

**LRB-2024-10**

**23/01564/FLL - Erection of dwellinghouse, land 20 metres south west of 4 Lagoonan Road, Grandtully, Aberfeldy**

**PLANNING DECISION NOTICE** *(included in applicant's submission, pages 89-90)*

**REPORT OF HANDLING**

**REFERENCE DOCUMENTS**



# REPORT OF HANDLING

## DELEGATED REPORT

Ref No	23/01564/FLL	
Ward No	P4- Highland	
Due Determination Date	27th November 2023	
Draft Report Date	29th November 2023	
Report Issued by	JF	Date 29.11.23

**PROPOSAL:** Erection of dwellinghouse

**LOCATION:** Land 20 Metres South West Of 4  
Lageonan Road Grandtully Aberfeldy  
Ph15 2qy Lageonan Road Grandtully

### SUMMARY:

This report recommends **refusal** of the application as the development is considered to be contrary to the relevant provisions of the Development Plan and there are no material considerations apparent which justify setting aside the Development Plan.

### BACKGROUND AND DESCRIPTION OF PROPOSAL

The site is located to the west of a row of dwellings comprising of two sets of modest semi-detached dwellings. These dwellings lie within the settlement boundary and the site lies out with but adjacent.

The proposal is to retain the tree belt which covers approx. a third of the site and erect a modest dwelling cutting into the site with parking and turning to the east.

### SITE HISTORY

No recent site history

### PRE-APPLICATION CONSULTATION

Pre application Reference: No preapp related to this proposal

### DEVELOPMENT PLAN

The Development Plan for the area comprises National Planning Framework 4 (NPF4) and the Perth and Kinross Local Development Plan 2 (2019) (LDP2).

## **National Planning Framework 4**

The National Planning Framework 4 (NPF4) is the Scottish Government's long-term spatial strategy with a comprehensive set of national planning policies. This strategy sets out how to improve people's lives by making sustainable, liveable and productive spaces.

NPF4 was adopted on 13 February 2023. NPF4 has an increased status over previous NPFs and comprises part of the statutory development plan.

The Council's assessment of this application has considered the following policies of NPF4 :

Policy 6: Forestry, Woodland and Trees  
Policy 14: Design, Quality and Place  
Policy 17: Rural Homes

## **Perth and Kinross Local Development Plan 2 – Adopted November 2019**

The Local Development Plan 2 (LDP2) is the most recent statement of Council policy and is augmented by Supplementary Guidance.

The principal policies are:

Policy 1A: Placemaking  
Policy 1B: Placemaking  
Policy 6: Settlement Boundaries  
Policy 32: Embedding Low & Zero Carbon Generating Technologies in New Development  
Policy 40A: Forestry, Woodland and Trees: Forest and Woodland Strategy  
Policy 40B: Forestry, Woodland and Trees: Trees, Woodland and Development  
Policy 53B: Water Environment and Drainage: Foul Drainage  
Policy 53C: Water Environment and Drainage: Surface Water Drainage  
Policy 60; Transport

## **Statutory Supplementary Guidance**

- [Supplementary Guidance - Developer Contributions & Affordable Housing](#) (adopted in 2020)
- [Supplementary Guidance - Placemaking](#) (adopted in 2020)

## **OTHER POLICIES**

### **Non Statutory Guidance**

- [Planning Guidance - Planning & Biodiversity](#)

## **NATIONAL GUIDANCE**

The Scottish Government expresses its planning policies through The National Planning Framework, Planning Advice Notes, Creating Places, Designing Streets, National Roads Development Guide and a series of Circulars.

### **National Roads Development Guide 2014**

This document supports Designing Streets and expands on its principles and is considered to be the technical advice that should be followed in designing and approving of all streets including parking provision.

### **CONSULTATION RESPONSES**

Scottish Water	No objection
Transportation And Development	No objection
Development Contributions Officer	No contributions required
Biodiversity/Tree Officer	No comments received but consideration made
Environmental Health (Noise Odour)	Conditions related to noise and odour if approved
Environmental Health (Contaminated Land)	Condition related to contaminated land if approved

### **REPRESENTATIONS**

No representations were received:

### **Additional Statements Received:**

Screening Opinion	EIA Not Required
Environmental Impact Assessment (EIA): Environmental Report	Not applicable
Appropriate Assessment under Habitats Regulations	Habitats Regulations AA Not Required
Design Statement or Design and Access Statement	Submitted
Report on Impact or Potential Impact eg Flood Risk Assessment	Not Required

### **APPRAISAL**

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan comprises NPF4 and the Perth and Kinross Local Development Plan 2019. The relevant policy considerations are outlined in the policy section above and are considered in more detail below. In terms of other material considerations, involving considerations of the Council's other approved policies and supplementary guidance, these are discussed below only where relevant.

The determining issues in this case are whether; the proposal complies with development plan policy; or if there are any other material considerations which justify a departure from policy.

### **Policy Appraisal**

The site is not located within the settlement boundary of Grandtully but adjoins it. The principle of developing the site falls to be considered primarily under Policy 6 Settlement Boundaries of LDP2 and applicable policies within NPF4. Policy 19 Housing in the Countryside does not apply in this case as the site adjoins the settlement.

The agent has noted what they consider as comparable site to the north which was refused in principle permission in 2007 but granted on appeal with detailed permissions granted in 2008. The reporter at the time, in 2007, stated that an exemption should be granted due to the well contained nature of the site and its visual relationship with the surrounding settlement.

In the time since the decision on this site there have been a number of reviews of the settlement boundary through updated local development plans. The site is also significantly different from the site subject to the 2007 appeal which is detailed later in the report. It is considered that in this instance the 2007 decision is not considered a material consideration to outweigh the LDP2.

Policy 6 relates to settlements which have a defined boundary. It states that built development should be contained within that boundary and development will only be permitted where the proposal meets the criteria noted. In this case the proposal is not related to Policy 8 Rural Business and Diversification (a), there is no justification under an operational and locational need with justification that there are no suitable sites in the settlement boundary (b), it's not been justified that it is to meet a shortfall in housing land supply (c). This policy is overall caveated that the development of sites should not detrimentally impact European Designated Sites (d).

As there is no justification to meet Policy 6 the proposal is contrary to LDP2.

The proposal is also considered under NPF4 and the applicable policies are Policy 17 Rural Homes and Policy 9 Brownfield, vacant and derelict land and empty buildings.

Policy 17 Rural Homes of NPF4 in terms of the categories of development the site does not comply with a) i) it's not within an allocated site, ii) it not brownfield land, iii) not redundant or unused building, iv) not reuse of historic asset, v) not required for permanent accommodation for a farm worker, vi) not a retirement home, vii) not subdivision of a house and viii) does not reinstate a former dwelling one for one. Category b) is a general follow on.

Furthermore, the proposal does not comply with category c) or d).

This would then lead us to consideration under Policy 9 Brownfield, vacant and derelict land and empty buildings which states that the development of greenfield sites will not be supported unless;

- allocated for development - the site is not within the settlement boundary,
- or the proposal is explicitly supported by policies in the LDP - Policy 6 does not support sites which adjoin settlement boundaries.

The principle of development on the site is considered to be contrary to LDP2 and NPF4 policies.

### **Design and Layout**

The dwelling proposed is modest, with accommodation all on one level with a monopitch roof finished in profiled sheeting, walls timber clad.

The site is sloping, rising from east to west where part of a mature woodland plantation falls in the site. There is no proposal to remove trees and the site does not appear to be a natural extension to the group. It may be that these trees with the buffer have been intentionally left out with the settlement.

The proposal would require cutting in to create a level platform for the dwelling along the tree line, the application is not accompanied by any information on how this would be done in relation to the trees. The proposal also due to site levels/trees has a linear developable area which has resulted in the access running the full length of the site in order to accommodate turning at the rear.

Whilst there are no significant concerns regarding the design the large amount of access and cutting close to the tree belt raises concerns.

### **Residential Amenity**

The dwelling has been designed and sited so that there would be no significant impact on the amenity of the neighbouring property to the east.

There is however concern over how the proximity to the tree belt would impact the amenity of the dwelling. It is likely that future occupiers may be

concerned by the proximity and scale of the trees particularly in relation to wind damage.

Historical mapping indicates that the site was previously occupied by railway land. There is the potential for the site to be impacted by contamination as a result of this former land use. It will therefore be necessary for an assessment of the site to be made to determine its suitability for the proposed use.

The property will have a stove and an air source heat pump. Environmental Health have no objection but recommend a condition for plant noise and a stove informative if recommended for approval.

### **Roads and Access**

A new vehicle access to the public road network is proposed for the property, taken directly off Lageonan Road, which is a single track road.

Visibility onto the public road network hasn't been shown by the applicant and it is unclear if the 2 metre high fence will impact onto the splay and if a length of fence is to be removed. The lower of the fence seems to be indicated on the plans but further clarification would have been sought if the recommendation had been to approve.

Parking will be provided on site for two vehicles, which is in line with the requirements of the National Roads Development Guide.

### **Drainage and Flooding**

Foul water will be directed to the public sewage system. Roof water will feed 2 large water butts, captured and directed to an on-site soakaway. The driveway is gravel and surface water will be directed to the soakaway.

### **Natural Heritage and Biodiversity**

The site comprises of part of a wider plantation tree belt. The proposal involves cut and fill along the tree line. No assessment of the trees has been submitted to address the impact engineering works could have on the roots or the impact of the trees on the amenity of the proposed dwelling.

### **Developer Contributions**

The Council Developer Contributions Supplementary Guidance requires a financial contribution towards increased primary school capacity in areas where a primary school capacity constraint has been identified. A capacity constraint is defined as where a primary school is operating at over 80% and is likely to be operating following completion of the proposed development, extant planning permissions and Local Development Plan allocations, at or above 100% of total capacity.



This proposal is within the catchment of Grandtully Primary School. Education & Children's Services have no capacity concerns in this catchment area at this time.

### **Economic Impact**

The economic impact of the proposal is likely to be minimal and limited to the construction phase of the development.

### **VARIATION OF APPLICATION UNDER SECTION 32A**

This application was not varied prior to determination.

### **PLANNING OBLIGATIONS AND LEGAL AGREEMENTS**

None required.

### **DIRECTION BY SCOTTISH MINISTERS**

None applicable to this proposal.

### **CONCLUSION AND REASONS FOR DECISION**

To conclude, the application must be determined in accordance with the Development Plan unless material considerations indicate otherwise. In this respect, the proposal is considered to be contrary to the Development Plan. Account has been taken of the relevant material considerations and none has been found that would justify overriding the Development Plan.

Accordingly the proposal is refused on the grounds identified below.

### **Conditions and Reasons**

1 The proposal is contrary to Policy 6 of the Perth and Kinross Local Development Plan 2 2019 as the site adjoins the settlement boundary and that no justification has been provided in relation to the proposal to meet the exceptions in the policy. This policy seeks to prevent the unplanned and ad hoc expansion of those settlements which have a boundary identified in the Local Development Plan.

2 The proposal is contrary to Policy 9(b) Brownfield, vacant and derelict land and empty buildings of the National Planning Framework 4 (2023) as the proposal is on a greenfield site, but the site is not an allocated site and the development proposed is not explicitly supported by policies in the Local Development Plan.

3 The proposal is contrary to Policy 17 Rural Homes of the National Planning Framework 4 (2023) as the proposal fails to meet any of the specific circumstances listed.

4 The proposal is contrary to Policy 6 of the Perth and Kinross Local Development Plan 2 2019 and Policy 6 Forestry, woodland and trees of NPF4 as the submission fails to consider the impact of the development in relation to trees.

**Justification**

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

**Informatives**

N/A

**Procedural Notes**

Not Applicable.

**PLANS AND DOCUMENTS RELATING TO THIS DECISION**

- 01
- 02
- 03
- 04
- 05
- 06
- 07
- 08
- 09
- 10
- 11
- 12
- 13
- 14
- 15
- 16
- 17
- 18



Pullar House 35 Kinnoull Street Perth PH1 5GD Tel: 01738 475300 Fax: 01738 475310 Email: [onlineapps@pkc.gov.uk](mailto:onlineapps@pkc.gov.uk)

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100643993-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Type of Application

What is this application for? Please select one of the following: \*

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

## Description of Proposal

Please describe the proposal including any change of use: \* (Max 500 characters)

Erection of a modest dwelling house on land 20m SW of no.4 Lageonan Road.

Is this a temporary permission? \*  Yes  No

If a change of use is to be included in the proposal has it already taken place?  
(Answer 'No' if there is no change of use.) \*  Yes  No

Has the work already been started and/or completed? \*

No  Yes – Started  Yes - Completed

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant  Agent

## Agent Details

Please enter Agent details

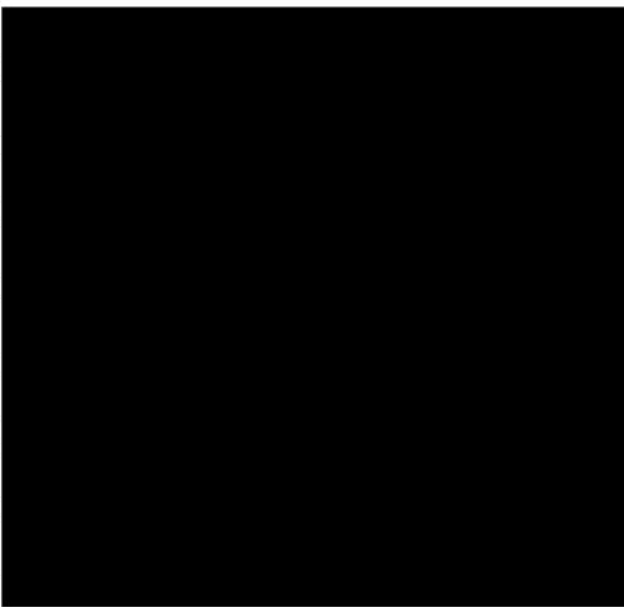
Company/Organisation:	Kellston Developers Ltd		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	David	Building Name:	Cuil Bheag
Last Name: *	Johnston	Building Number:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Address 1 (Street): *	Cuilc Brae
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	Pitlochry
Fax Number:	<input type="text"/>	Country: *	United Kingdom
		Postcode: *	PH16 5QS
Email Address: *	<input type="text"/>		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	Mr	
Other Title:	<input type="text"/>	
First Name: *	Stuart	
Last Name: *	Hendry	
Company/Organisation	<input type="text"/>	
Telephone Number: *	<input type="text"/>	
Extension Number:	<input type="text"/>	
Mobile Number:	<input type="text"/>	
Fax Number:	<input type="text"/>	
Email Address: *	<input type="text"/>	

## Site Address Details

Planning Authority:

Perth and Kinross Council

Full postal address of the site (including postcode where available):

Address 1:

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

Post Code:

Please identify/describe the location of the site or sites

Land 20m SW of 4 Lagoonan Road, Grandtully, Aberfeldy, PH15 2QY

Northing

752984

Easting

291237

## Pre-Application Discussion

Have you discussed your proposal with the planning authority? \*

Yes  No

## Pre-Application Discussion Details Cont.

In what format was the feedback given? \*

Meeting  Telephone  Letter  Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) \* (max 500 characters)

Response to pre-app submission 22/00090/PREAP

Title:

Ms

Other title:

First Name:

Joanne

Last Name:

Ferguson

Correspondence Reference Number:

2200090/PREAPL

Date (dd/mm/yyyy):

06/01/2023

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

## Site Area

Please state the site area:

780.00

Please state the measurement type used:

Hectares (ha)  Square Metres (sq.m)

## Existing Use

Please describe the current or most recent use: \* (Max 500 characters)

currently a vacant plot, partly with tree covering.

## Access and Parking

Are you proposing a new altered vehicle access to or from a public road? \*

Yes  No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? \*

Yes  No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

0

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? \*

2

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

## Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? \*

Yes  No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? \*

- Yes – connecting to public drainage network  
 No – proposing to make private drainage arrangements  
 Not Applicable – only arrangements for water supply required

Do your proposals make provision for sustainable drainage of surface water?? \* (e.g. SUDS arrangements) \*

Yes  No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? \*

- Yes  
 No, using a private water supply  
 No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

## Assessment of Flood Risk

Is the site within an area of known risk of flooding? \*  Yes  No  Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? \*  Yes  No  Don't Know

## Trees

Are there any trees on or adjacent to the application site? \*  Yes  No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

## Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? \*  Yes  No

If Yes or No, please provide further details: \* (Max 500 characters)

location for storage of 3 wheelie bins is noted on the site plan drawings.

## Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? \*  Yes  No

How many units do you propose in total? \*

1

Please provide full details of the number and types of units on the plans. Additional information may be provided in a supporting statement.

## All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? \*  Yes  No

## Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) \*  Yes  No  Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

## Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? \*  Yes  No

## Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? \*  Yes  No

Is any of the land part of an agricultural holding? \*  Yes  No

## Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

## Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: David Johnston

On behalf of: Mr Stuart Hendry

Date: 18/09/2023

Please tick here to certify this Certificate. \*



## Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? \*

Yes  No  Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? \*

Yes  No  Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? \*

Yes  No  Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? \*

Yes  No  Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

Site Layout Plan or Block plan.

Elevations.

Floor plans.

Cross sections.

Roof plan.

Master Plan/Framework Plan.

Landscape plan.

Photographs and/or photomontages.

Other.

If Other, please specify: \* (Max 500 characters)

Provide copies of the following documents if applicable:

A copy of an Environmental Statement. *	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	N/A
A Design Statement or Design and Access Statement. *	<input checked="" type="checkbox"/>	Yes	<input type="checkbox"/>	N/A
A Flood Risk Assessment. *	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	N/A
A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). *	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	N/A
Drainage/SUDS layout. *	<input checked="" type="checkbox"/>	Yes	<input type="checkbox"/>	N/A
A Transport Assessment or Travel Plan	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	N/A
Contaminated Land Assessment. *	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	N/A
Habitat Survey. *	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	N/A
A Processing Agreement. *	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	N/A

Other Statements (please specify). (Max 500 characters)

Supporting Statement

## Declare – For Application to Planning Authority

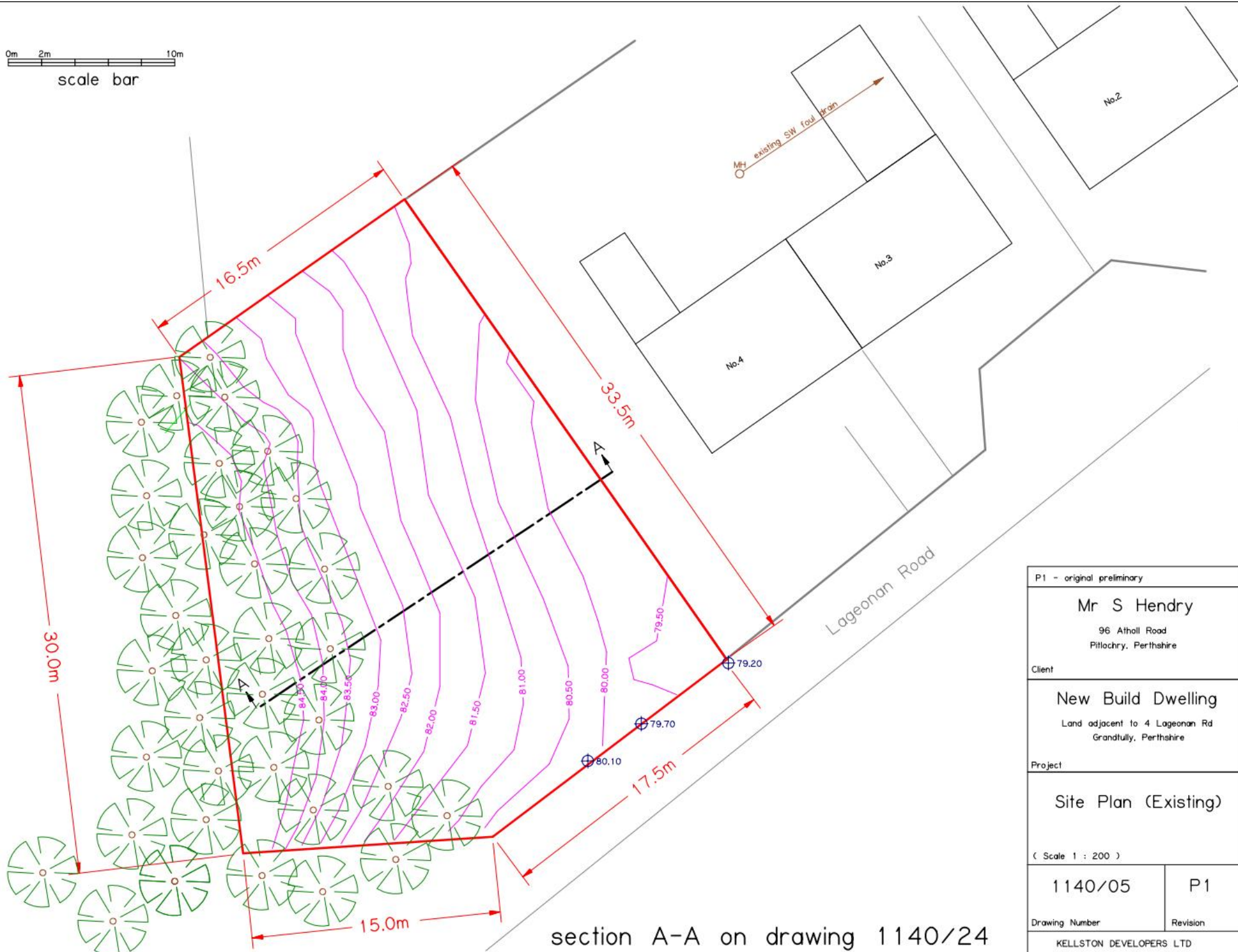
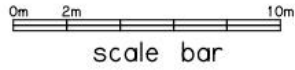
I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr David Johnston

Declaration Date: 18/09/2023

## Land 20m SW of 4 Lageonan Road Grandtully, Aberfeldy, PH15 2QY





P1 - original preliminary	
Mr S Hendry 96 Atholl Road Pitlochry, Perthshire	
Client	
New Build Dwelling Land adjacent to 4 Lageonan Rd Grandtully, Perthshire	
Project	
Site Plan (Existing)	
( Scale 1 : 200 )	
1140/05	P1
Drawing Number	Revision
KELLSTON DEVELOPERS LTD	

section A-A on drawing 1140/24

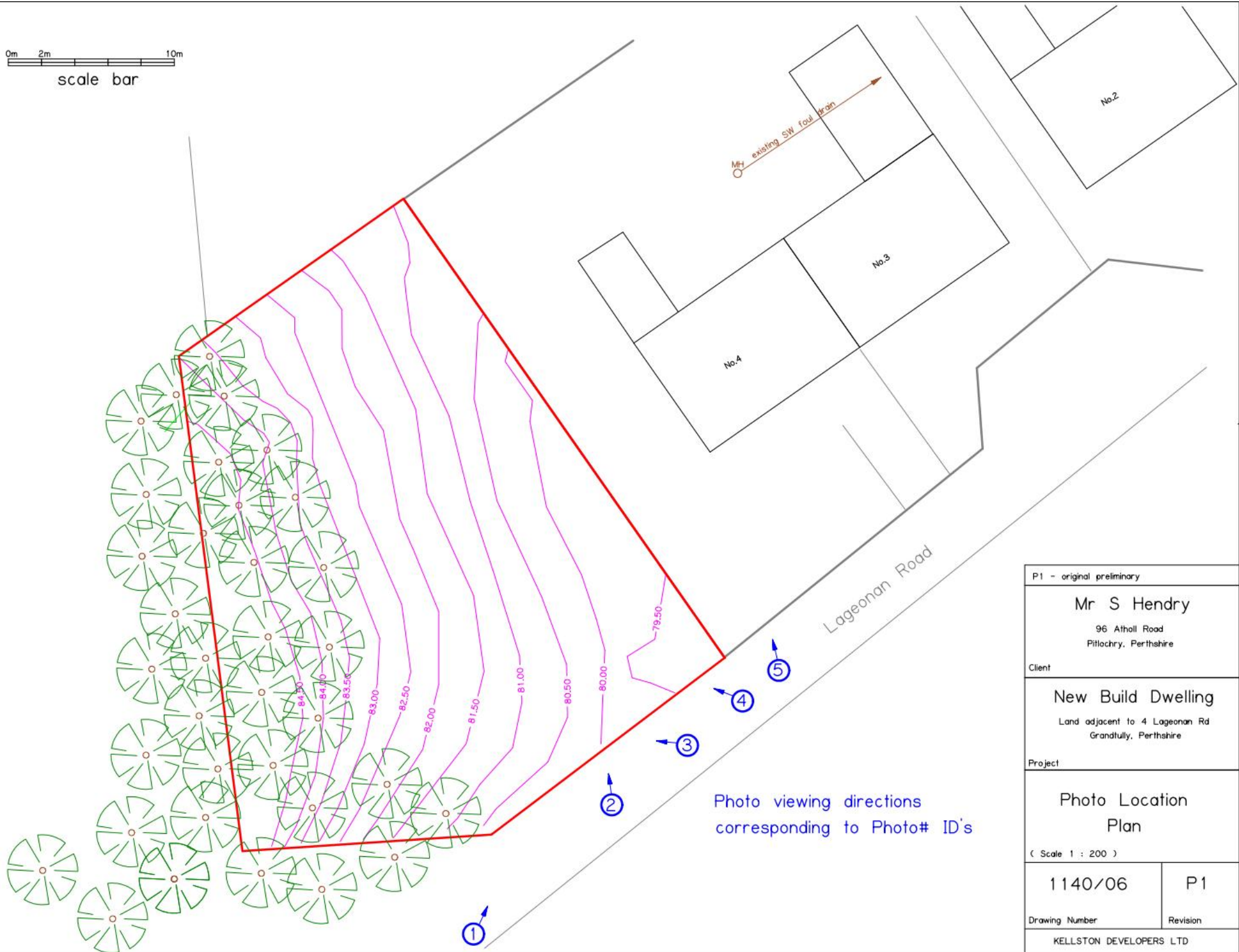


Photo viewing directions  
corresponding to Photo# ID's

P1 - original preliminary	
Mr S Hendry 96 Atholl Road Pitlochry, Perthshire	
Client	
New Build Dwelling Land adjacent to 4 Lagoonan Rd Grandtully, Perthshire	
Project	
Photo Location Plan ( Scale 1 : 200 )	
1140/06	P1
Drawing Number	Revision
KELLSTON DEVELOPERS LTD	



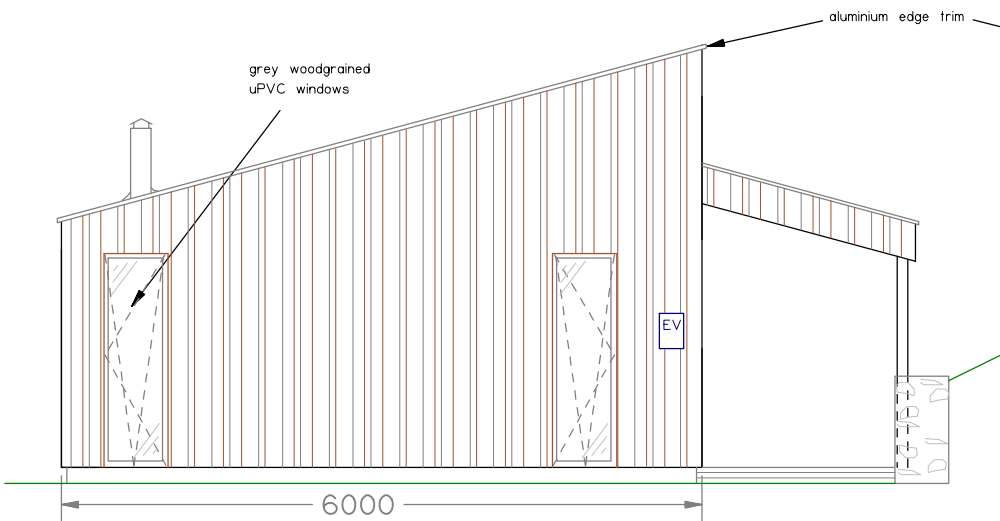








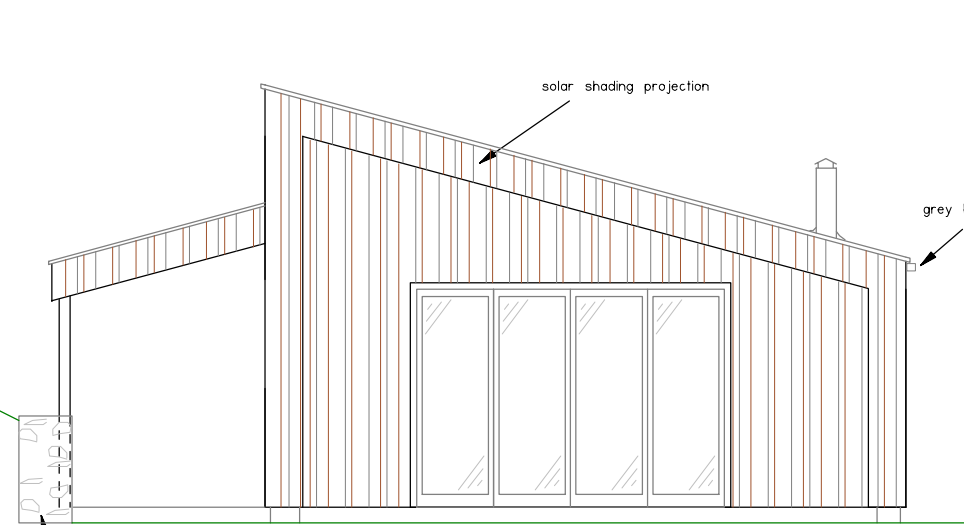




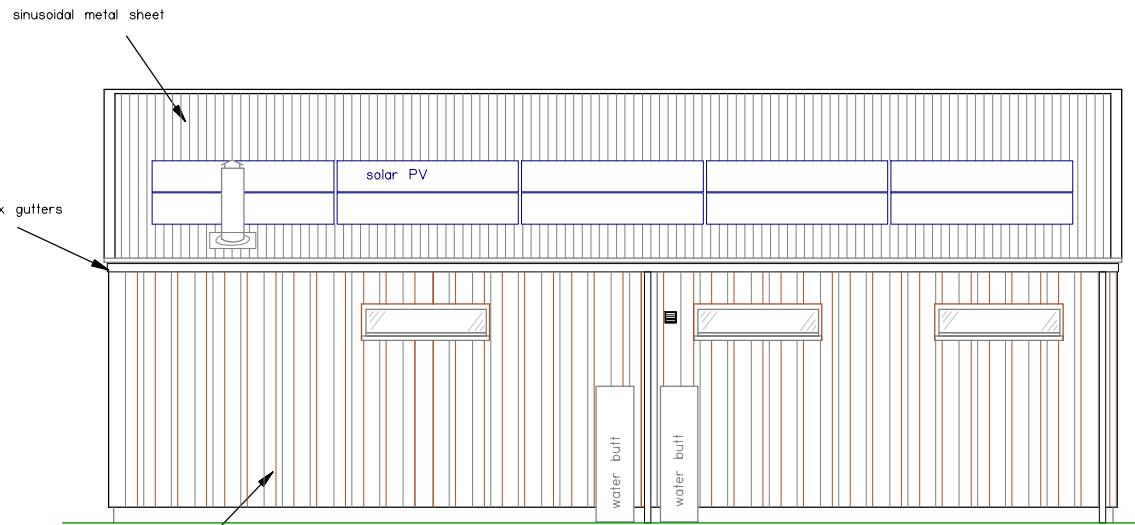
North Elevation (viewed towards road)



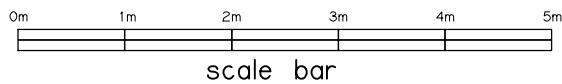
West Elevation (viewed towards no.4)



South Elevation (viewed from road)

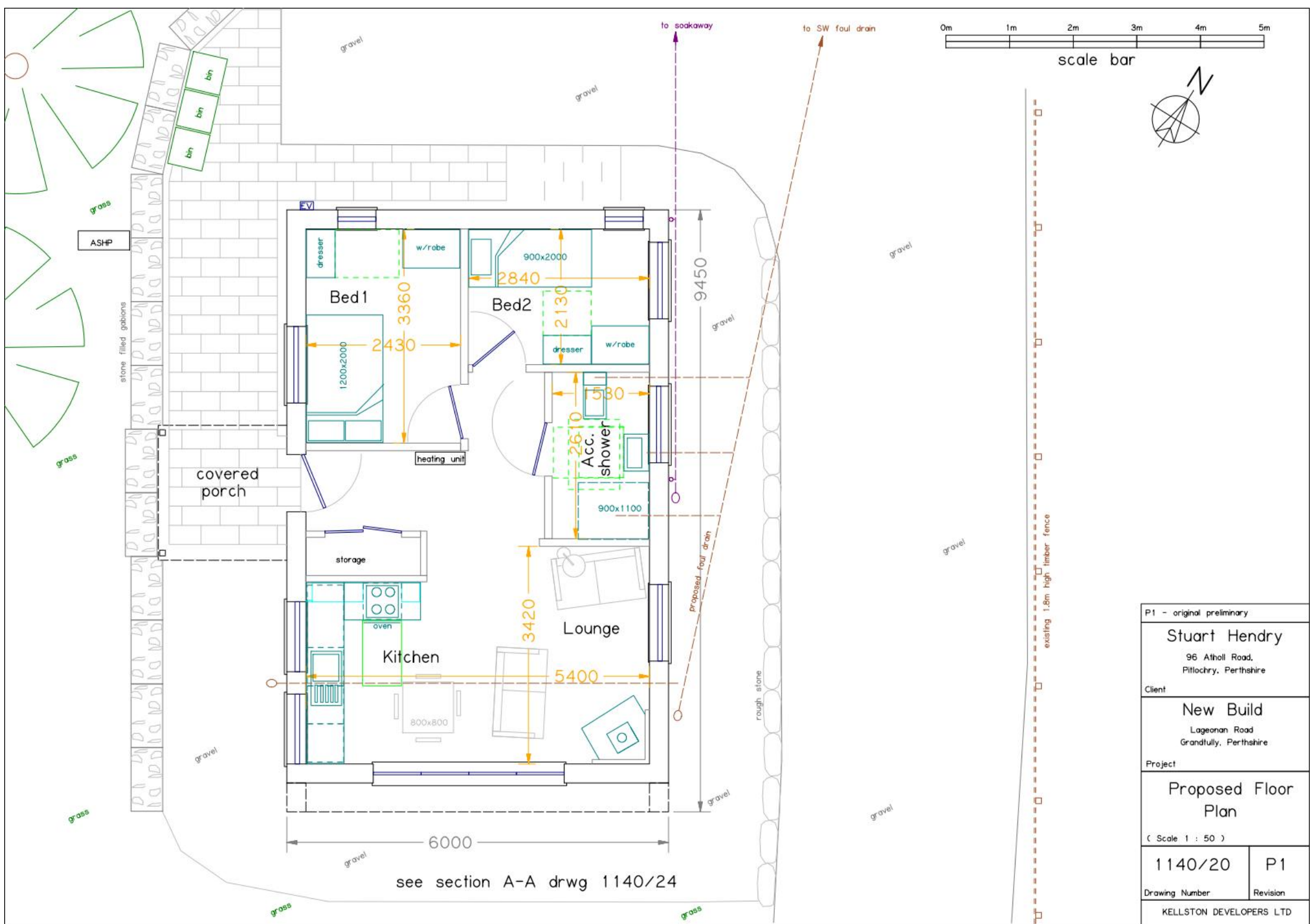


East Elevation (viewed from no.4)



P1 - original preliminary

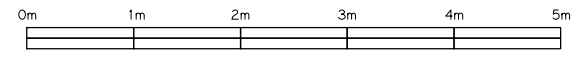
<p><b>Stuart Hendry</b> 96 Atholl Road, Pitlochry, Perthshire</p> <p>Client</p>	<p><b>New Build</b> Lageonan Road Grandtully, Perthshire</p> <p>Project</p>	<p><b>Proposed Elevations</b></p> <p>( Scale 1 : 50 )</p>	<p>1140/22</p> <p>Drawing Number</p>	<p>P1</p> <p>Revision</p>
			<p>KELLSTON DEVELOPERS LTD</p>	



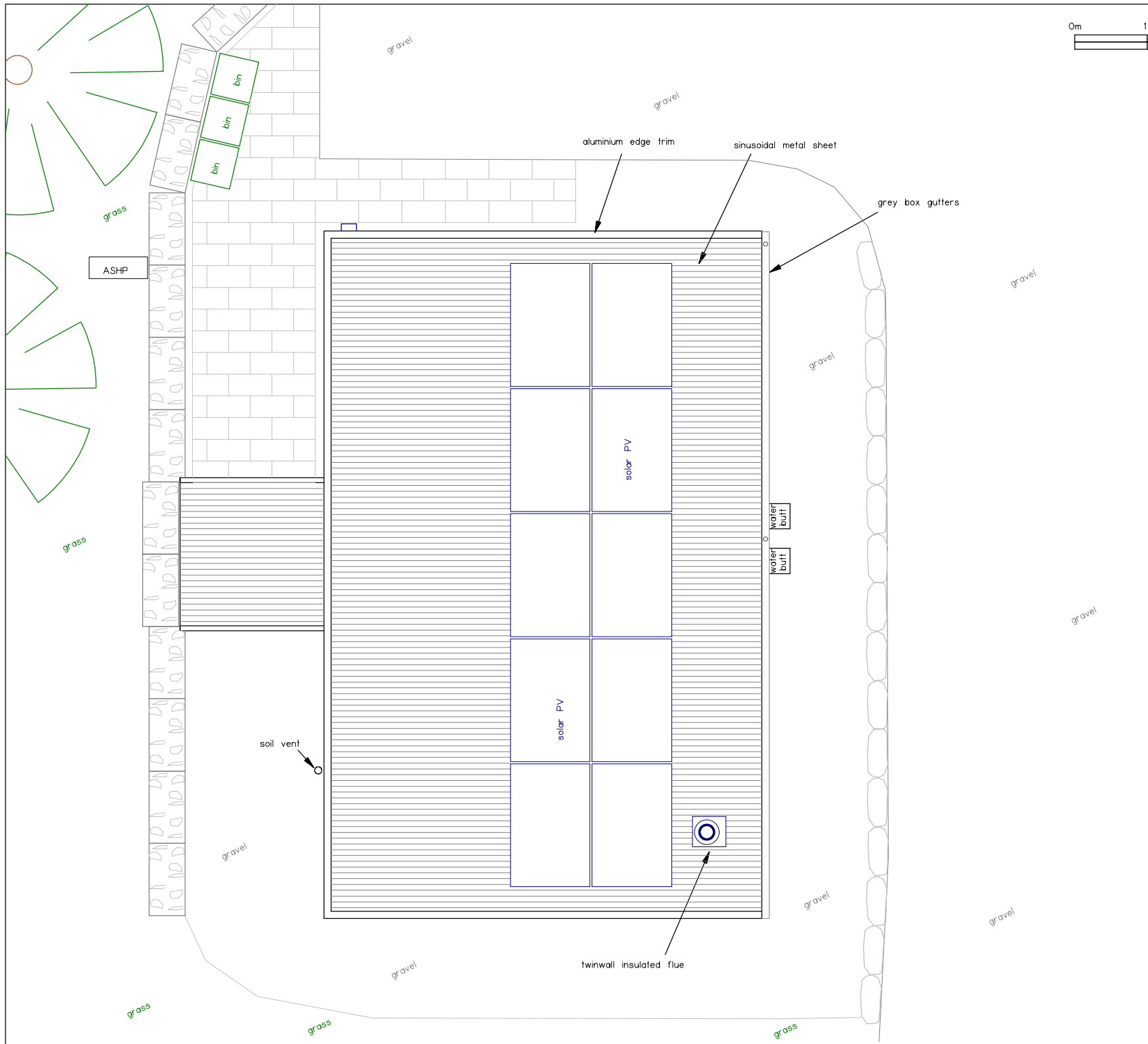
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see section A-A drwg 1140/24

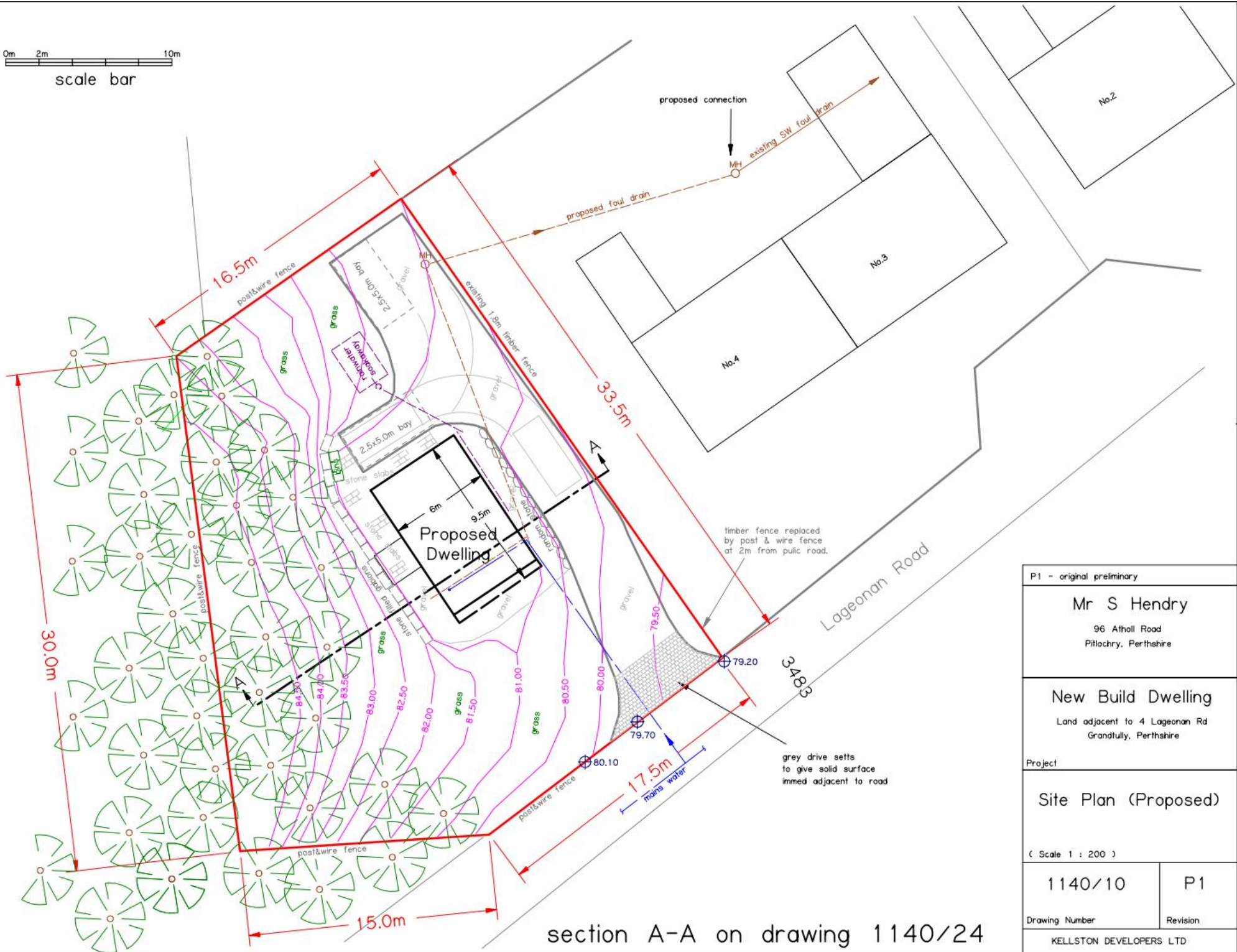
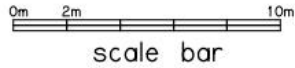
P1 - original preliminary	
<b>Stuart Hendry</b> 96 Atholl Road, Pitlochry, Perthshire	
Client	
<b>New Build</b> Lagoonan Road Grandtully, Perthshire	
Project	
<b>Proposed Floor Plan</b> ( Scale 1 : 50 )	
1140/20	P1
Drawing Number	Revision
KELLSTON DEVELOPERS LTD	



scale bar

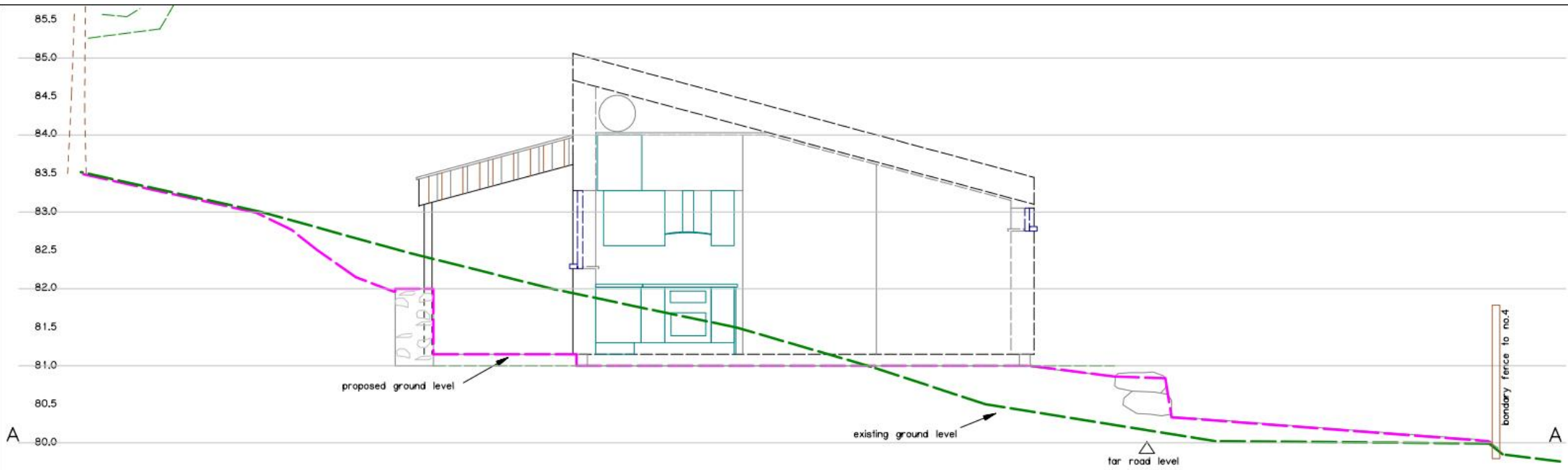


P1 - original preliminary	
<b>Stuart Hendry</b>	
96 Atholl Road, Pitlochry, Perthshire	
Client	
<b>New Build</b>	
Lageonan Road Grandtully, Perthshire	
Project	
<b>Proposed Roof Plan</b>	
( Scale 1 : 50 )	
<b>1140/25</b>	<b>P1</b>
Drawing Number	Revision
KELLSTON DEVELOPERS LTD	

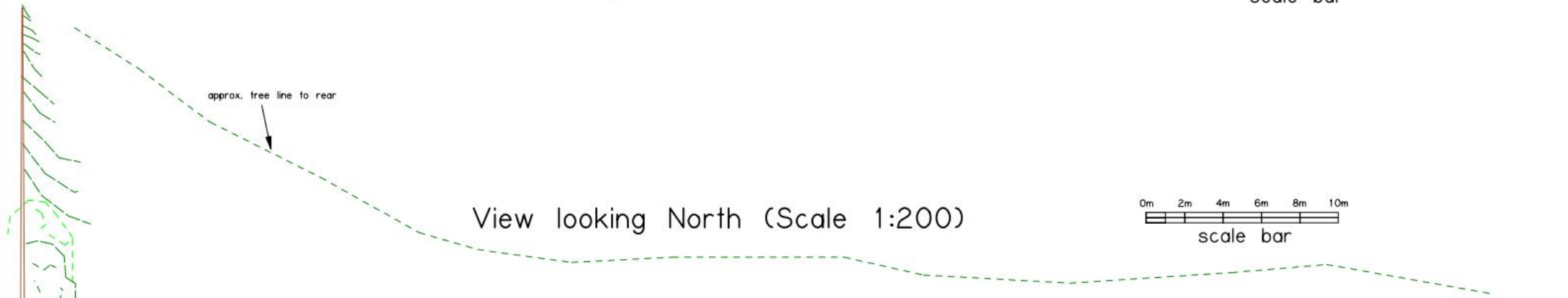
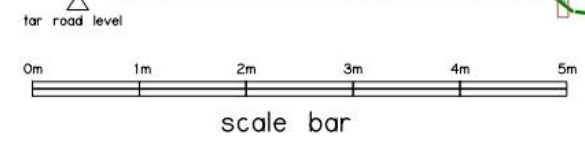


P1 - original preliminary	
Mr S Hendry 96 Atholl Road Pitlochry, Perthshire	
New Build Dwelling Land adjacent to 4 Lagoonan Rd Grandtully, Perthshire	
Project	
Site Plan (Proposed)	
( Scale 1 : 200 )	
1140/10	P1
Drawing Number	Revision
KELLSTON DEVELOPERS LTD	

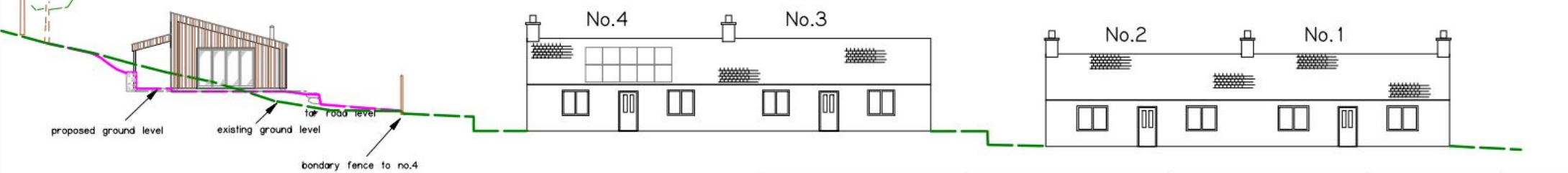
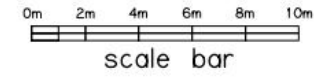
section A-A on drawing 1140/24



Plot Cross section A-A (scale 1:50)  
see drwg 1140/10 for section line



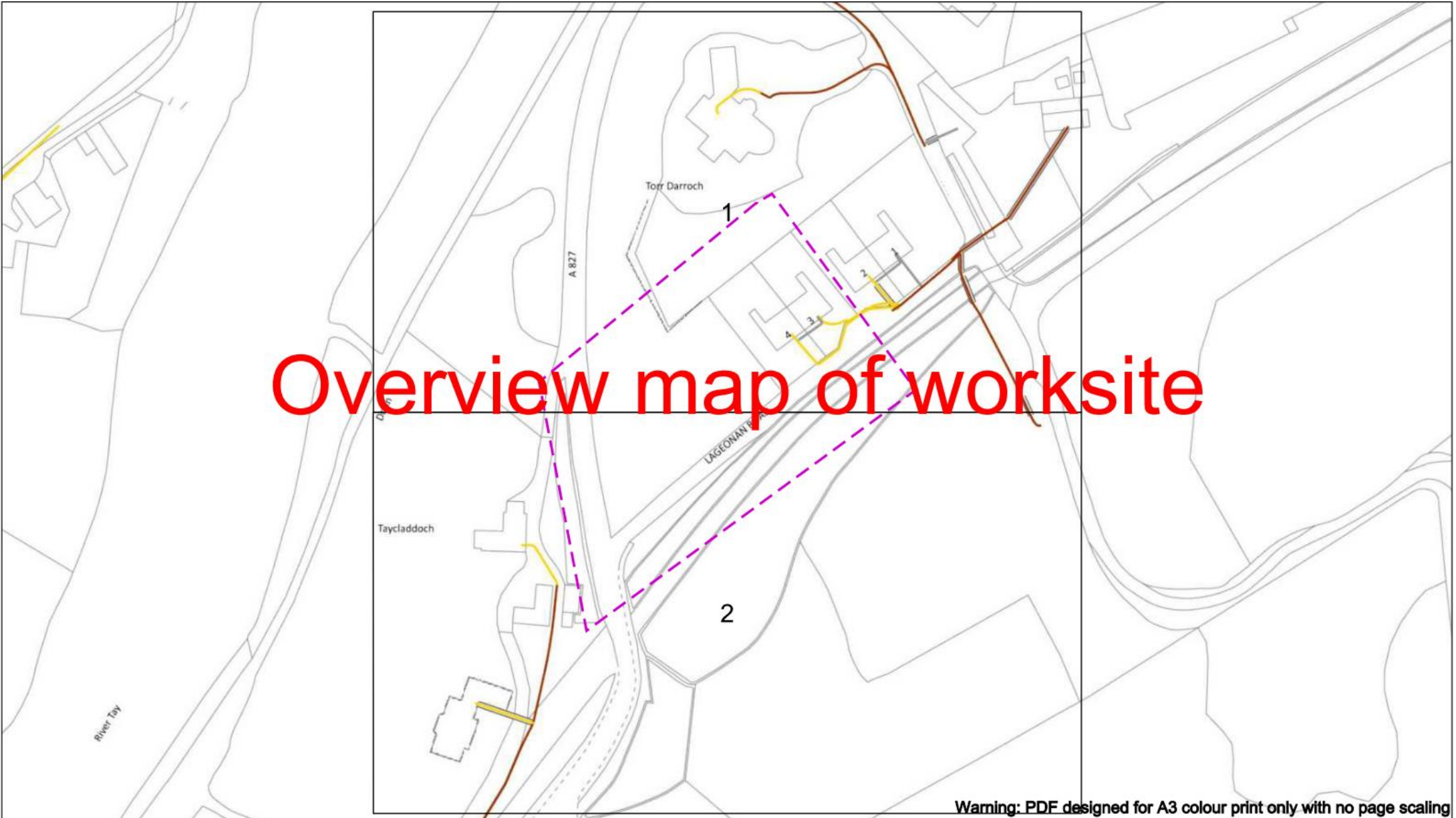
View looking North (Scale 1:200)



Stuart Hendry 96 Atholl Road, Pitlochry, Perthshire	New Build Lagoonan Road Grandtully, Perthshire	Proposed Sections (A-A & road view) ( Scale as noted )	1140/24	P1
			Drawing Number	Revision
Client		KELLSTON DEVELOPERS LTD		

P1 - original preliminary

# Overview map of worksite



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Dig Sites Area: Line:

Date Requested: 13/07/2023  
 Job Reference: 30152178  
 Site Location: 291221 752943  
 Requested by:  
 Mr Brian McMaster  
 Your Scheme/Reference:  
 NOC/KXGBQ066

Scale: 1:1025 (When plotted at A3)

### WARNING

There may have been subsequent alteration to the surface levels. Trial holes must be undertaken to determine position and depths of cables. HS (G) 47 Booklet from the Health and Safety Executive – Avoiding Danger from Buried Cables – should be consulted before commencing excavation work.

WHEN WORKING IN THE VICINITY OF OVERHEAD LINES THE HEALTH AND SAFETY GUIDANCE NOTES G56 SHOULD BE CONSULTED (AVAILABLE FROM THE HSE WEBSITE)

Voltages (V)	
LV (Low Voltage) and Services	Up to 1,000V
HV (High Voltage)	Over 1,000V to 11,000V
EHV (Extra High Voltage)	22,000V to 132,000V
Transmission	275,000V and 400,000V

NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
	Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend	
	Service Cable
	LV Mains
	6.6kV
	11kV
	20kV
	33kV
	66kV
	132kV
	275kV
	400kV
	High Voltage
	Pilot Cable

Distribution Structures (Electric)	
	Pole, Existing Location
	Pole Structure, Existing Location - Single
	Pole Structure, Existing Location - H
	Duct Route
	Cross Section Route



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 Registered in Scotland No. SC213460

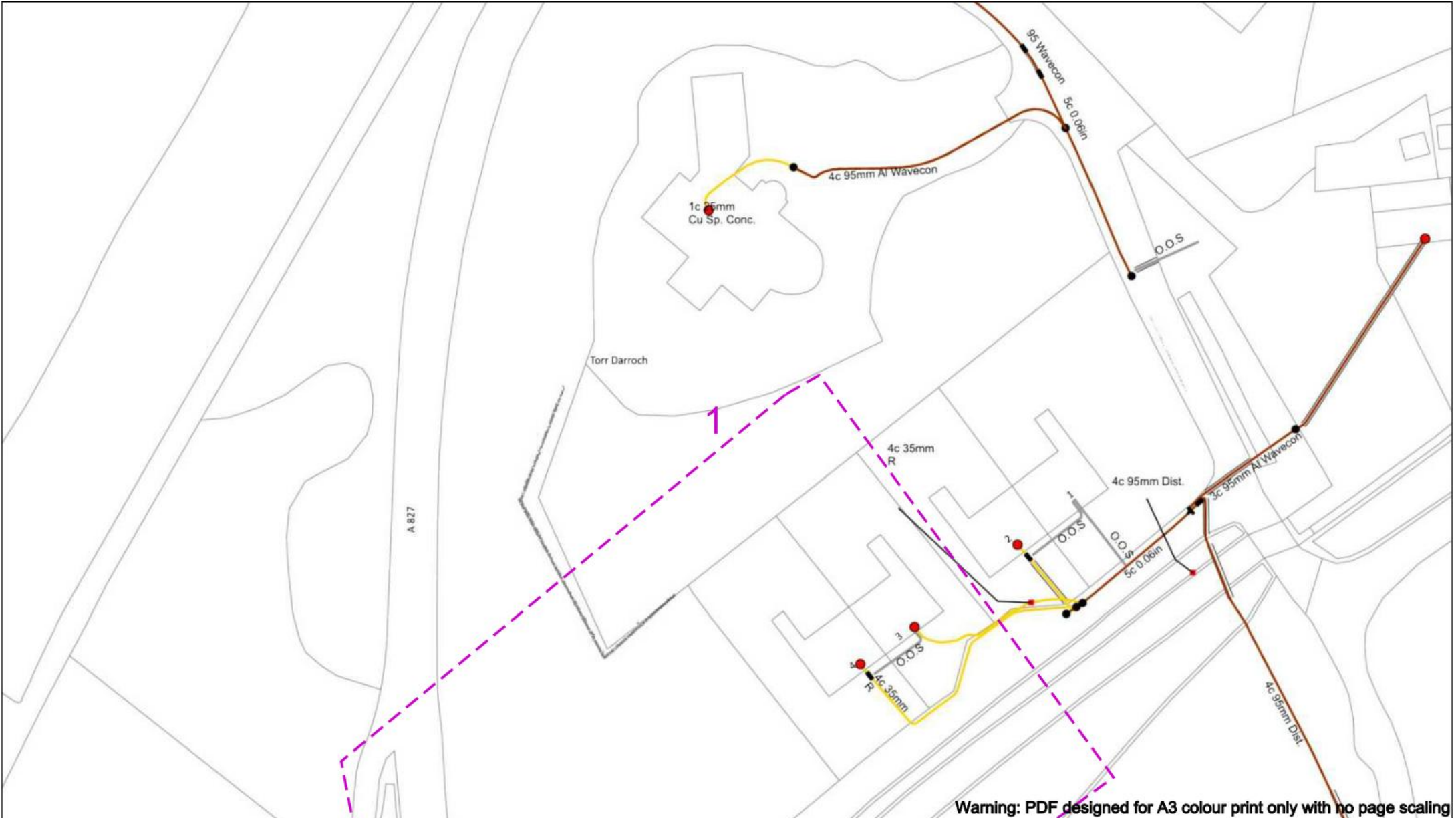
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 General Enquiries: 0800 048 3516

Subject to revision – Master held by SSEN Asset Data Team:  
[Asset.Data@sse.com](mailto:Asset.Data@sse.com)  
 01256 337 294

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Voltages (V)				
LV (Low Voltage) and Services	Up to 1,000V			
HV (High Voltage)	Over 1,000V to 11,000V			
EHV (Extra High Voltage)	22,000V to 132,000V			
Transmission	275,000V and 400,000V			

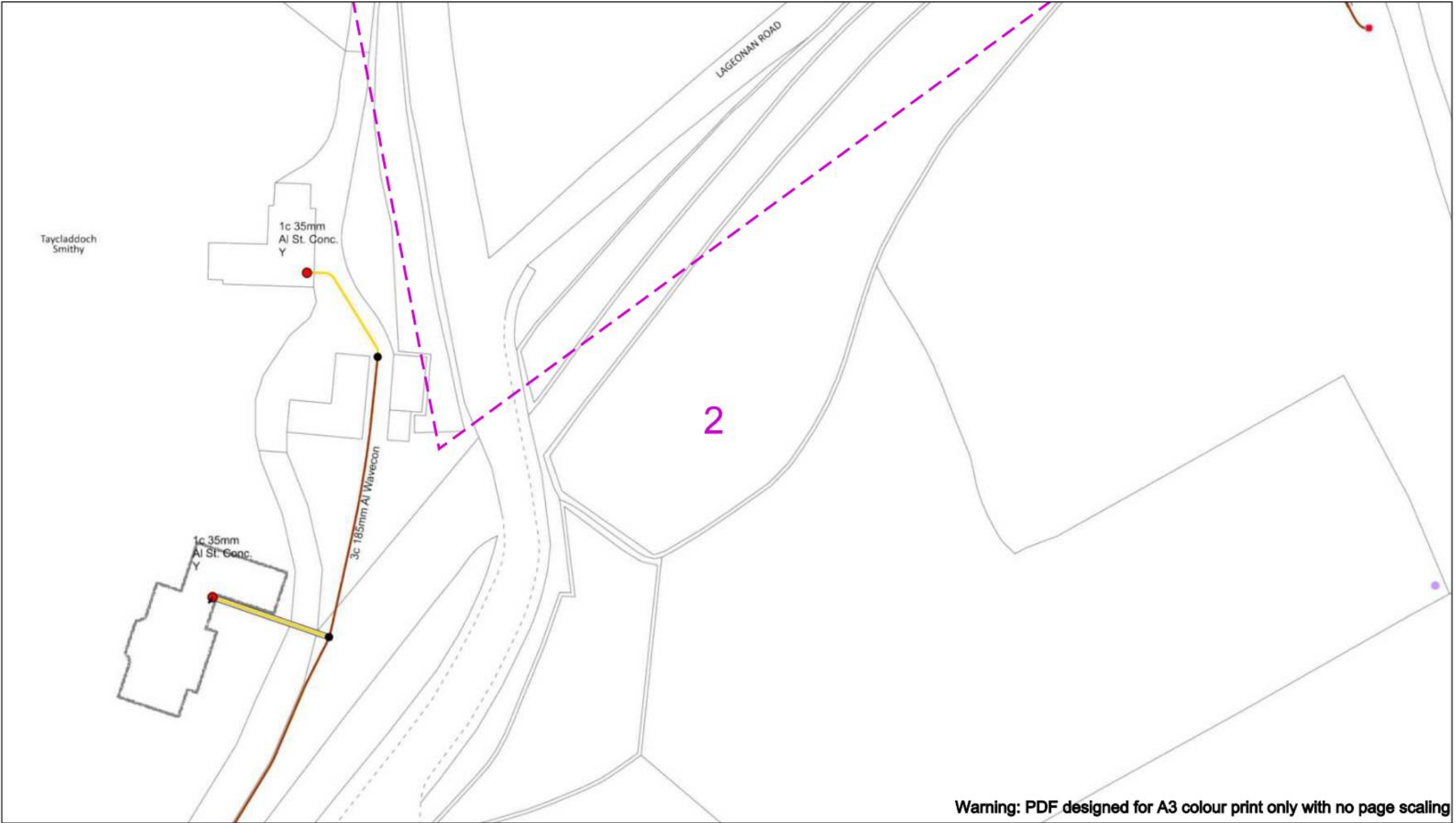
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
Services	LV	HV	EHV	
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

<p><b>Legend</b></p> <ul style="list-style-type: none"> <li> Service Cable</li> <li> LV Mains</li> <li> 6kV</li> <li> 11kV</li> <li> 20kV</li> <li> 33kV</li> <li> 66kV</li> <li> 132kV</li> <li> 275kV</li> <li> 400kV</li> <li> HV+EHV</li> <li> Pilot Cable</li> </ul>	<p><b>Distribution Structures (Electric)</b></p> <ul style="list-style-type: none"> <li> Pole, Existing Location</li> <li> Pole Structure, Existing Location - Single</li> <li> Pole Structure, Existing Location - H</li> <li> Duct Route</li> <li> Cross Section Route</li> </ul>
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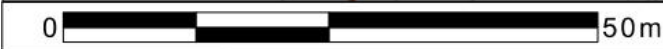
Scottish Hydro Electric Power Distribution plc  
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[Asset\\_Data@sse.com](mailto:Asset_Data@sse.com)  
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Dig Sites Area: [Dashed Purple Box] Line: [Dashed Purple Line]

Date Requested: 13/07/2023  
 Job Reference: 30152178  
 Site Location: 291221 752943  
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 NOC/KXGBQ066  
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Voltages (V)				
LV (Low Voltage) and Services	Up to 1,000V			
HV (High Voltage)	Over 1,000V to 11,000V			
EHV (Extra High Voltage)	22,000V to 132,000V			
Transmission	275,000V and 400,000V			

NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
Services	LV	HV	EHV	
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

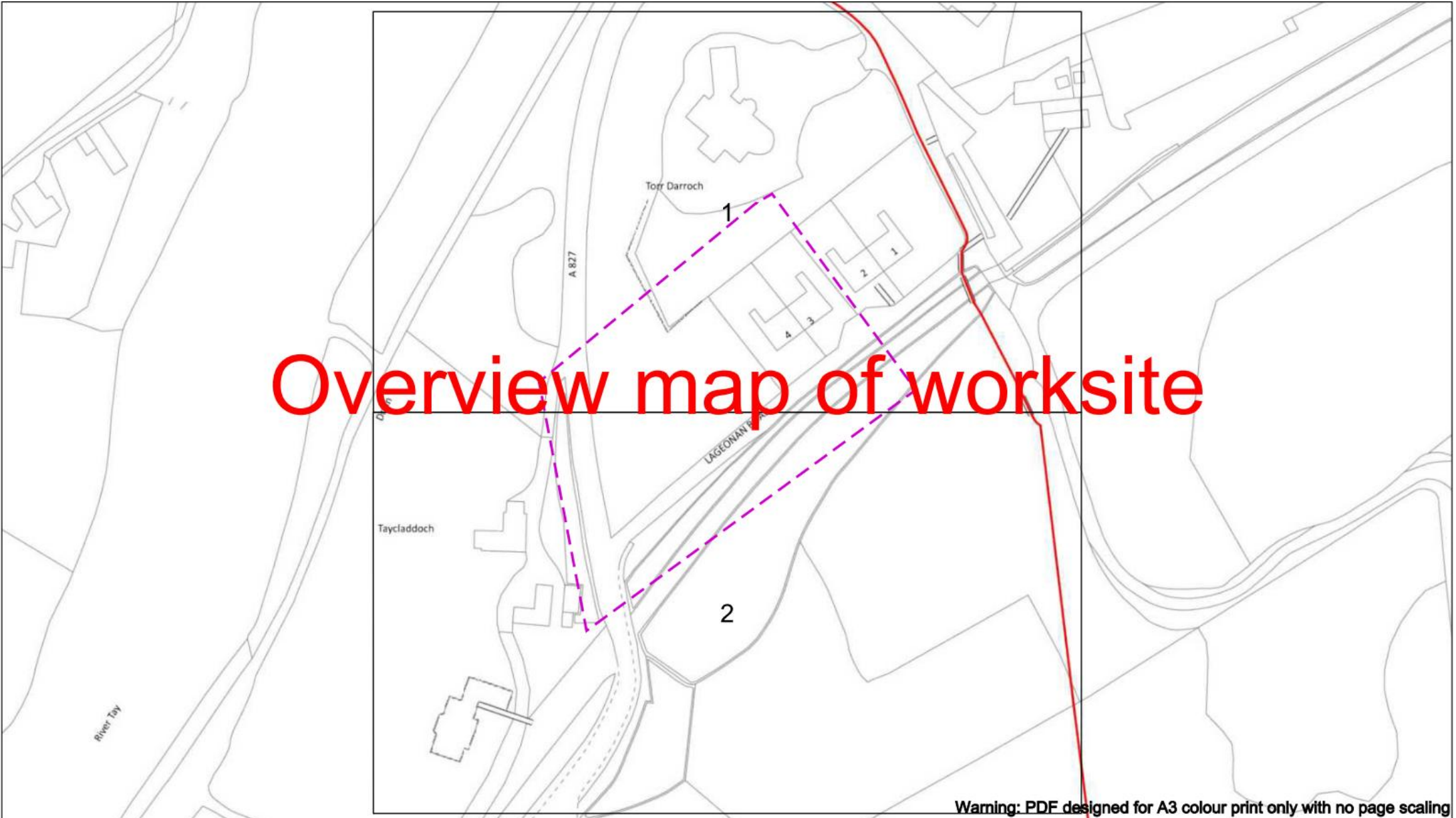
<p><b>Legend</b></p> <ul style="list-style-type: none"> <li><span style="color: yellow;">—</span> Service Cable</li> <li><span style="color: orange;">—</span> LV Mains</li> <li><span style="color: red;">—</span> 2 - 3kV</li> <li><span style="color: blue;">—</span> 6kV</li> <li><span style="color: green;">—</span> 11kV</li> <li><span style="color: purple;">—</span> 20kV</li> <li><span style="color: brown;">—</span> 33kV</li> <li><span style="color: cyan;">—</span> 66kV</li> <li><span style="color: magenta;">—</span> 132kV</li> <li><span style="color: black;">—</span> 275kV</li> <li><span style="color: grey;">—</span> 400kV</li> <li><span style="color: lightblue;">—</span> HV+EHV</li> <li><span style="color: lightgreen;">—</span> Pilot Cable</li> </ul>	<p><b>Distribution Structures (Electric)</b></p> <ul style="list-style-type: none"> <li><span style="color: purple;">●</span> PAB, Existing Location</li> <li><span style="color: blue;">●</span> Pole Structure, Existing Location - Single</li> <li><span style="color: red;">●</span> Pole Structure, Existing Location - H</li> <li><span style="color: black;">—</span> Duct Route</li> <li><span style="color: grey;">—</span> Cross Section Route</li> </ul>
--	---

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 Registered in Scotland No. SC213460

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# Overview map of worksite



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**WHEN WORKING IN THE VICINITY OF OVERHEAD LINES THE HEALTH AND SAFETY GUIDANCE NOTES G56 SHOULD BE CONSULTED (AVAILABLE FROM THE HSE WEBSITE)**

Voltages (V)	
LV (Low Voltage) and Services	Up to 1,000V
HV (High Voltage)	Over 1,000V to 11,000V
EHV (Extra High Voltage)	22,000V to 132,000V
Transmission	275,000V and 400,000V

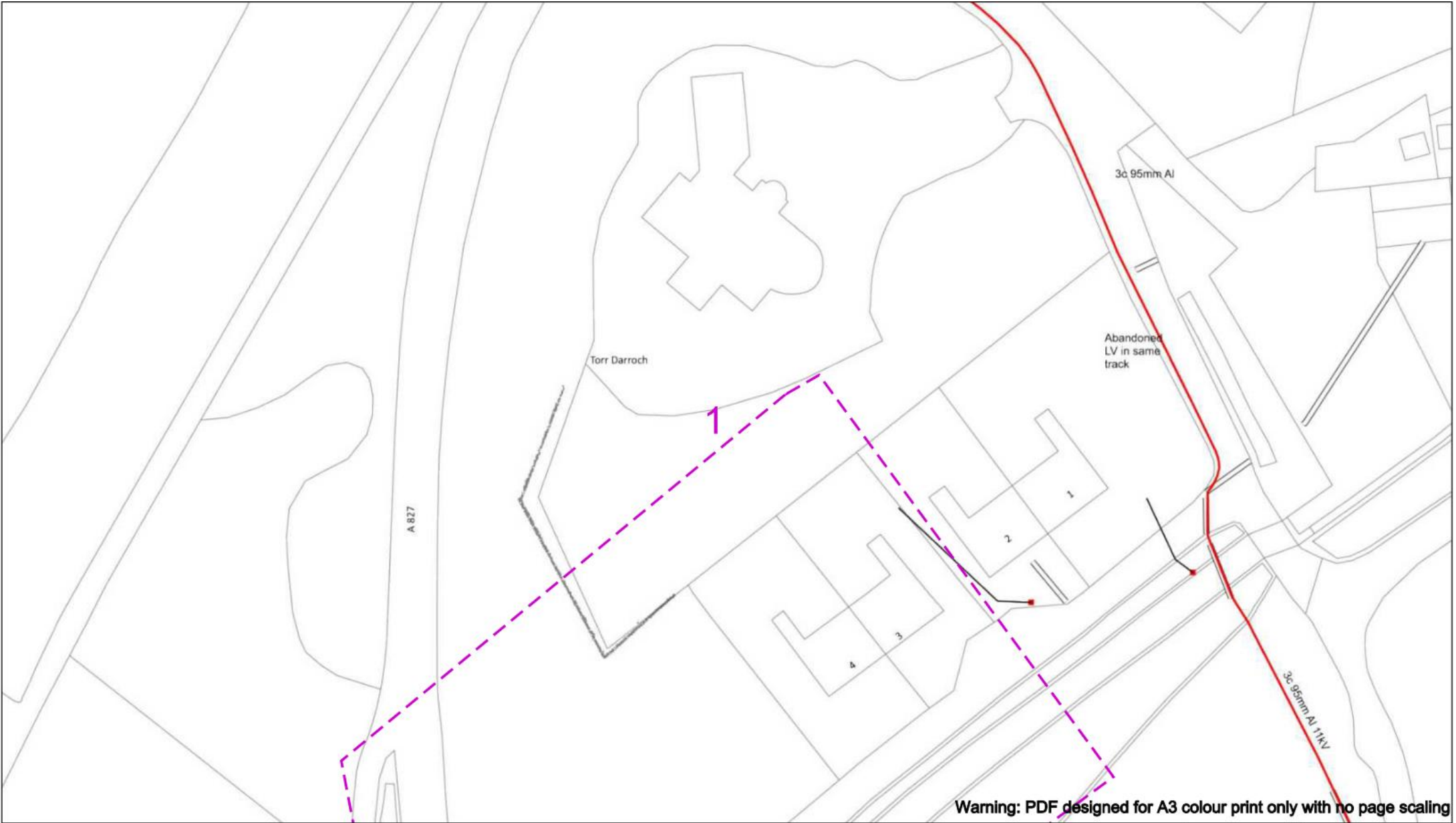
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
	LV	HV	EHV	
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

<p><b>Legend</b></p> <ul style="list-style-type: none"> <li> Service Cable</li> <li> LV Mains</li> <li> 6.6kV</li> <li> 11kV</li> <li> 20kV</li> <li> 33kV</li> <li> 66kV</li> <li> 132kV</li> <li> 275kV</li> <li> 400kV</li> <li> High Voltage</li> <li> Pilot Cable</li> </ul>	<p><b>Distribution Structures (Electric)</b></p> <ul style="list-style-type: none"> <li> PMS, Existing Location</li> <li> Pole Structure, Existing Location - Single</li> <li> Pole Structure, Existing Location - H</li> <li> Duct Route</li> <li> Cross Section Route</li> </ul>
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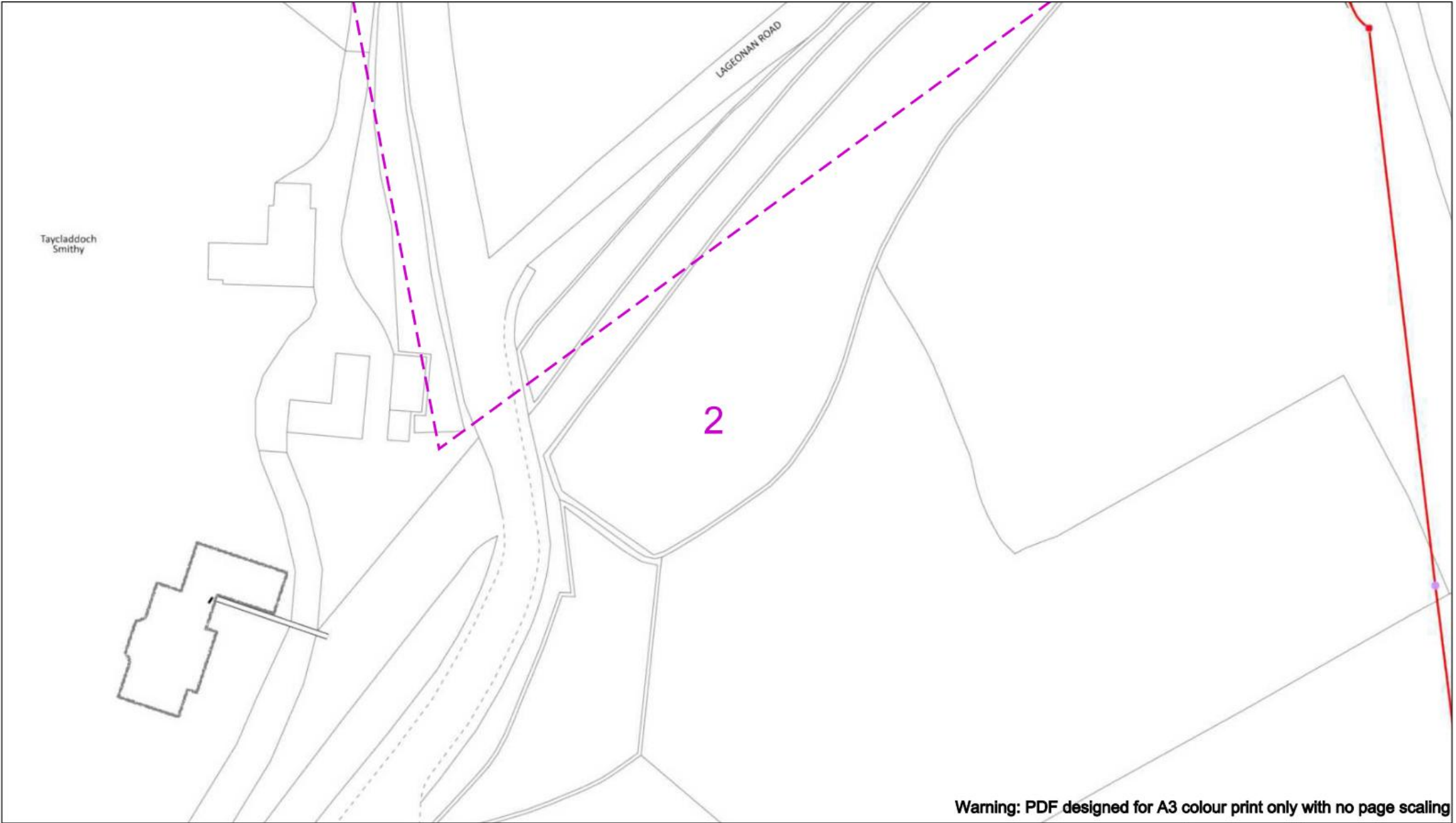
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
	Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend		Distribution Structures (Electric)	
	Service Cable		Pole, Existing Location
	LV Mains		Pole Structure, Existing Location - Single
	6.6kV		Pole Structure, Existing Location - HV
	11kV		Dig Route
	20kV		Cross Section Route
	33kV		
	66kV		
	132kV		
	275kV		
	400kV		
	HV+EHV		
	Pilot Cable		

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HV (High Voltage)	Over 1,000V to 11,000V			
EHV (Extra High Voltage)	22,000V to 132,000V			
Transmission	275,000V and 400,000V			

NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
Services	LV	HV	EHV	
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Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend		Distribution Structures (Electric)	
	Service Cable		Pole, Existing Location
	LV Mains		Pole Structure, Existing Location - Single
	6kV		Pole Structure, Existing Location - H
	11kV		Duct Route
	20kV		Cross Section Route
	33kV		
	66kV		
	132kV		
	275kV		
	400kV		
	High Voltage		
	Pilot Cable		

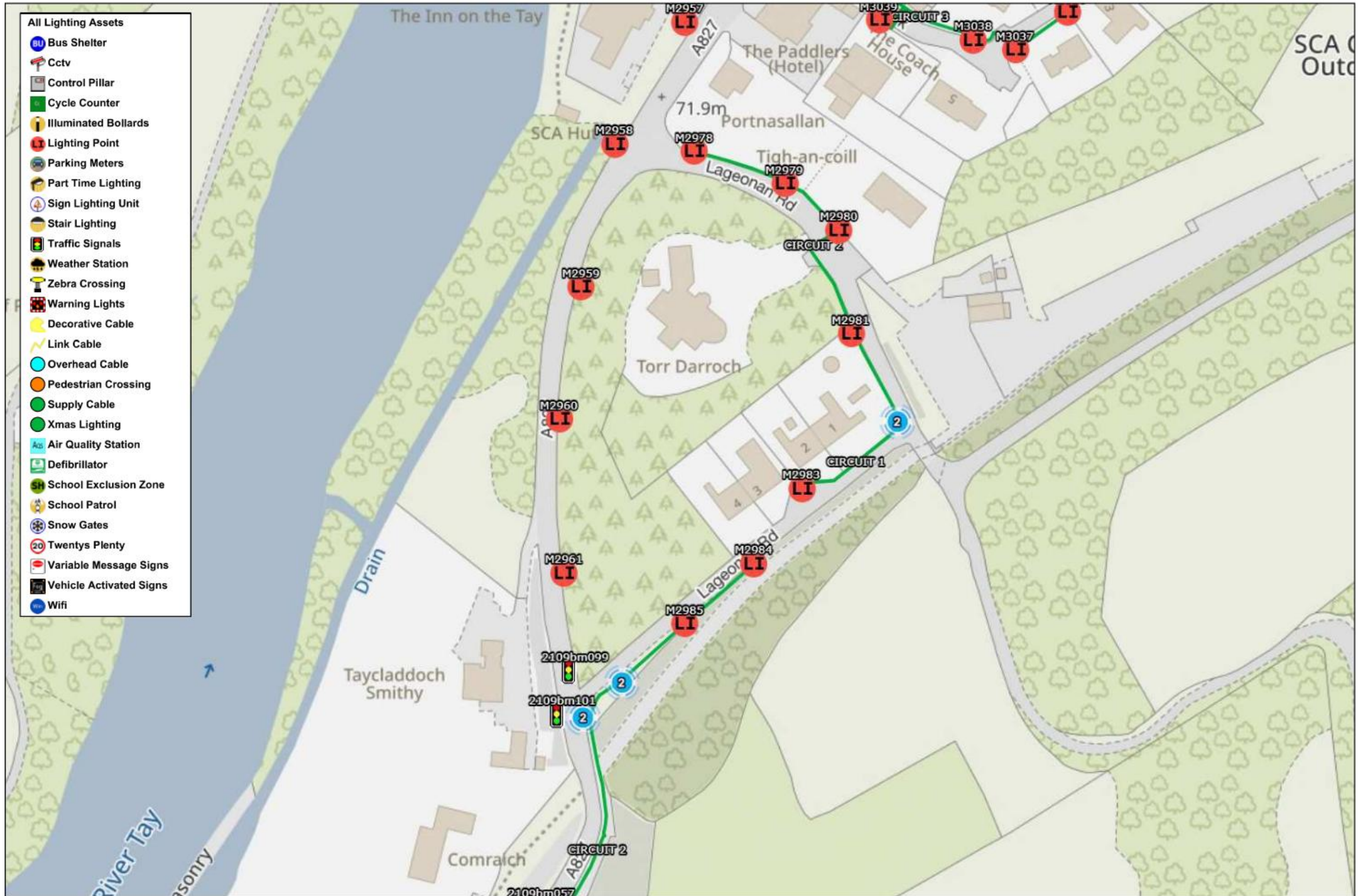
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# Grandtully



# Maps by email Plant Information Reply



## IMPORTANT WARNING

Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy. It should not be relied upon in the event of excavations or other works being made near to BT apparatus which may exist at various depths and may deviate from the marked route.



**openreach**

### CLICK BEFORE YOU DIG

FOR PROFESSIONAL FREE ON SITE ASSISTANCE PRIOR TO COMMENCEMENT OF EXCAVATION WORKS INCLUDING LOCATE AND MARKING SERVICE

email [cbyd@openreach.co.uk](mailto:cbyd@openreach.co.uk)

ADVANCE NOTICE REQUIRED  
(Office hours: Monday - Friday 08.00 to 17.00)  
[www.openreach.co.uk/cbyd](http://www.openreach.co.uk/cbyd)

### Accidents happen

If you do damage any Openreach equipment please let us know by calling 0800 023 2023 (opt 1 + opt 1) and we can get it fixed ASAP

## KEY TO BT SYMBOLS

			Change Of State	+	Hatchings	
	<i>Planned</i>	<i>Live</i>	Split Coupling	×	Built	
PCP			Duct Tee	▲	Planned	
Pole			Building		Inferred	
Box			Kiosk		Duct	
Manhole			Other proposed plant is shown using dashed lines. BT Symbols not listed above may be disregarded. Existing BT Plant may not be recorded. Information valid at time of preparation. Maps are only valid for 90 days after the date of publication.			
Cabinet						
	<i>Pending Add</i>	<i>In Place</i>	<i>Pending Remove</i>	<i>Not In Use</i>		
Power Cable						
Power Duct				N/A		

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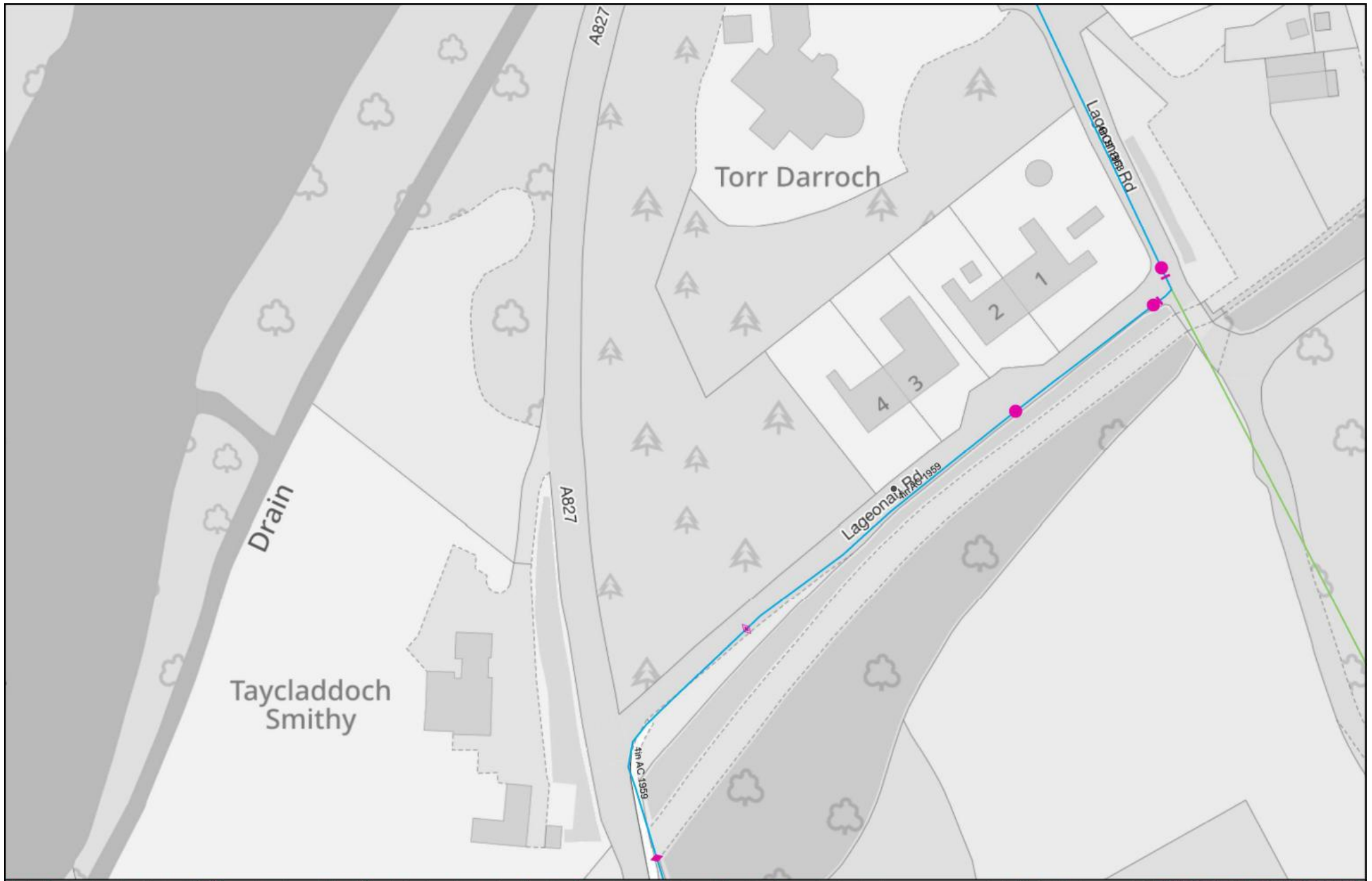
BT Ref : XHL09318Y

Map Reference : (centre) NN9122152943

Easting/Northing : (centre) 291221,752943

Issued : 13/07/2023 09:31:24

**WARNING: IF PLANNED WORKS FALL INSIDE HATCHED AREA IT IS ESSENTIAL BEFORE PROCEEDING THAT YOU CONTACT THE NATIONAL NOTICE HANDLING CENTRE. PLEASE SEND E-MAIL TO: [nnhc@openreach.co.uk](mailto:nnhc@openreach.co.uk)**



Warning! Damaging a large diameter trunk main (12"/300mm and above) can result in loss of life and major water supply and water quality problems. If you're planning any extension work in the vicinity of any large diameter mains shown on our maps, you must contact Scottish Water to arrange a site visit 08000 778 778 WELL IN ADVANCE OF THE WORKS

Plotted By: brian.momaster@national-one-call.co.uk

The representation of physical assets and the boundaries of areas in which Scottish Water and others have an interest does not necessarily imply their true positions. For further details contact the appropriate District office.

### NOC-KXGBQ066 - Water Plan

Date: 13/07/2023



SCALE: 1:661

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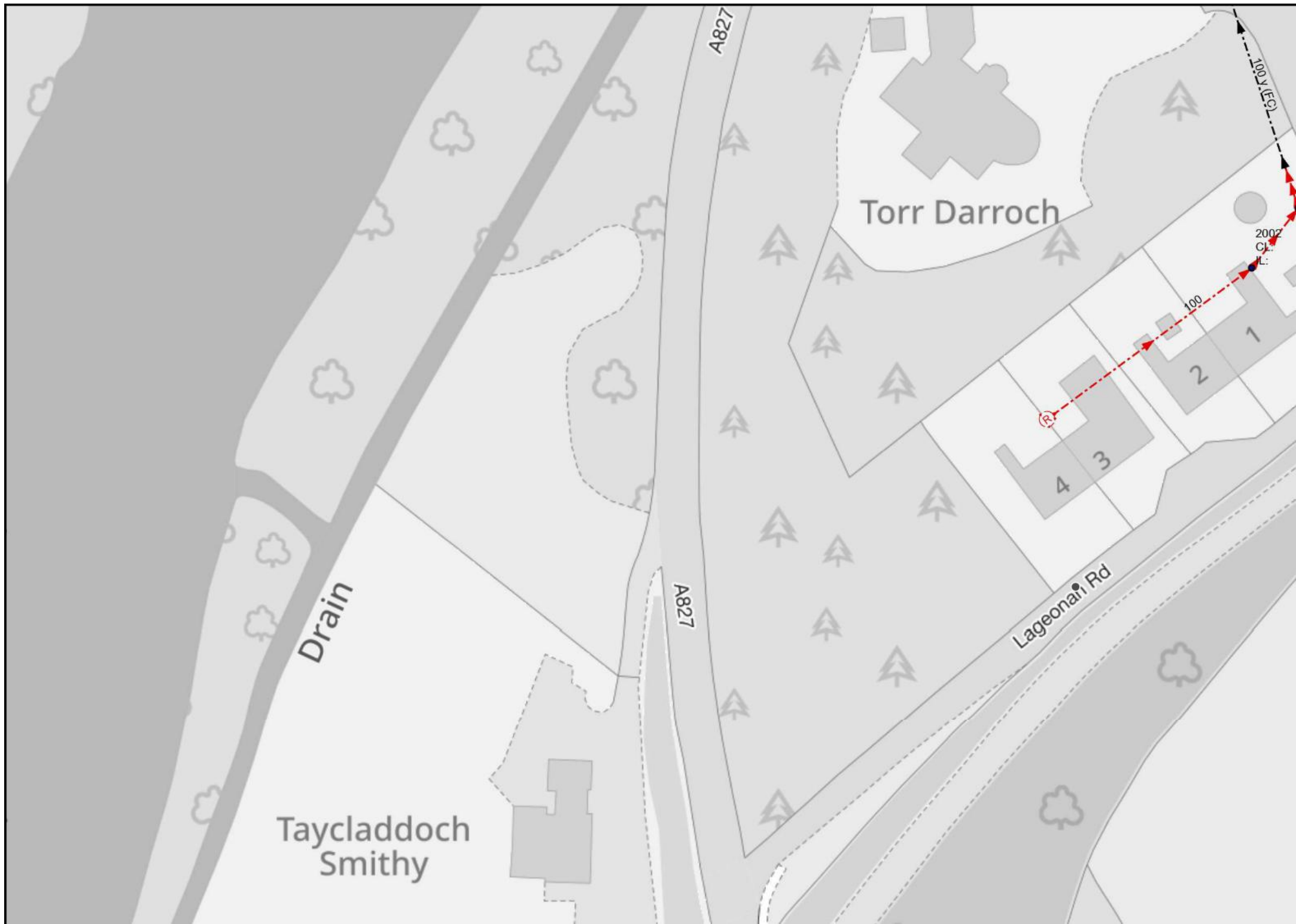


The Bridge  
 6 Buchanan Gate  
 Glasgow  
 G3 7PB

Tel No: 08000 778 778







Torr Darroch

Taycladdoch  
Smithy

Drain

A827

A827

Lageonai Rd

100

100

2002  
C.L.  
L.

100 Y (E.C.)

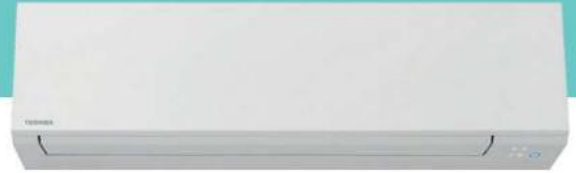
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3

2

1

RAS-J2KVSG-E  
**SHORAI EDGE**



SHORAI Edge, a fresh take on design and performance, benefits from Toshiba's latest innovative inverter and compressor technology. It is designed to deliver high performance, making everyday comfort a reality for all. SHORAI Edge offers energy efficient A+++ cooling and heating performances, with R32 refrigerant. Compatible with Monosplit & Multisplit outdoor units (B-codes).

**High energy class A+++ / A+++**

- Heating and cooling modes ensure exceptional energy savings and unparalleled comfort levels.

**Absolute silent operation**

- SHORAI Edge's Silent function halves the sound level of the outdoor unit, while its Quiet function reduces noise from the indoor unit for a good night's sleep.

**Indoor Air Quality**

- The new Toshiba Ultra Pure Filter captures up to 94% of PM2.5 (particulate matters coming from atmospheric pollution), creating healthy living spaces at home.
- SHORAI Edge is equipped with the Magic Coil® which helps prevent water and dust from sticking to the coil. When the air conditioning is switched off to drain the contaminated coil, the fan continues to operate to keep the coil clean and dry whilst preserving the air conditioning high energy efficiency.

**User friendly wireless remote control with weekly timer**

- HADA-CARE to set louver position to generate indirect air flow for better air distribution to homogenize room temperature.
- Quiet mode for Comfort Sleep operating indoor at the lowest noise level
- Silent CDU is Toshiba's unique noise reduction function of outdoor unit for neighborhood comfort.
- Hi Power capacity booster to reach comfort set point very fast.
- OFF timer provides a very convenient automatic programmable stop function.
- On-demand Defrost for manual defrost at any time in extreme conditions.

MAX EFFICIENCY



SEER 8.6  
SCOP 5.1

CAPACITY



2.0kW > 8.0kW

OPERATION



-15°C > +46°C

> **Modern edge design** with discreet dimming lights

> **100% Toshiba quality with DC rotary inverter compressor**

> **Wi-Fi control ready** with **Toshiba Home AC Control** adaptor inside FCU

> **Silent modes** with indoor unit Quiet mode & Silent outdoor unit function



**INDOOR UNITS**

RAS-B07J2KVSG-E RAS-18J2KVSG-E  
RAS-B10J2KVSG-E RAS-B22J2KVSG-E  
RAS-B13J2KVSG-E RAS-B24J2KVSG-E  
RAS-B16J2KVSG-E



**OUTDOOR UNITS**

RAS-07J2AVSG-E RAS-18J2AVSG-E  
RAS-10J2AVSG-E1 RAS-22J2AVSG-E  
RAS-13J2AVSG-E1 RAS-24J2AVSG-E  
RAS-16J2AVSG-E1



**REMOTE CONTROLS**

Delivered with the unit

### SHORAI EDGE R32 Performance data

Outdoor unit		RAS-07J2AVSG-E	RAS-10J2AVSG-E1	RAS-13J2AVSG-E1	RAS-16J2AVSG-E1	RAS-18J2AVSG-E	RAS-22J2AVSG-E	RAS-24J2AVSG-E
Indoor unit		RAS-B07J2KVSG-E	RAS-B10J2KVSG-E	RAS-B13J2KVSG-E	RAS-B16J2KVSG-E	RAS-18J2KVSG-E	RAS-B22J2KVSG-E	RAS-B24J2KVSG-E
<b>Cooling capacity</b>	<b>kW</b>	<b>2.0</b>	<b>2.5</b>	<b>3.5</b>	<b>4.6</b>	<b>5.0</b>	<b>6.1</b>	<b>7.0</b>
Cooling range (min. - max.)	kW	(0.89 - 2.90)	(0.89 - 3.20)	(1.00 - 4.10)	(1.20 - 5.30)	(1.20 - 6.00)	(1.39 - 6.70)	(1.70 - 7.70)
Power input (min. - rated - max.)	kW C	(0.19 - 0.39 - 0.67)	(0.19 - 0.54 - 0.79)	(0.25 - 0.90 - 1.12)	(0.34 - 1.35 - 1.72)	(0.35 - 1.42 - 2.00)	(0.36 - 1.99 - 2.20)	(0.38 - 2.25 - 2.55)
Pdesignc	kW	2.0	2.5	3.5	4.6	5.0	6.1	7.0
EER	W/W	5.13	4.63	3.89	3.41	3.52	3.07	3.11
SEER		8.5	8.6	8.6	7.8	7.8	7.3	6.3
Energy efficiency class	C	A+++	A+++	A+++	A++	A++	A++	A++
Seasonal electricity consumption kWh/a	C	82	102	142	206	224	292	389
<b>Heating capacity</b>	<b>kW</b>	<b>2.5</b>	<b>3.2</b>	<b>4.2</b>	<b>5.5</b>	<b>6.0</b>	<b>7.0</b>	<b>8.0</b>
Heating range (min. - max.)	kW	(0.90 - 3.60)	(0.90 - 4.80)	(1.00 - 5.30)	(1.10 - 6.50)	(1.10 - 6.50)	(1.15 - 7.50)	(1.70 - 8.80)
Power input (min. - rated - max.)	kW H	(0.16 - 0.50 - 0.80)	(0.16 - 0.70 - 1.23)	(0.20 - 1.08 - 1.55)	(0.24 - 1.52 - 1.90)	(0.25 - 1.59 - 1.75)	(0.26 - 1.88 - 2.10)	(0.29 - 2.35 - 2.75)
Pdesignh	kW	2.3	2.5	3.2	4.00	4.3	4.7	6.3
COP	W/W	5.00	4.57	3.89	3.62	3.77	3.72	3.40
SCOP		5.1	5.1	5.1	4.6	4.6	4.6	4.1
Energy efficiency class	H	A+++	A+++	A+++	A++	A++	A++	A+
Seasonal electricity consumption kWh/a	H	631	686	878	1217	1309	1430	2149

### SHORAI EDGE R32 Physical data indoor

Indoor unit		RAS-B07J2KVSG-E	RAS-B10J2KVSG-E	RAS-B13J2KVSG-E	RAS-B16J2KVSG-E	RAS-18J2KVSG-E	RAS-B22J2KVSG-E	RAS-B24J2KVSG-E
Air Flow (h)	m³/h - l/s C	660 - 183	660 - 183	732 - 203	750 - 208	990 - 274	1032 - 286	1122 - 311
Air Flow (l)	m³/h - l/s C	312 - 86	312 - 86	342 - 95	360 - 100	570 - 158	690 - 191	720 - 199
Sound pressure level (h/a)	dB(A) C	40/19	40/19	43/19	44/21	44/26	45/27	47/28
Sound power level (h)	dB(A) C	53	53	56	57	57	58	60
Air Flow (h)	m³/h - l/s H	660 - 183	660 - 183	732 - 203	768 - 213	990 - 274	1080 - 299	1140 - 316
Air Flow (l)	m³/h - l/s H	312 - 86	312 - 86	342 - 95	360 - 100	570 - 158	690 - 191	750 - 208
Sound pressure level (h/a)	dB(A) H	40/19	40/19	43/19	44/22	44/26	46/27	48/28
Sound power level (h)	dB(A) H	53	53	56	57	57	59	61
Dimensions (h x w x d)	mm	293 x 800 x 226	293 x 800 x 226	293 x 800 x 226	293 x 800 x 226	320 x 1053 x 245	320 x 1053 x 245	320 x 1053 x 245
Weight	kg	10	10	10	10	14	14	14
Remote controller		WH-TA15PE	WH-TA15PE	WH-TA15PE	WH-TA15PE	WH-TA12PE	WH-TA12PE	WH-TA12PE

### SHORAI EDGE R32 Physical data outdoor

Outdoor unit		RAS-07J2AVSG-E	RAS-10J2AVSG-E1	RAS-13J2AVSG-E1	RAS-16J2AVSG-E1	RAS-18J2AVSG-E	RAS-22J2AVSG-E	RAS-24J2AVSG-E
Air Flow (max)	m³/h - l/s C	1890 - 524	1890 - 524	1950 - 540	2040 - 566	2076 - 576	2184 - 607	2916 - 810
Sound pressure level (h)	dB(A) C	44	44	46	48	48	49	50
Sound pressure level (Silent CDU#2)	dB(A) C	36	37	39	40	42	43	43
Sound power level (h)	dB(A) C	57	57	59	61	61	62	63
Sound power level (Silent CDU#2)	dB(A) C	49	50	52	53	55	56	56
Operating range	°C C	-15 ~ 46	-15 ~ 46	-15 ~ 46	-15 ~ 46	-15 ~ 46	-15 ~ 46	-15 ~ 46
Air Flow (max)	m³/h - l/s H	1890 - 524	1890 - 524	1950 - 540	2040 - 566	2076 - 576	2184 - 607	2916 - 810
Sound pressure level (h)	dB(A) H	46	46	48	50	50	51	52
Sound pressure level (Silent CDU#2)	dB(A) H	38	39	43	43	44	46	46
Sound power level (h)	dB(A) H	59	59	61	63	63	64	65
Sound power level (Silent CDU#2)	dB(A) H	51	52	56	56	57	59	59
Operating range	°C H	-15 ~ 24	-15 ~ 24	-15 ~ 24	-15 ~ 24	-15 ~ 24	-15 ~ 24	-15 ~ 24
Dimensions (h x w x d)	mm	550 x 780 x 290	550 x 780 x 290	550 x 780 x 290	550 x 780 x 290	550 x 780 x 290	550 x 780 x 290	630 x 800 x 300
Weight	kg	26	26	30	33	34	34	42
Compressor type		DC Rotary	DC Rotary	DC Rotary	DC Rotary	DC Twin Rotary	DC Twin Rotary	DC Twin Rotary
Flare connections (gas-liquid)		3/8" - 1/4"	3/8" - 1/4"	3/8" - 1/4"	1/2" - 1/4"	1/2" - 1/4"	1/2" - 1/4"	1/2" - 1/4"
Minimum pipe length	m	2	2	2	2	2	2	2
Maximum pipe length	m	20	20	20	20	20	20	25
Maximum height difference	m	12	12	12	12	12	12	15
Chargeless pipe length	m	15	15	15	15	15	15	15
Refrigerant charging(R32)	kg	0.55	0.55	0.8	0.8	1.1	1.1	1.14
Power supply	V-ph-Hz	230-1-50	230-1-50	230-1-50	230-1-50	230-1-50	230-1-50	230-1-50

C: cooling mode  
H: heating mode

## Supporting Statement

### Erection of a single dwellinghouse on Land Adjacent to 4 Lageonan Road Grandtully.

#### Introduction

This is an application for the erection of a single dwellinghouse on a plot of land directly adjacent and to the west of a row of 4 semi-detached single storey dwellinghouses on the north side of Lageonan Road at Grandtully. The proposed site is outwith the current settlement boundary and the 4 existing adjacent dwellinghouses to the east are within it.

The proposed site is well contained to the west and north by trees and vegetation and contained to the south by Lageonan Road. The site is stepped up given the rise in ground level to the west along Lageonan Road. The submitted street section illustrates this with existing dwellings 3&4 sitting above 1&2.

In 2007 an application in principle, 07/01371/OUT was granted at appeal for a dwellinghouse close to and to the north of this proposal, P/PPA/340/597. (see Appendix) This site was also outwith and adjacent to the settlement boundary, however the Reporter concluded that:-

*an exception to policy is justified by the well contained nature of the site and its visual relationship with the surrounding settlement. Although the site extends to 0.33 hectares, I do not consider that it is likely, due to level differences within the site, to be able to accommodate more than the one dwelling applied for. Development of the site would not, therefore, result in any significant impact on the infrastructure and services of the village*

Detailed consent was approved under 08/01413/REM and this dwellinghouse has been built.

It is considered in this case that the assessment and conclusions reached in the appeal for the substantial house to the north are no different from this situation for a modestly scaled dwellinghouse, which will extend an existing row of houses within a contained woodland context. The scale and design are appropriate for the site and it will not have a detrimental impact on the character or appearance of the surrounding area. The proposal will not result in any significant impact on the infrastructure and services of the village.

#### Development Plan

The Development Plan for this proposal is NPF4 and Perth and Kinross Local Development Plan 2019.

#### NPF4

Policy 17 Rural Homes

Development proposals for new homes in rural areas will be supported where the development is suitably scaled, sited and designed to be in keeping with the character of the area and the development.

#### Perth and Kinross Local Development Plan 2019

Policy 1: Placemaking

Policy 5: Infrastructure Contributions

Policy 6: Settlement Boundaries

Policy 8: Rural Business and Diversification

Policy 40A: Forestry, Woodland and Trees: Forest and Woodland Strategy

Policy 40B: Forestry, Woodland and Trees: Trees, Woodland and Development

Policy 41: Biodiversity

Policy 53B: Water Environment and Drainage: Foul Drainage

Policy 53C: Water Environment and Drainage: Surface Water Drainage

Policy 53E: Water Environment and Drainage: Water Supply

Policy 60B: Transport Standards and Accessibility Requirements: New Development Proposals.

#### National National Roads Development Guide 2014

##### Perth & Kinross Council Supplementary Guidance:

- Supplementary Guidance - Forest & Woodland Strategy (adopted in 2020)
- Supplementary Guidance - Placemaking (adopted in 2020)

Non-Statutory Guidance:

- Planning Guidance - Planning & Biodiversity

#### Policy Appraisal

As indicated in the Pre-application response a proposal on this site would fall to be assessed under Policy 6: Settlement Boundaries and not the Housing in the Countryside policy guidance of the Development Plan.

As highlighted in the appeal decision the settlement boundary for Grandtully loops around the vicinity of the site on 3 sides. In the Appeal it is stated that this land 'feels like part of the village' This wider area of ground is contained to the wider countryside by existing built

development and the public roads with the A827 to the north and west and Lageonan Road to the south. This containment provides a strong physical barrier for any built development within this area and protects the wider countryside from further encroachment. A modestly scaled dwellinghouse to the west of the existing houses on Lageonan Road will not have any adverse impact on the character or appearance of the area. An exception to Policy 6 is considered appropriate here due to the well contained nature of the site and the relationship with existing residential properties on Lageonan Road.

In terms of Policy 17 of NPF4 the proposal is *suitably scaled, sited and designed to be in keeping with the character of the area and the development.*

It is considered therefore that the appeal decision is a significant material consideration which would take precedence over Policy 6 of the LDP in supporting the proposal, which will not have any detrimental impact on the character or appearance of neighbouring properties or the wider area, in accordance with NPF4 Policy 17.

#### Scale and Design

The scale and design of the proposal is modern, modest and the external timber cladding to the walls will blend into this woodland setting. It will also complement the simple form and character of the existing neighbouring housing. The existing dwellings are stepped up as you move west along the road and the proposed site is also stepped up. Given the proposed modest scale and design there will be no overbearing effect on the existing dwellings. There will be no detrimental impact on the character and appearance of the immediate area around the site as a result of this proposal, in accordance with Placemaking policy.

#### Residential Amenity

This is a modestly scaled dwellinghouse and there is enough garden ground associated with it to provide a decent level of amenity for the occupier. There will be no detrimental impact on neighbouring residential amenity as a result of the development in terms of privacy or overshadowing in accordance with Placemaking policy of the Development Plan.

#### Trees and Ecology

As indicated in the existing and proposed site plans there will be no loss of any significant mature trees on the site or loss of habitat in the vicinity of the proposed site in accordance with Policy 40B and Policy 41 of the adopted LDP. Biodiversity enhancement is proposed with hedge planting to the boundaries and shrub planting to provide suitable habitat.

## Drainage

Foul water will be directed to the public sewage system. Roof water will feed 2 large water butts, captured and directed to an on-site soakaway. The driveway is gravel and surface water will be directed to the soakaway which can accommodate a large storage volume, mitigating high rainfall events with retention and sustained release. There should be no issues from surface water impacting on neighbouring land.

## Road Access & Parking

A new vehicular access will be formed onto Lageonan Road and there will be 2 parking spaces on site. It is considered that the proposed access, parking and turning facilities are in accordance with the Council's Roads Development guidance.

## Conclusions

The siting of a small dwellinghouse on this site on the edge of the village is acceptable for the same reasons the dwellinghouse to the north east was approved at appeal in 2007.

The proposed site is acceptable in terms of scale, siting and design and will not have any detrimental impact on the character or amenity of the wider area, nor will it result in any significant impact on the infrastructure and services of the village.

As previously mentioned and highlighted in the Appeal this area of land to the west of Grandtully feels as if it should be part of the settlement.

For these reasons, it is respectfully requested that the proposal is approved.

## Appendix



**07\_01371\_OUJ-APP  
EAL\_DECISION-5427**

# **Lageonan Road, Grandtully, Design Statement (Rev P1)**

## **Overview**

The proposal is to erect a small single storey dwelling on the plot of land on Lageonan Road, located between the existing row of semi-detached bungalows, and the tree covered embankment bounded by the A827. A further Supporting Statement is provided, relating to the planning guidance requirements.

## **Discussion**

The proposed dwelling is very modest in size, with a footprint of only 6m x 9.5m, and a low pitched mono-pitch roof. The internal ceiling heights have been kept to just 2m at the lower side, assisting in volume minimisation. As the back drop to the plot is tree covered, the external skin of the dwelling is to be of timber cladding, pre-treated to give a UV-aged appearance, blending with the natural surroundings. No trees are to be removed to enable the construction, and existing trees are to be maintained, ensuring the visual bounding of the plot remains intact.



The above images show the intent of the visual appearance of the dwelling, having a very simple format, which whilst clearly different to that of the existing dwellings, would not detract from the visual amenity of Lageonan Road, and the natural setting of the upper end towards the A827 public road.

The proposed positioning of the dwelling on the site, retains the existing building line, and with a total plot area of approximately 750m<sup>2</sup>, versus the dwelling footprint of only 57m<sup>2</sup>, the built density would be less than the existing adjacent row of houses. Being a sloping site, the design shows some excavation to allow the dwelling to sit lower in its surroundings, and by sloping the roof to mirror the existing ground slope, the building form compliments the site, and again reduces the visual mass. The ridge height is above that of the adjacent dwelling, though a similar increase compared to the ridge height increase between the existing dwelling pairs.

The glazed front south facing façade takes advantage of solar gain, enabling the eastern façade to have minimal glazing, in the direction of the neighbouring dwelling. Those windows have been set with a cill height of 1.6m above floor level, reducing any chance of overlooking towards that neighbour.

Solar panels, which are not road facing, will further take advantage of solar insolation, and combined with a small ASHP, a log stove, and high levels of insulation, will render the dwelling extremely energy efficient, with a small lifetime carbon footprint, and low impact on the existing utilities.

The timber structure, timber cladding, and steel sheet roof are fully recyclable, the recycled glass wool insulation has zero ODP and low GWP. The gabion basket landscaping units, will be filled with stone as-dug on site, all minimising the construction carbon footprint.



Surface water from rooves will feed 2 large water butts, then being captured and directed to an on-site soak away. This soak away is sized to provide large storage volume, mitigating high rainfall events with retention and sustained release. Foul water will be directed to the municipal drainage system

Lageonan Road is little used, mainly by the adjacent dwellings. There would be minimal additional vehicle traffic. The driveway apron immediately abutting the public road would be of a firm, monolithic nature, with the remaining majority being compacted gravel, fully open to rain water penetration, minimising if not eliminating surface water run-off. The pedestrian access from one of the two vehicle parking areas to the dwelling accessible entrance, will also be of a firm, monolithic nature.

Waste management is provided for, with allocated space for wheelie bins at the rear of the dwelling, for garden & food waste; dry recyclables; and non-recyclables.

The energy consumption of the dwellings will be tackled utilising the approach of minimising demand first, and then use of efficient supply. Minimising demand will start with highly insulated opaque elements (Uvalue better than 0.15 W/m<sup>2</sup>K) which is a Passivhaus benchmark, and high quality double glazing (Uvalue 1.1W/m<sup>2</sup>K). Lighting would be low energy LED, and electrical appliances would also be low energy, for example clothes dryer would be a condensing heatpump type, as no exhaust air vent will be provided.

Space heating and hot water will be provided by an Air Source Heat Pump (ASHP), with a SCoP of 3 or better. On site generation is proposed to be via 10 solar panels, providing at least 3.8kWp. An electric vehicle charging point will be provided adjacent to the car parking space.

### **Conclusion**

This modern, simple, modest dwelling will blend with the wooded surroundings, enhancing the built environment of Lageonan Road, whilst providing a home with a low environmental burden both during construction and its period of use.

\_\_\_\_\_End of statement\_\_\_\_\_

# Ecosy+ Stoves

# The Rock Range

Technical Information covering Rock 5 SD and Rock 5 CD

## ADDRESS

Ecosy+  
Unit 24, Folly Farm, Ramsdell  
Tadley, Hampshire  
RG26 5RJ  
United Kingdom

## CONTACT

Telephone: +44 1256 830099  
Email: [trade@ecosystoves.co.uk](mailto:trade@ecosystoves.co.uk)

Brought to you by

Ecosy+ Stoves, Hampshire

# CONTENTS

WELCOME .....	2
SAFETY .....	2
TECHNICAL INFORMATION COVERING NEWBURN STOVES .....	3
NEWBURN 4 DRAWINGS .....	4
ASSEMBLY .....	4
HEARTH.....	5,6
AIR SUPPLY / VENTILATION / CHIMNEY DRAW .....	7
CHIMNEY LINING.....	7
AIR CONTROL.....	8
FUEL OVERLOADING.....	8
SMOKE FREE ZONES.....	9
REGULATIONS.....	9
THE CLEAN AIR ACT 1993 AND SMOKE CONTROL AREAS .....	9
Defra Stop Drawing.....	10
FUEL.....	12
LIGHTING MY STOVE.....	12
ESSENTIAL INSTRUCTIONS BEFORE USE.....	12
IGNITION .....	13
FIRST USE TROUBLESHOOTING .....	15
CLEANING AND MAINTENANCE .....	16
Baffle Plate Removal .....	16
Replacing the Fire Rope.....	16
Changing glass.....	16
GUARANTEE .....	16
BROKEN FIRE BRICKS .....	18
BROKEN / CRAZED GLASS .....	19
ENERGY EFFICIENCY .....	19

# WELCOME

## DEAR CUSTOMER,

Congratulations and thank you for purchasing a Rock stove.

Rock stoves are a part of our fast growing Cast Iron range. Each unit is Defra approved and compliant with the new Eco Design regulations.

To top it off they are backed up with a 5-year Ecosy+ promise.

To ensure you get the most out of your fire for the longest time, please take the time to have a read through the attached manual.

Yours Truly,

THE ECOSY+ STOVES

# SAFETY

## THIS STOVE IS FOR THE BURNING OF WOOD FUEL

to use any fuel other than wood will invalidate the guarantee.

IN THE EVENT OF A CHIMNEY FIRE, EVACUATE THE PROPERTY AND CALL THE EMERGENCY SERVICES.

## INSTALLATION AND USE

Safety is the most important consideration when using and installing your stove. If not installed and used correctly, a house fire could result. Installation must comply with relevant national and local building regulations and fire safety standards.

Your stove will be heavy, and care needs to be taken when lifting - 2 people will normally be required to lift.

CO monitor must be installed

# TECHNICAL INFORMATION COVERING

## NEWBURN 4 SERIES

Outlet Size 5"

Defra Approved Yes

Nominal Output Wood 5KW

Efficiency Wood 78.8%

DIN Plus Dust (at 13% O2) Wood 20

Mean NOX (at 13% O2) Wood 123

Mean CnHm (at 13% O2) Wood 66

Mean CO emissions Wood 0.07

Hearth Temperature Wood 68c

Flue gas mass flow g/s Wood 4.2

Mean Flue Gas Temp Wood 293

Distance to Combustibles at the Rear 400mm

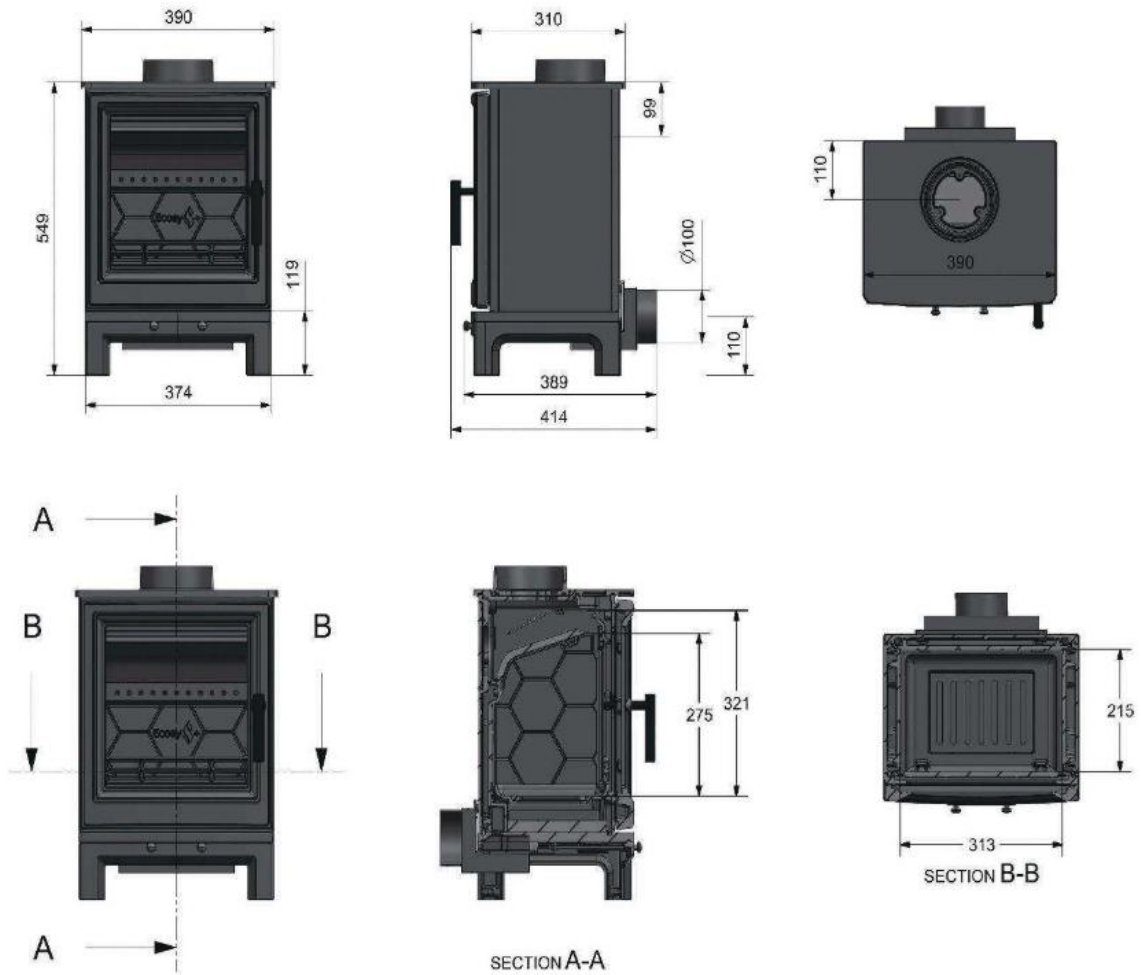
Distance to Combustibles at the Side 400mm

ClearSkies Approved As of 2022

Adjustable Feet Yes

# Drawings

STOVE NME: Ecosy+ Rock 5 SD



# STOVE NAM : Ecosy+ Rock 5 CD

