finishes to External Walls:	Lath and plaster (high level). Timber dado lining (low level).	Flaking paint finish but plaster apparently sound. Some buckling due to timber expansion from dampness.	No action. Take off affected timbers, plane, adjust and re-fit.	E2	700

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
7.02	Internal Partitions:	Timber frame lath and plaster and timber dado.	Minor damp patches.	Minor repairs.	E2	200
7.03	Internal Doors:	Timber lined.	Intact but warped from high damp levels. Opening and closing action impaired.	Carry out minor joiner work repairs. Upgrade ironmongery.	E2	200
8.00	FLOOR					
8.01	Ground Floor:	Suspended timber.	New flooring to church. Small section of old rot affected timbers remaining at NW corner.	Cut out old damp timbers and replace.	E1	600
8.02	Solum:	Untreated hard core.	Condition of solum not known. Not sealed at hole. Suspected of being damp. Poor underfloor ventilation.	Form several hatches to establish condition of solum. Allow for solum treatment. (forming a seal) Clear out underfloor ventilators, introduce additional ventilators. Introduce ventilations round perimeter of church (floor to church).	E1	2,200

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
8.03	Floor Joists:	Timber.	Condition not known. Possible timber decay (particularly in vestry, where slumping under weight of safe.).	Check condition from new floor hatches. Replace rot affected sections of timber. Remove safe		excl
9.00	DECORATION					
9.01	External:	Oil paint on weatherboard.	Deteriorating on timber lining and on rainwater goods.	Decorate.	E2	5,300
9.02	Internal:	Emulsion / varnish.	Flaking on plaster.	Prepare and redecorate internally.		excl
10.00	EXTERNAL AREAS					
10.01	Roadways and Paths:	Hardcore and gravel.	Poor condition, soggy moss growth.	Remove vegetation. Lay base layer and new gravel finish.	E2	2,500
10.02	Parking:	Minimal provision.	Grass to lawn in front (E) of Church.	Lift grass and form hardcore/gravel parking area.		excl

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
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10.03	Boundary Fences:	Timber ranch fence (S).	Adequate.	No action.	E3	600
		Beech hedge (E).	Adequate.	No action.		
		Hedge and post and wire fence (N).	Deteriorating fence and hedge.	Renew fence if hedge separation deemed inadequate.		
		High level security fence (to NW).	Rusty but intact.	Minor repairs. Repaint.		
10.04	Gates:	Mild steel entrance gates.	Adequate.	Paint.	E3	50
10.05	Outhouse:	Brick built toilet block: partly demolished.	Now partially demolished.	Remove rubble, clear and cap drains temporarily. Remove old lead flashings. Point up stonework. Repair and point exposed church timber lining. Obtain necessary statutory consents.	E1	800

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
11.00	FIRE PRECAUTIONS					
11.01	Means of Escape:	Via porch or vestry.	Adequate provision but ironmongery not suitable and in deteriorated condition.	Replace ironmongery with fire escape version (easily opened without key from inside). Quick exit important with respect to timber construction.	E1	800
11.02	Structural:	Timber construction.	Poor fire resistance qualities.	Carry out fire risk assessment. Difficult to improve without major cost.	E1	excl
11.03	Equipment:	None.	Firefighting equipment. None noted.	Carry out a fire risk assessment. Provide extinguishers as recommended.		excl
11.04	Fire Alarm/Smoke Detectors:	None.	None noted.	Carry out a fire risk assessment. Fit detectors and simple alarm system.		excl
12.00	ELECTRICAL:				E1	
12.01	Electrical:	Three phase supply.		It is understood that a full survey and report has been carried out by Cruickshank Electricians.		excl

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
				Await report and implement recommendations.		
13.00	HEATING					
13.01	Heating:	Storage heaters and overhead radiant heaters.	Condition will be reported on by Electrical Contractor.	Carry out recommended remedial works and provide low level heating to encourage drying of church.		excl
14.00	MECHANICAL:					
14.01	Water:	Understood that there is a supply pipe to the now demolished toilet block).	Condition not known.	Examine supply and pipe condition and upgrade as necessary during installation of kitchen and toilet facilities.		excl

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
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14.02	Ventilation:	Minimal provision via ventilation flaps above windows.	Damp conditions prevail (peeling paintwork, warped timber linings etc)	Ventilation and heating provision should be improved. Consider fitting mechanical extract to former Bell Tower (currently sealed). Check lead capping to tower.	E2	2,500
15.00	DISABILITY DISCRIMINATION ACT					
15.01	Level Access:	None.	Damaged concrete plinth at main entrance and raised door threshold impede entry at present.	Replace plinth with ramp and introduce lower threshold strip to door.	E2	2,000
15.02	Parking:	None.		Consider providing disabled parking space at door or in new car park area.		
15.03	Toilet:	None.		New toilet should be to Disability Standards.		
15.04	Door:		Not conducive to wheel chair access.	Improve ironmongery to permit easier access.		inc

Priority/Year U Urgent/Immediate E Essential (years 1-5) L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
	CHURCH HALL	Report limited to identification of repair work necessary to prevent further deterioration.				
16.00	ROOF					
16.01	Roof:	Pitched roof with 'sprocket' splay at eaves. Slate lined on timber sarking and roof structure.				
16.02	Coverings:	Welsh slates on hair felt on timber sarking.	Fair condition, with a remaining life span of around 15 years. Quite a number of loose or missing slates. Deteriorated tiffen pointing at verge.	Replace damaged slates on regular basis. Repoint verges.	E1	550
16.03	Ridges:	Crested Clay tiles.		Check if securely bedded.		inc
16.04	Tapered Gutter:	Lead (at junction) with church roof.	Signs of leaking and damage to timber internally (see Church 1.04). Possible damage to Hall roof timbers.	Examine at close quarters. Allow for repair (see also chimney in middle. See Church 1.05).		inc

Priority/Year

U Urgent/Immediate

E Essential (years 1-5)

L Long Term (within 10 years)

ITEM **ELEMENT** **DESCRIPTION / CONSTRUCTION** **CONDITION** **RECOMMENDATIONS** **PRIORITY** **BUDGET COSTS**

16.05	Chimney:	Sandstone with flexible flue from Hall stove.	Deteriorated stonework and flashings.	Demolish (subject to statutory consents) or repair and cap. Replace flashings (see Church 1.05).		inc
16.06	Roof Drainage:	Cast iron gutter and downpipes.	Some signs of leaking joints. Some corroded lengths. Cracked lengths of downpipes at SE & SW corners.	Replace corroded lengths. Reseal leaking joints. Replace damaged rain water pipe lengths.	E1	1,500
16.07	Barage Boards, Fascias and Soffits; Timber 'Corbels':	Timber.	Some timber decay.	Cut out damaged sections and fit new timbers.	E1	900
17.00	EXTERNAL WALLS					
17.01	Structural Frame:	Timber trusses, supported on timber 'corbels'.	Apparently sound but damp adjacent to E wall tapered gutter.	Check affected corbels at close quarters. Check condition at tapered gutter and repair/replace as necessary.	E1	400

Priority/Year U Urgent/Immediate E Essential (years 1-5) L Long Term (within 10 years)

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
17.02	External Walls:	Sandstone with dressed stone margins. Brick inner "leaf".	Signs of bulging stonework on west elevation. Severe cracking and movement to inner brick "leaf". Cracking noted externally. Ground level appears quite high particularly on the W wall, partly obstructing under floor ventilators.	Refer to Allen Gordon Report of 2 March 2011, the recommendations of which should be implemented. Liaise with Structural engineer to establish the most economical solution to stabilise the structure. Point up stonework. Lower ground level on W elevation and lay gravel margin to reduce dampness.	E1	50,000
18.00	FLOOR					
18.01	Floor:	Suspended timber floor.	Hole at main entrance (temporarily protected by boarding). Signs of sagging and lack of support, particularly at the south end. Probably dampness in solum and possibly wet rot in wall plate and joists.	Cut holes and form access hatches to inspect under floor conditions. Carryout damp proofing to solum as found to be necessary and repair rot affected timbers. Ensure external ground level is lowered below floor level to allow under floor ventilation.		Excl inc
<p>Priority/Year U Urgent/Immediate E Essential (years 1-5) L Long Term (within 10 years)</p>						

ITEM	ELEMENT	DESCRIPTION / CONSTRUCTION	CONDITION	RECOMMENDATIONS	PRIORITY	BUDGET COSTS
Church						
	Total cost from schedule	32,850.00	(urgent: 3,450.00; essential 29,400.00)			
	Contingencies	5,150.00				
	Preliminaries	5,000.00				
	TOTAL BUDGET COSTS	£43,000.00				

Church Hall

	Total cost from schedule	53,650.00	(essential 53,650.00)			
	Contingencies	8,303.00				
	Preliminaries	8,047.00				
	TOTAL BUDGET COSTS	£70,000.00				

Excluded:

- Improvements
- Professional fees
- VAT

In the case of the Church Hall, allowance has been made for essential repairs to prevent deterioration only, (in line with the instruction). This **does** include the remedial structural work outlined by Allen Gordon and Co (2 March 2011). Floor repairs are excluded

Priority/Year U Urgent/Immediate E Essential (years 1-5) L Long Term (within 10 years)



1 South elevation; shiplap weatherboarding to walls.



2 Wet rot in timber 'cill' at most corners.



3 Gap between Church and Hall: vulnerable point rainwater discharge from Hall roof to Church roof



4 Blistering and wear to paintwork.



5 East elevation; split/warped weatherboard.



6 Leaking rainwater goods at joint.



7 North elevation; moss on slate, a few slipped slates.



8 Capped ridge ventilator – no ventilation to Hall .



9 Patched lead at Vestry valley.



10 Leaking tapered lead gutter at Church/Hall roof junctions.



11 Rot in gable bargeboards/bending.



12 Slates eroding at nail holes; slate slipping.



13 Partly demolished outbuildings, exposed/unpainted weatherboard.



14 Deteriorated chimney and lead flashings.



15 Vestry back door; leaks/overflow, patched lead valley at roof junctions.



16 Water penetration; leak at roof junctions; vulnerable detail.



17 Hall: blocked underfloor ventilation.



18 Hall roof; rot in base of timber sarking.



19 Church interior; timber trusses.



20 Swollen and buckled timber dado lining.



21 Sag in vestry floor; heavy safe/floor loading.



22 Access road/garden; moss on drive – no parking facilities, severe mud.



23 Hall from west elevation; boarded up windows. A few slipped slates.



24 Hall; south elevation. Water run-off.



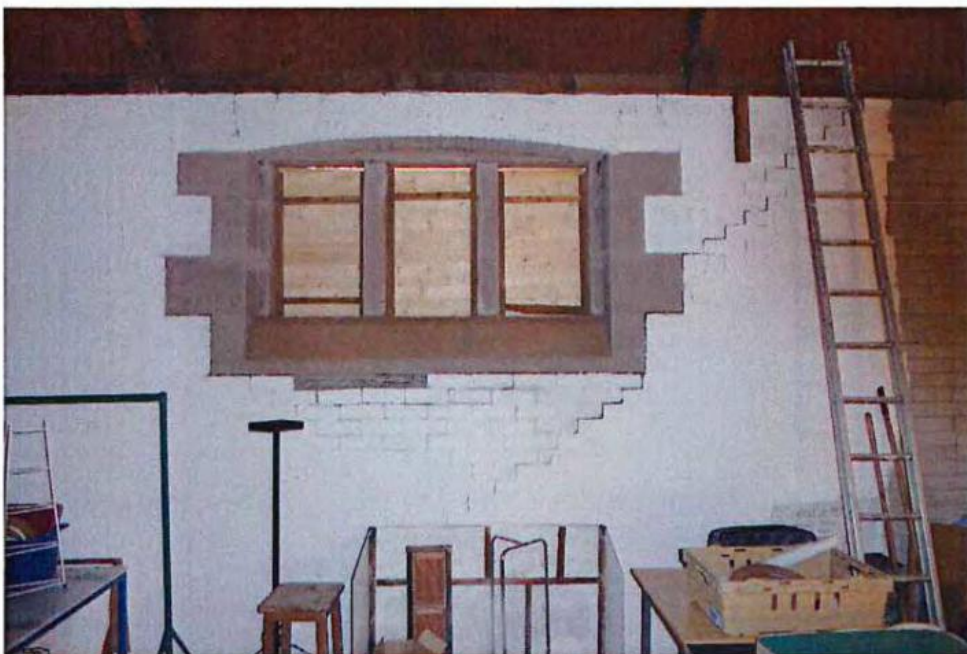
25 Hall gable – missing slate, poor verge pointing, rot in gable timbers.



26 Hall interior.



27 Truss supported on timber corbels.



28 Hall window west wall – bulging movement on inner brick skin.



29 Extent of movement.



30 Water damage to timber corbel – leaking tapered gutter.



31 Hall: East gable: partially demolished outhouses. North wall bulge/cracking

Bat, Bird and Protected Species Survey Report

St Columba's Scottish Episcopal Church Hall Perth Road, Stanley

Wednesday 31st May 2023



AUTHOR

Emma O'Shea BSc, PG Dip Env Mgmt.
Ecological Consultant, Tay Ecology Ltd

Tay Ecology Ltd, Fairway, Golf Course Road, Pitlochry, PH16 5QU
Tel: 07747 883464; Email: info@tayecology.co.uk; www.tayecology.co.uk

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EXECUTIVE SUMMARY

A preliminary bat roost assessment to assess the likelihood of bats roosting at St Columba's Scottish Episcopal Church Hall prior to demolition, demonstrated a moderate potential for the presence of bat roosts at the site. There were no bat droppings or live bats recorded during the preliminary assessment, however, multiple potential roost locations were identified including gaps under the roof ridge, gaps under slates and gaps at the wall head. The survey took place in favourable conditions with all areas accessible. The hibernation assessment demonstrated a low potential for hibernating bats.

Bats are a protected species, and it is an offence to intentionally, or recklessly, disturb a bat in a shelter or resting place; or to damage or destroy a breeding or resting site. All bats and their roosts are legally protected because bats return to the same places every year, a bat roost is protected even if there are no bats there. The proposed demolition will impact on any bat roosting there, therefore, following the Bat Conservation Guidelines, one emergent (dusk) and one re-entrant (dawn) survey between May to September are recommended. No further hibernation surveys are required.

The emergent dusk and re-entrant dawn surveys were carried out in May 2023. Two Soprano pipistrelles were recorded emerging from two roost locations on the north-east and south-west elevations of the hall during the dusk survey. Additionally, there were six pipistrelle bats recorded emerging from the church and multiple bats commuted above the building from the north towards the River Tay. Smaller numbers of approximately four Common and Soprano pipistrelle bats foraged around the site throughout the survey. On the dawn survey no bats re-entered the church hall, although foraging Common and Soprano pipistrelles were recorded throughout the survey around the War Memorial and tennis courts. The activity surveys took place in favourable conditions and results are accurate as to the species, numbers, and locations of bats in the area.

A bat licence is required before demolition commences, to permit the destruction of the roosts with appropriate mitigation and compensation methods in place. This site can be licensed on a Bat Low Impact Licence. No further surveys are required this time, and bat surveys are valid for twenty-four months when licensing under a low impact licence. There are no timing restrictions for non-breeding bat roosts, though it is best to avoid commencing working during the winter months when hibernating bats are at their most vulnerable. As bats are mobile creatures there is always the possibility that a bat could be found at a different location once renovation commences, in this eventuality appropriate action should be taken.

The proposed work is not expected to have a long-term detrimental impact on the bat population at the site. The identified bat roosts should be compensated for as part of works with replacement roosts. Installing bat boxes on easterly through to westerly aspects will provide alternative roost locations. During works woodcrete bat boxes should be placed on nearby trees or structures; and external or integrated wall bat boxes are recommended to be provided as replacement roosts.

There was no evidence of birds' nesting at the church hall at the time of the survey. All wild birds and their nests, eggs and dependent young are legally protected, and it is an offence to disturb a wild bird when it is nesting. It is recommended that prior to any works commencing during the breeding bird season that a breeding bird nest check is carried out prior to any works taking place. Any active nest sites must be suitably protected until the chicks have fledged. No evidence of any other protected species was identified during the survey.

Tay Ecology Ltd, Fairway, Golf Course Road, Pitlochry, PH16 5QU
Tel: 07747 883464; Email: info@tayecology.co.uk; www.tayecology.co.uk

1. INTRODUCTION

1.1 Site location

St Columba's Church Hall is located to the rear of St Columba's Scottish Episcopal Church and it is accessed from Perth Road, Stanley. The site grid reference is NO 10781 33021 at an altitude of 60m above sea level. Figure 1 Site Location.

1.2 Site description

The church hall was built in 1907 and is a traditional stone-built structure with a slate roof on timber sarking. Figure 2 Aerial View and Figure 3 Existing Church and Church Hall Site Plan

1.3 Proposed works

It is proposed to demolish the church hall. Figure 4 Proposed Down taking of Church Hall

Figure 1 Site Location

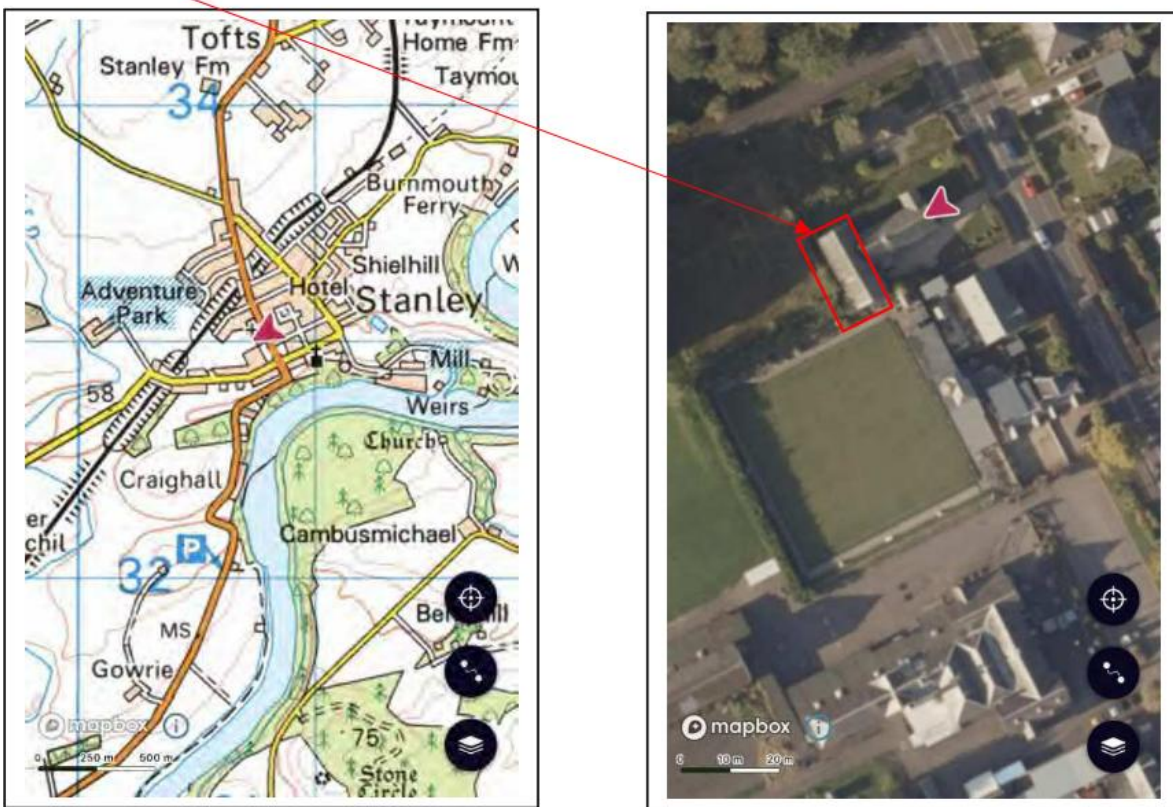


Figure 3 Existing Church and Church Hall Site Plan

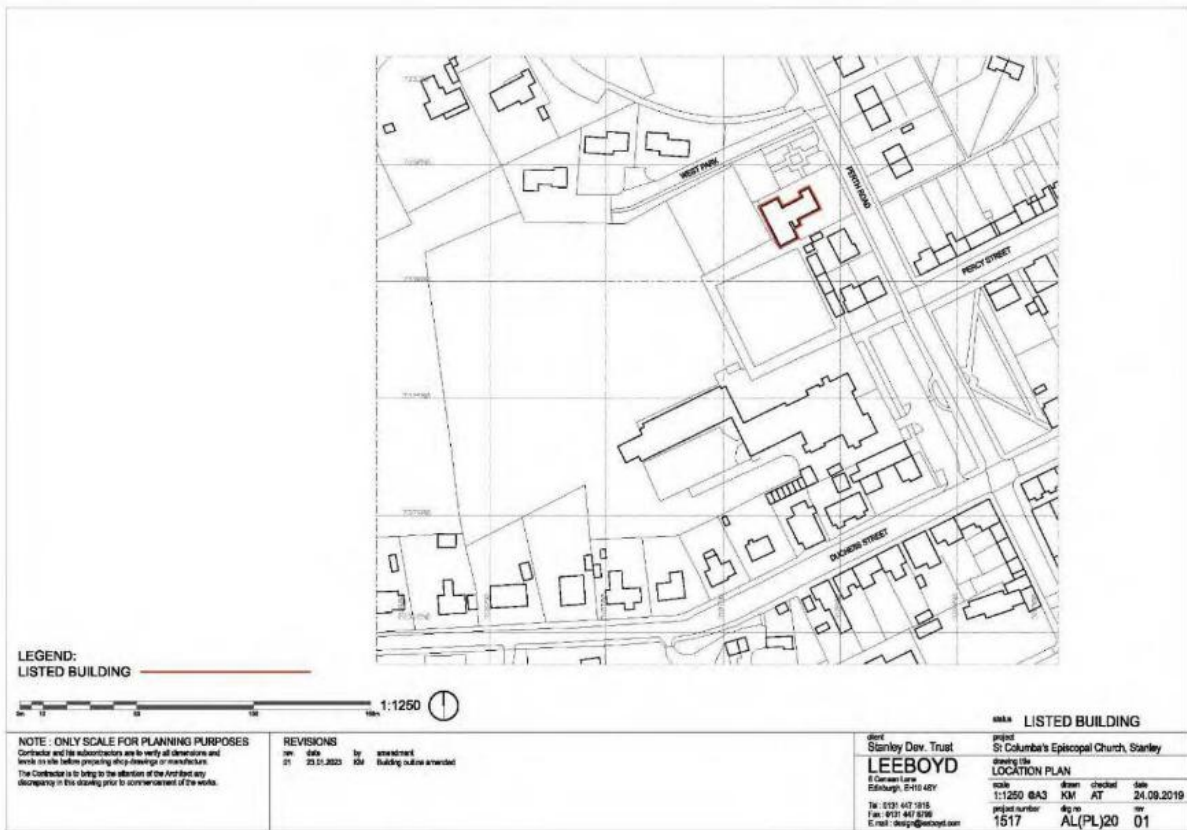
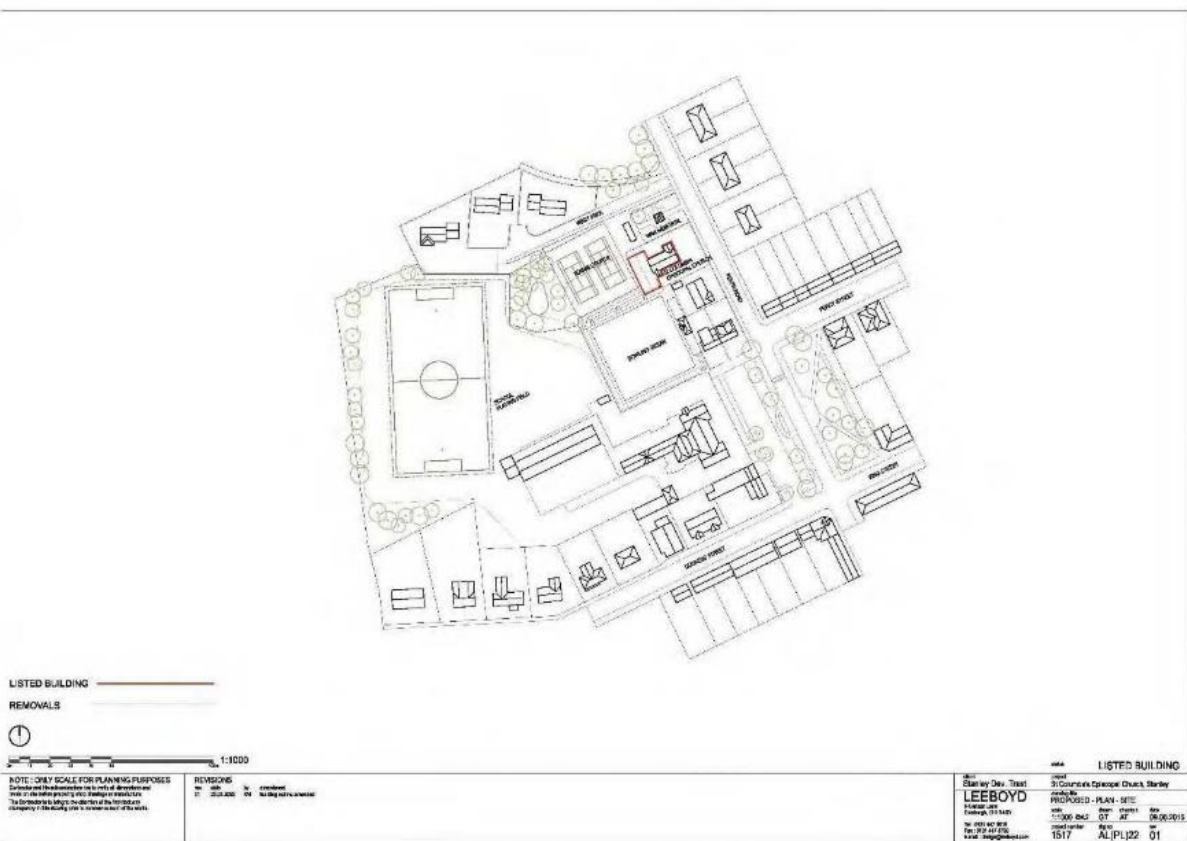


Figure 4 Proposed Down taking of Church Hall



2. SURVEY AND SITE ASSESSMENT

2.1 Objectives

The survey aims to make an appraisal of the presence and/or absence of any species of bat and/or bird or other protected species which may be affected by the development at the proposed site. The survey specifically looked for evidence of bats and their roosts, birds and their nests, and any other protected species with a preliminary roost assessment focused on a structural survey. Emergence and re-entrant bat activity surveys were then carried out to confirm the presence or absence of roosting bats.

2.2 Methods

2.2.1 Pre-survey data search

Web-based sources of information were examined, principally the National Biodiversity Network (NBN) Gateway (<http://data.nbn.org.uk/>) where a radius of 5km from the centre of the proposed development was searched to provide suitable coverage of the area. Nature designation classifications were obtained from NatureScot Site Link (<https://sitelink.nature.scot/home>).

Other websites searched include Bat Conservation Trust (<http://www.bats.org.uk/>). Positive records for species present in the survey area can be used to inform the assessment of biodiversity on the site but the lack of records clearly cannot be taken to imply that the species in question is absent.

2.2.2 Survey methodology

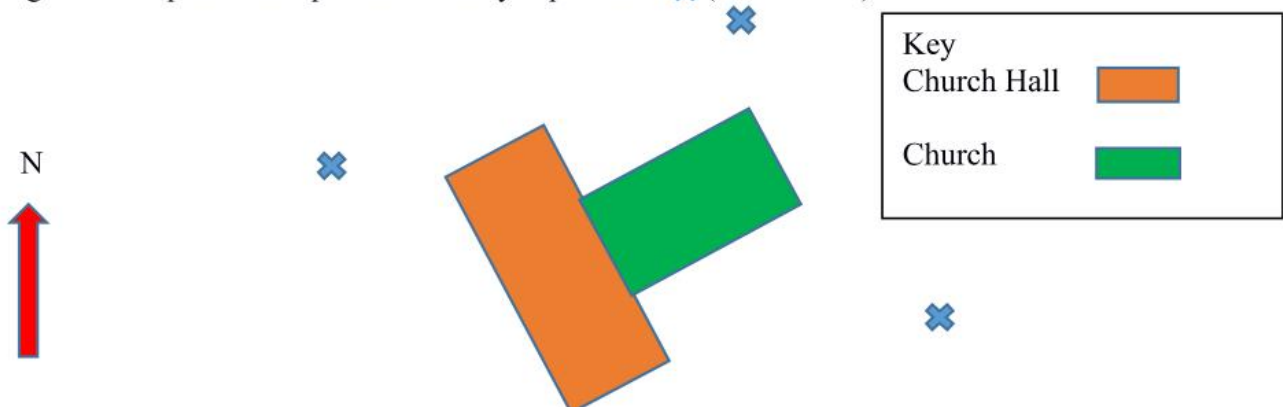
A site visit and habitat assessment were carried out after receiving information from Stanley Development Trust. A bat survey was carried out incorporating an ecological appraisal, roost assessment and a hibernation survey. The Church Hall was surveyed following best practice guidelines: Good Practice Guidelines, 3rd Edition. Bat Conservation Trust (BCT), Collins, J (2016). Equipment used included a ladder, endoscope, thermal monocular, powerful torch, and binoculars.

A dusk emergence, dawn re-entrant and bat activity surveys were carried out following the format identified in the guidelines. Equipment included three Anabat Walkabout, three Anabat Express passive bat detectors and recorders, and three hand-held BatBox Duet detectors. Data was analysed using anolook software. Two XA60 Canon camcorder with infra-red capability and a supplementary IRLamp 7 floodlighting system were set-up on sight together with two Hik Micro Lynx thermal monoculars which have photographic and recording functions.

2.2.3 Survey area

All elevations of the building.

Figure 5 Simplified site plan and surveyor positions ✕ (not to scale)



2.2.4 Timings, types, and weather conditions of Field Surveys

03/05/2023 Bat roost assessment, hibernation survey, building survey – Temperature 9 degrees Celsius; wind speed 2mph; cloud cover 100%; no precipitation; good visibility.

16/05/2023 Emergence (Dusk)/ Activity Survey – Sunset 21.24 – Time 21.00 – 23.00; temperature 14 degrees Celsius; wind speed 2mph; cloud cover 80%; no precipitation; good visibility.

31/05/2023 Re-entrant (Dawn)/ Activity Survey – Sunrise 04.34 – Time 03.00 – 05.00; temperature 12 degrees Celsius; wind speed 2mph; cloud cover 100%; no precipitation; good visibility.

2.2.5 Limitations

Survey data is accurate on the dates that the surveys took place.

2.2.6 Personnel

Emma O'Shea, Ecological Consultant, Tay Ecology, Bat Licence Number 200952

Emma has worked in the environmental sector for nineteen years, during which time she has gained a wealth of experience and expertise. During the last nine years she has worked as an ecological consultant for Tay Ecology with lead responsibility for development projects requiring protected mammal species surveys and species licensing. Emma has been surveying for bats since 2004 and she trained for her bat licence under Neil Middleton, Echoes Ecology on the Bat Skills Development Programme. Emma has a Nature Scot bat survey licence with hibernacula, a low impact bat licence and an otter survey licence. Emma has a Postgraduate Diploma in Environmental Management from the Open University and is a member of the Arboricultural Association and Institute of Environmental Management and Assessment.

Gary Flynn, Ecologist/Bat Surveyor, Tay Ecology

Gary first volunteered as a bat surveyor with the National Trust for Scotland in 2006. He has worked in wildlife management and conservation in Aberdeenshire and Tayside for over 20 years and trained with Tay Ecology during the 2019 season and has subsequently undertaken bat and protected species surveys across a wide variety of sites across Scotland.

Archie Flynn, Bat Surveyor, Tay Ecology

Archie has a background in environmental education and has worked in land management in Scotland since 2017. Archie trained with Tay Ecology for bat surveys during the 2020 season, he attended a BCT training course in 2021 and has experience of surveying a range of building types and ages.

Pete Lorainn-Smith, Bat Surveyor, Tay Ecology

Pete has had a life-long interest in wildlife and has worked in land management and nature conservation in Scotland since 2022 after a career in Police Scotland. Pete has undertaken training with the BCT and Tay Ecology across two survey seasons across a range of building types and ages.

3. LEGISLATION AND POLICY GUIDANCE

Bats: All bats and their roosts are legally protected in Scotland by the Conservation (Natural Habitats, &c.) Regulations 1994 (as amended) - "the Habitats Regulations". A bat roost is any structure or place which a bat or group of bats use for shelter or protection, because bats return to the same places every year, a bat roost is protected even if there are no bats there.

It is an offence to deliberately or recklessly: capture, injure or kill a wild bat; harass a wild bat or group of bats; disturb a wild bat in a roost (any structure or place it uses for shelter or protection);

disturb a wild bat while it is rearing or otherwise caring for its young (this would be a 'maternity' roost); obstruct access to a bat roost or to otherwise deny the animal use of the roost; disturb such a wild bat in a manner that is, or in circumstances which are, likely to significantly affect the local distribution or abundance of that species; disturb a wild bat in a manner that is, or in circumstances which are, likely to impair its ability to survive, breed or reproduce, or rear or care for its young.

It is also an offence to damage or destroy a breeding site or resting place of such an animal (note: this does not need to be deliberate or reckless to constitute an offence); keep, transport, sell or exchange or offer for sale or exchange any wild bat or any part or derivative of one.

4. BAT ECOLOGY

In this part of Scotland there are 5 species of bat generally found: Common Pipistrelle *Pipistrellus pipistrellus*; Soprano Pipistrelle *Pipistrellus pygmaeus*; Brown Long-eared *Plecotus auritus*; Daubenton's *Myotis daubentonii*; and Natterer's *Myotis nattereri*. The 2 species of pipistrelle use man-made structures to roost and can be found in both a rural and urban setting. Brown long-eared bats often roost in old buildings with large attics, preferring buildings associated with mature woodland in which they can forage. Daubenton's bats roost close to still or running bodies of water, either in trees or structures such as bridges. Natterer's bats have a similar habitat to brown long-eared bats but are less common.

Female bats roost together in a colony from May until the autumn. Bats usually have one baby in June which is reliant on its mother for 2 months and will remain in the roost whilst the mother feeds. In the autumn, the colony will move from their warm summer roost, often in buildings, to a cooler winter roost which may be in trees, unheated buildings with thick stone walls, caves, and similar places. In their winter roost they become torpid as the weather cools, and they hibernate. Male bats live in smaller groups or individually in cooler roosts such as steadings or tree holes but can be found in maternity colonies in the early autumn when mating takes place. Whilst bats are hibernating, they are particularly vulnerable to disturbance. Each time they wake it uses up their energy stores and with repeated disturbance the result can be their death.

5. RESULTS

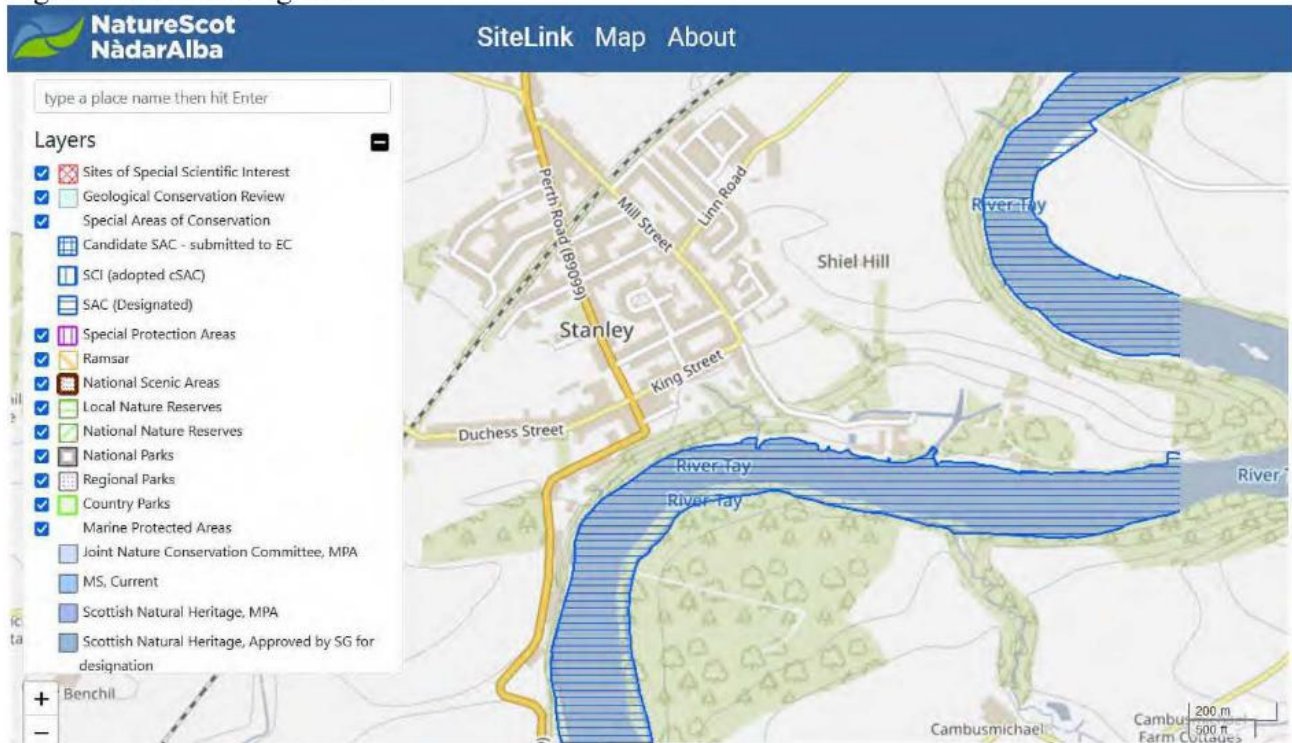
5.1 Pre-survey data search

NatureScot nature designations within 1km are the River Tay Special Area of Conservation SAC, which is located 300m to the south. Figure 6 Nature Designations

National Biodiversity Network confirmed presence Daubenton's bat *Myotis daubentonii* (26); Natterer's bats *Myotis nattereri* (2); Common pipistrelle *Pipistrellus pipistrellus* (12); Soprano pipistrelle *Pipistrellus pygmaeus* (5); Brown Long-eared *Plecotus auritus* (2) within 5km of the location.

Within 2km there are records for Daubenton's bat (10); Natterer's bat (2); Soprano pipistrelle (3). Within 1km there are records for Daubenton's bat (6); Natterer's bat (2); Soprano pipistrelle (3). With 0.5km there are records for Soprano pipistrelle (1).

Figure 6 Nature Designations



5.2 Field surveys

5.2.1 Description of Habitats of potential value to bats

There are a mix of mature broadleaved and coniferous trees to the north and west which provide local foraging habitat, and large areas of grassland to the west, with the River Tay 300m to the south.

5.2.2 Bat Surveys

5.2.2.1 Roost assessment of structures

North-west and south-west elevations



North-east and north-west elevations



North-east elevation



South-east elevation



North-west elevation of church and hall



North-east elevation of church, hall to rear



Habitat to north



Habitat to west



Table 5.1 Description of potential roost feature

Structure	Descriptions of potential roost features	Evidence of bats	Areas not surveyed/why
Traditionally built stone structure with a slate roof	Gaps under slates and under roof ridge on the east and west elevations, with gaps in the wall head on the south elevation.	None	n/a

Table 5.1 shows that potential roost features suitable for bats include gaps under slates, under roof ridge on the east and west elevations, and at wall head on the south elevation. No evidence of bats was found.

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Potential Roost Locations

Gaps under roof ridge and slipped slates



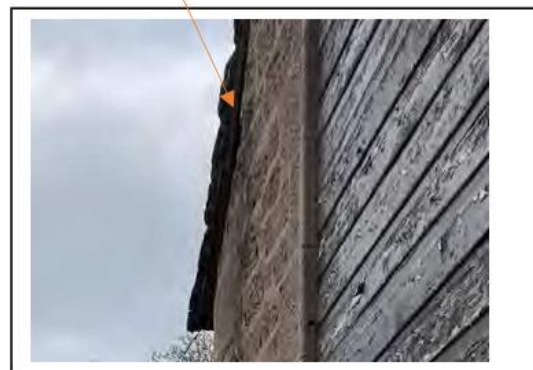
Gaps under roof ridge and under slates



Gaps under slates



Gaps at wall head



Description and assessment of suitability of features for foraging

The trees, grassland and nearby watercourses are suitable for foraging.

Description and assessment of suitability of features for commuting

The treelines, field edges and watercourses have suitability for commuting.

Description and assessment of suitability of features for roosting.

Table 5.2 Description, proposed works, assessment, and suitability of features for roosting, with assessment adapted from Collins (2016, pp.35, 51, 52)

Description	Assessment	Suitability	Proposed Works	Implications for Proposed Works
Church Hall	A structure with one or more potential roost sites that could be used by bats due to their size, shelter, protection, conditions, and surrounding habitat but unlikely to support a roost of high conservation status. Habitat that is connected to the wider landscape that could be used by bats for foraging such as trees, scrub, grassland, or water.	Moderate	Demolish	1 survey at dusk and 1 dawn between May – September with 14 days minimum interval between surveys.

Table 5.1 shows that there are one or more roost sites which could be used by bats due to their size, shelter, protection, conditions, and surrounding habitat but unlikely to support a roost of high conservation status (Collins, 2016, p.35). The habitat that is connected to the wider landscape that could be used by bats for foraging such as trees, scrub, grassland, or water (Collins, 2016, p.35), and 1 survey at dusk and 1 at dawn between May-September is recommended (Collins, 2016, p.52).

5.2.2.2 Winter hibernation assessment

Table 5.3 Description of winter hibernation potential and evidence of bats

Descriptions of potential hibernation roost features	Evidence of bats found	Areas not surveyed/ why
Low potential limited to opportunistic bats in the roof.	None	n/a

Table 5.3 shows that the potential hibernation roost features are low limited to opportunistic bats in the roof.

5.2.2.3 Emergence, Re-entrant and Activity Surveys

16/05/2023 Emergence (Dusk)/ Activity Survey – Sunset 21.21 – Time 21.00 – 23.00

The emergence and activity survey recorded a Soprano pipistrelle from 21.30, 9 minutes after sunset. This bat did not emerge from the church hall or church, it was commuting over the roof of the church heading towards the River Tay. Common pipistrelle bats were recorded from 21.42 commuting over the roof of the church. Multiple Common and Soprano pipistrelles were visible travelling above the church from north travelling south, estimated numbers are fifteen.

At 21.36 one Soprano pipistrelle emerged from Roost **1** underneath the roof ridge on the north-east elevation. At 21.38 one Soprano pipistrelle emerged from Roost **2** underneath the roof ridge on the south-west elevation. Six Soprano pipistrelles emerged from four locations at the church on the south-east and north-east elevations between 21.37 and 21.49.

During the survey four Soprano pipistrelles were recorded foraging around the monument adjacent to the church. The majority of the bats flew towards the River Tay with smaller numbers of pipistrelles foraging around the site. There was pipistrelle bat activity recorded throughout the survey. No bat emerged from any other location at the church hall and no other species of bat was recorded.

Roost Locations: 2 roost location, 2 Soprano pipistrelles

31/05/2023 Re-entrant (Dawn)/ Activity Survey – Sunrise 04.34 – Time 03.00 – 05.00

The re-entrant and activity survey recorded two Common pipistrelles foraging from 03.01 and two Soprano pipistrelles from 03.05. The preferred foraging area was around the War Memorial and above the tennis courts. Pipistrelle calls were recorded continuously throughout the survey until 04.04.

Pipistrelles were also visible commuting north to the south-west of the church hall and along the line between the church and church hall, these bats travelled towards the block of woodland north of the site.

During the survey no bat re-entered any location at the church hall and no other species of bat was recorded.

Roost Locations: 0 roost locations

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Roost 1 north-east elevation



Roost 2 south-west elevation



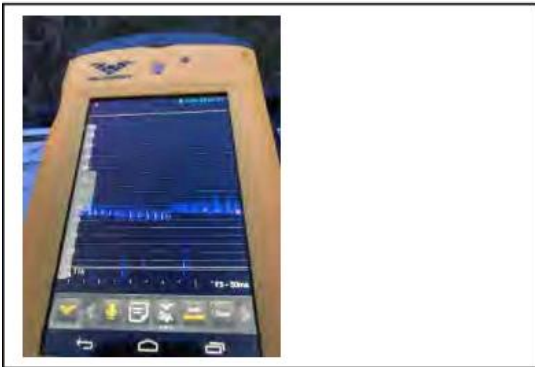
IR Camera View of NE and SE elevations



IR Camera View of NE and NW elevations



Common pipistrelle foraging to SW



Soprano pipistrelle foraging to NW

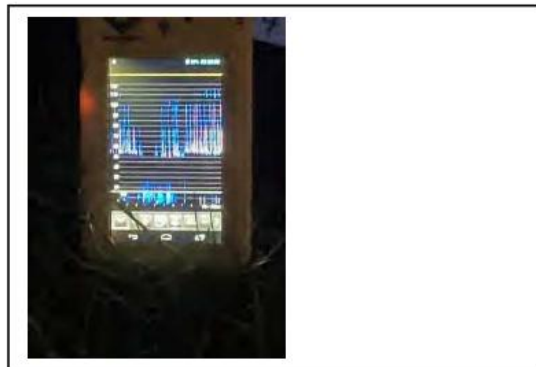
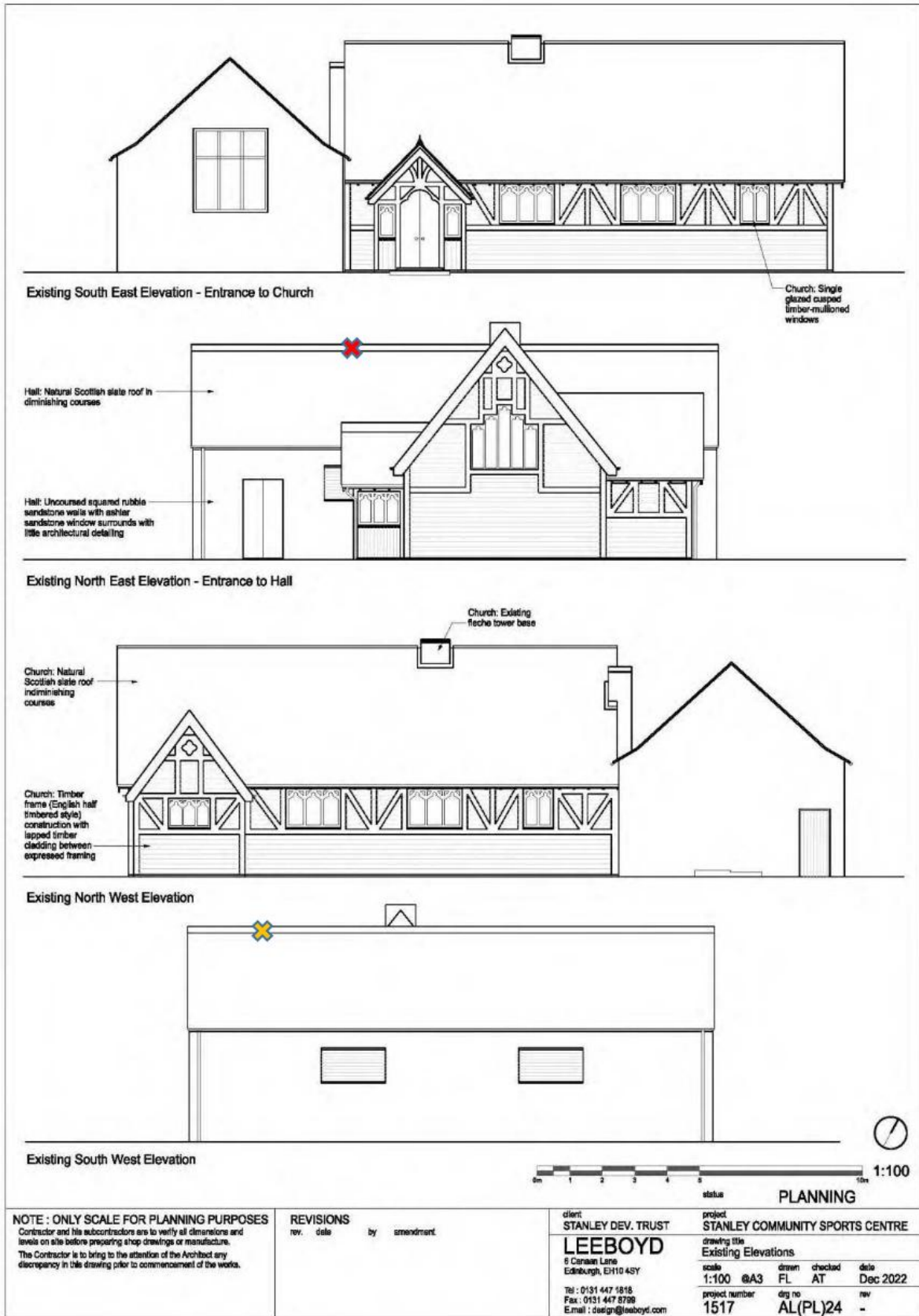


Figure 7 Church Hall Bat Roost Locations



6. ASSESSMENT

6.1 Constraints on survey information

The survey data is accurate on the date that it was recorded.

6.2 Discussion

A preliminary bat roost assessment to assess the likelihood of bats roosting at St Columba's Scottish Episcopal Church Hall prior to demolition, demonstrated a moderate potential for the presence of bat roosts at the site. There were no bat droppings or live bats recorded during the preliminary assessment, however, multiple potential roost locations were identified including gaps under the roof ridge, gaps under slates and gaps at the wall head. The survey took place in favourable conditions with all areas accessible. The hibernation assessment demonstrated a low potential for hibernating bats.

Bats are a protected species, and it is an offence to intentionally, or recklessly, disturb a bat in a shelter or resting place; or to damage or destroy a breeding or resting site. All bats and their roosts are legally protected because bats return to the same places every year, a bat roost is protected even if there are no bats there. The proposed demolition will impact on any bat roosting there, therefore, following the Bat Conservation Guidelines, one emergent (dusk) and one re-entrant (dawn) survey between May to September are recommended. No further hibernation surveys are required.

The emergent dusk and re-entrant dawn surveys were carried out in May 2023. Two Soprano pipistrelles were recorded emerging from two roost locations on the north-east and south-west elevations of the hall during the dusk survey. Additionally, there were six pipistrelle bats recorded emerging from the church and multiple bats commuted above the building from the north towards the River Tay. Smaller numbers of approximately four Common and Soprano pipistrelle bats foraged around the site throughout the survey. On the dawn survey no bats re-entered the church hall, although foraging Common and Soprano pipistrelles were recorded throughout the survey around the War Memorial and tennis courts. The activity surveys took place in favourable conditions and results are accurate as to the species, numbers, and locations of bats in the area.

A bat licence is required before demolition commences, to permit the destruction of the roosts with appropriate mitigation and compensation methods in place. This site can be licensed on a Bat Low Impact Licence. No further surveys are required this time, and bat surveys are valid for twenty-four months when licensing under a low impact licence. There are no timing restrictions for non-breeding bat roosts, though it is best to avoid commencing working during the winter months when hibernating bats are at their most vulnerable. As bats are mobile creatures there is always the possibility that a bat could be found at a different location once renovation commences, in this eventuality appropriate action should be taken.

6.3 Potential impacts of development

The proposed work is not expected to have a long-term detrimental impact on the bat population at the site. The identified bat roosts should be compensated for as part of works with replacement roosts. Installing bat boxes on easterly through to westerly aspects will provide alternative roosting opportunities for bats in the area. During works woodcrete bat boxes should be placed on nearby trees or structures; and bat slates, external or integrated wall bat boxes are recommended to be provided as replacement roosts.

6.4 Licensing

Activities that may result in offences taking place can in some instances be permitted, for example roofing repairs to a house which has a bat roost. However, a strict process of licensing must be observed and followed for this to be lawful. In this case a licence from NatureScot will be required before any work can commence, and any condition imposed must be met. There is no guarantee that such a licence will be granted.

Three tests from the Conservation Regulations must be satisfied before NatureScot can grant a licence:

1. the licence relates to one of the specified purposes, including preserving public health or public safety or other imperative reasons of overriding public interest; preventing the spread of disease; preventing serious damage to the property. Supporting evidence for any assertions about the significance of the project, such as its social or economic importance will be required by the licensing authority.
2. there is no satisfactory alternative to carrying out work which will affect bats or their roosts.
3. the work will not adversely affect the local bat population.

An application for a licence will fail if these 3 tests are not met.

7. NESTING BIRDS

There was no evidence of birds' nesting at the church hall at the time of the survey. There were nesting house martins recorded nesting at the church on the north-east and south-east elevation. All nesting birds receive legal protection therefore, work would not be able to start in any area when nesting birds are present. It is recommended for any demolition works which are scheduled to take place during the breeding bird season, which is defined as March to August inclusive, that a breeding bird check is carried out prior to any works taking place.

In the event, that the pre-works survey discovers any nesting birds, or that after work has begun an active nest site is identified the nest site should be protected. An appropriate buffer zone depending on the species concerned and determined by a suitably experienced ecologist should be maintained and works suspended in that area until the nest is no longer active.

8. OTHER PROTECTED SPECIES

No signs of any other protected species were recorded.

9. RECOMMENDATIONS and MITIGATION

Mitigation licences: a bat licence from NatureScot will be required before work can commence. Sites where non-breeding pipistrelle bat roosts are confirmed can be licensed under a Bat Low Impact Licence. Bat surveys are valid for a period of 24 months for non-breeding roosts, after which a survey update is required. There are no timing restrictions for non-breeding bat roosts, though it is best to avoid commencing working during the winter months when hibernating bats are at their most vulnerable.

Tay Ecology Ltd, Fairway, Golf Course Road, Pitlochry, PH16 5QU
Tel: 07747 883464; Email: info@tayecology.co.uk; www.tayecology.co.uk

A bat licence will be applied for on the grounds for an imperative (urgent) reason of overriding (long-term) public interest including those of a social or economic nature and beneficial consequences of primary importance for the environment. This must include roost compensation.

Table 9.1 Impact timescale and mitigation/compensation measures

Impact Timescale	Mitigation/compensation measures
Short term impact	<ul style="list-style-type: none"> • Within 100m of the site the erection of 2 suitable bat boxes (e.g., 2 Schwelger 2F or Harlech woodstone bat boxes suitable for pipistrelles) in adjacent trees before work commences, to relocate any bats be found during work. • If small numbers of bats (five or less) are found during the survey or at any time during works they must be removed and placed in a purpose-built bat box. If more than 5 bats are found at a single location work must cease and NatureScot should be contacted. • Contractors to be briefed about the likelihood of bats being found on site, and on what to do if a bat is found. • Any work within five metres of a known bat roost or other potentially suitable roosting location (e.g., loose flashing) to be undertaken by hand. A licensed bat worker present on site at the start of works, until the bat worker is satisfied that bats are unlikely to be present.
Medium term impact	<ul style="list-style-type: none"> • Roosts replaced with bat slates, external or integrated wall bat boxes as part of works. • Retain bat boxes in trees or structures.
Long-term impact	<ul style="list-style-type: none"> • If the above is followed there will not be a long-lasting negative impact on the bat population and no further mitigation measures will be required.

9.1 Bat Species Protection Plan Summary

1. A NatureScot bat mitigation licence will be required before work can commence, this can be a Bat Low Impact Licence for non-breeding pipistrelle roosts.
2. A full species protection plan is required as part of the licence application.
3. Within 100m of the site the erection of two suitable bat boxes, such as Schwelger 2F or Harlech Woodstone bat boxes, in nearby trees before work commences, so that should any bats be found during work they can be safely relocated.
4. Contractors should be made aware of the potential for the presence of bats and what to do in the event a bat is found.
5. Work carried out carefully and by hand within five metres of a known bat roost. A licensed bat worker present on site at the start of works, to undertake a pre-works survey, and to provide a brief for contractors. A method statement put in place for what to do if a bat is found during works.
6. Original roosts to be replaced with bat slates, integrated or external wall bat boxes as part of works. These should be positioned on warmer south-easterly through to south-westerly elevations.
7. External lighting must not shine on bat roost locations or be permanently directed towards the preferred foraging habitat.
8. Where bat slates are the preferred compensation Bitumen Felt or an approved Bat Safe Membrane should be installed on the roof such as TLX Insulation where new roofing is proposed.

9.2 Bird Species Protection Plan Summary

1. For any demolition commencing between March to August inclusive, a pre-works breeding bird check is required.
2. Where any active nests are identified these must be suitably protected until chicks have fledged.
3. Demolition work cannot take place in the vicinity of active nests are found.
4. Providing bird boxes for a wider range of species such as house sparrows, wrens, swallows and house martins would provide a range of nesting opportunities to benefit local biodiversity.

10. REFERENCES

Collins, J (2016) Bat Conservation Trust, Bat Surveys for Professional Ecologists: Good Practice Guidelines, 3rd Edition.

11.0 APPENDICES

11.1 Example Bat Boxes

- Provision of bat boxes by installing bat boxes on trees, woodcrete bat boxes are more durable. Bat boxes can be placed on larger trees with boxes facing different aspects, ideally positioned three or more metres in height.
- Install integrated or external wall bat boxes as part of works.
- Example bat boxes
 - a. Schwelger 2F Tree Bat Box
Specifications: Height 33 cm; diameter 16 cm; weight 4 kg; Schwegler Woodcrete; black with grey front panel (NHBS, 2023a).
 - b. Schwelger 1FR Bat Tube
Specifications: Height 47.5cm; width 20cm; depth 12.5cm; weight: 9.8kg; Woodcrete with integrated wooden panel
 - c. Beumaris External Wall Bat Box
Specification Midi: Height: 39cm; Width: 29cm; Depth: 6cm; Weight: 4.4kg; Woodstone (NHBS, 2023c).

11.2 Example Bird Boxes

- Provide nest boxes for birds on trees, to include a range of entrance hole sizes such as 25 mm for blue and coal tits; 28 mm for great tits; 32 mm for house sparrows; 100 mm high open front for robins; 140 mm high front panel for wrens. Position of bird boxes 2-4m up trees, utilise nearby trees for shade and tilt box slightly forward.
- Install integrated or external wall bird boxes as part of works.

Example bird boxes

- a. Woodstone Seville Nest Box 28mm and 32mm
28mm hole nest boxes will be used by Tree Sparrows, Blue Tits, Coal Tits and Great Tits. 32mm hole nest boxes will be used by Great Tits, Pied Flycatchers, Tree Sparrows. Specifications: Hole Size: Oval, 28 or 32 mm; Width: 20.5cm; Height: 31cm; Length: 20cm; Weight: 6.6Kg (Garden Nature, 2023a).
- b. Woodstone Barcelona Open Fronted Nest Box
Angle the box between northeast to southeast, ensuring it is not in the sun all day. Suitable Bird Type: Robin, Wren, Pied Wagtail, Spotted Flycatcher. Specifications: Width: 19 cm; Height: 24 cm; Length: 17.5 cm; Weight: 3.8 kg (Garden Nature, 2023b).
- c. Schwelger 1SP Sparrow Terrace
Site 2 metres or more above ground level. Method 1: Simple, surface installation using the plugs and screws supplied. Method 2: Complete installation as a nesting block within brick or concrete walls. Specifications: Height: 240mm; Width: 430mm; Depth: 220mm; Weight: 15kg approx. (Ark Wildlife, 2023).

d. Schwelger Swift Nest Box No.18

Swifts are a Tayside Priority Species. The box can be attached by screws to walls or in an overhead position on external façades or under the roofs. The chipboard panel should be placed under overhanging eaves or in a sheltered site. Specifications: Dimensions (mm): 500 x 190 x 220; Weight (kg):4.5 (Wildcare, 2023a).

e. Eco Swallow Nest Bowl

Swallows readily adopt these nest cups because they mimic the size and shape of natural swallow nests. Swallows are sociable birds but the nest cups should not be placed too close together. DIMENSIONS (MM): 150 x 270 x 90; WEIGHT (KG): 0.9; SITING: A minimum distance of 1m between nest cups is suggested. To ensure the swallows have sufficient room in the nest cup and when arriving and leaving there should be at least 6cm free space above the nest cup. (Wildcare, 2023b).

f. Eco House Martin Nest Box

Artificial cup made from a moulded resin/concrete fixed to an LDPE backing plate/roof, any direction may be used, can be installed in groups to encourage colonies, no maintenance required. DIMENSIONS (MM): 130 x 270 x 100; WEIGHT (KG): 0.9; SITING: The nest should be positioned beneath the eaves at a minimum height of 2m. House martins prefer to nest on the east or north-facing walls but any direction may be used. Boxes can be installed in groups to encourage colonies to form, as the house martins are sociable birds (Wildcare, 2023c).

11.3 References for Bat and Bird Boxes

Ark Wildlife, 2023, "*Schwelger ISP Sparrow Terrace*" [Online]. Available at <https://www.arkwildlife.co.uk/product/schwegler-1sp-sparrow-terrace-brown> (accessed 31st May 2023)

Garden Nature, 2023a, "*Woodstone Seville Nest box*" [Online]. Available at <https://gardenature.co.uk/collections/garden-bird-boxes/products/product-woodstone-seville-nest-box> (accessed 31st May 2023)

Garden Nature, 2023b, "*Woodstone Barcelona Open Fronted Nest box*" [Online]. Available at <https://gardenature.co.uk/collections/garden-bird-boxes/products/product-woodstone-barcelona-open-nest-boxes> (accessed 31st May 2023)

NHBS, 2023a, "*Schwelger 2F Bat Box (General Purpose)*" [Online]. Available at <https://www.nhbs.com/2f-schwegler-bat-box-general-purpose> (accessed 31st May 2023)

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NHBS, 2023c, "*Beaumaris Woodstone Bat Box*" [Online]. Available at <https://www.nhbs.com/beaumaris-woodstone-bat-box> (accessed 31st May 2023)

Wildcare, 2022a, "*Schwelger Swift Box No.18*" [Online]. Available at <https://www.wildcare.co.uk/schwegler-swift-box-no-18.html> (accessed 31st May 2023)

Wildcare, 2022b, "*Eco Swallow Nest Bowl*" [Online]. Available at <https://www.wildcare.co.uk/10687-eco-swallow-nest-bowl.html> (accessed 31st May 2023)

Wildcare, 2023c, "*Eco House Martin Nest Box*" [Online]. Available at <https://www.wildcare.co.uk/10697-eco-house-martin-nest-nbc.html> (accessed 31st May 2023)

Tay Ecology Ltd, Fairway, Golf Course Road, Pitlochry, PH16 5QU
Tel: 07747 883464; Email: info@tayecology.co.uk; www.tayecology.co.uk