

LRB-2024-19

23/01765/FLL - Erection of dwellinghouse, land 80 metres south west of Gellybank Farm, Kinross

PLANNING DECISION NOTICE *(included in applicant's submission, pages 27-28)*

REPORT OF HANDLING *(included in applicant's submission, pages 29-44)*

REFERENCE DOCUMENTS



Pullar House 35 Kinnoull Street Perth PH1 5GD Tel: 01738 475300 Fax: 01738 475310 Email: onlineapps@pkc.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100649007-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Erection of a single dwellinghouse

Is this a temporary permission? * Yes No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) * Yes No

Has the work already been started and/or completed? *

No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:

Ref. Number:

You must enter a Building Name or Number, or both: *

First Name: *

Building Name:

Last Name: *

Building Number:

Telephone Number: *

Address 1 (Street): *

Extension Number:

Address 2:

Mobile Number:

Town/City: *

Fax Number:

Country: *

Postcode: *

Email Address: *

Is the applicant an individual? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:

You must enter a Building Name or Number, or both: *

Other Title:

Building Name:

First Name: *

Building Number:

Last Name: *

Address 1 (Street): *

Company/Organisation

Address 2:

Telephone Number: *

Town/City: *

Extension Number:

Country: *

Mobile Number:

Postcode: *

Fax Number:

Email Address: *

Site Address Details

Planning Authority:

Perth and Kinross Council

Full postal address of the site (including postcode where available):

Address 1:

ELLENDALE

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

KINROSS

Post Code:

KY13 0LE

Please identify/describe the location of the site or sites

Northing

700063

Easting

310731

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Site Area

Please state the site area:

0.22

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

vacant farmland previously used as outside storage for bales

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? * ≤ Yes **T** No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

0

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

2

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? *

T Yes ≤ No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *

≤ Yes – connecting to public drainage network

T No – proposing to make private drainage arrangements

≤ Not Applicable – only arrangements for water supply required

As you have indicated that you are proposing to make private drainage arrangements, please provide further details.

What private arrangements are you proposing? *

≤ New/Altered septic tank.

T Treatment/Additional treatment (relates to package sewage treatment plants, or passive sewage treatment such as a reed bed).

≤ Other private drainage arrangement (such as chemical toilets or composting toilets).

Please explain your private drainage arrangements briefly here and show more details on your plans and supporting information: *

Mitigation is proposed by upgrading 1Nr existing Non Phosphate Stripping septic tanks to a full secondary treatment plants with phosphate stripping facility to achieve 2mgP/litre.

Do your proposals make provision for sustainable drainage of surface water?? *
(e.g. SUDS arrangements) *

T Yes ≤ No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

T Yes

≤ No, using a private water supply

≤ No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

≤ Yes No ≤ Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

≤ Yes No ≤ Don't Know

Trees

Are there any trees on or adjacent to the application site? *

Yes ≤ No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

Yes ≤ No

If Yes or No, please provide further details: * (Max 500 characters)

Provision of Council refuse/recycling bins as standard

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes ≤ No

How many units do you propose in total? *

1

Please provide full details of the number and types of units on the plans. Additional information may be provided in a supporting statement.

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

≤ Yes No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) *

≤ Yes No ≤ Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

≤ Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Do you have any agricultural tenants? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate E

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate E

I hereby certify that –

(1) – No person other than myself/the applicant was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application.

(2) - The land to which the application relates constitutes or forms part of an agricultural holding and there are no agricultural tenants

Or

(1) – No person other than myself/the applicant was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application.

(2) - The land to which the application relates constitutes or forms part of an agricultural holding and there are agricultural tenants.

Name:

Address:

Date of Service of Notice: *

(4) – I have/The applicant has taken reasonable steps, as listed below, to ascertain the names and addresses of the other owners or agricultural tenants and *have/has been unable to do so –

Signed: MARK WILLIAMSON

On behalf of: Mr DARREN STEWART

Date: 23/10/2023

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principal where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- T Site Layout Plan or Block plan.
- T Elevations.
- T Floor plans.
- ≤ Cross sections.
- ≤ Roof plan.
- ≤ Master Plan/Framework Plan.
- ≤ Landscape plan.
- T Photographs and/or photomontages.
- T Other.

If Other, please specify: * (Max 500 characters)

Drainage Layout Plan

Provide copies of the following documents if applicable:

A copy of an Environmental Statement. *	≤	Yes	T	N/A
A Design Statement or Design and Access Statement. *	≤	Yes	T	N/A
A Flood Risk Assessment. *	≤	Yes	T	N/A
A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). *	≤	Yes	T	N/A
Drainage/SUDS layout. *	T	Yes	≤	N/A
A Transport Assessment or Travel Plan	≤	Yes	T	N/A
Contaminated Land Assessment. *	≤	Yes	T	N/A
Habitat Survey. *	≤	Yes	T	N/A
A Processing Agreement. *	≤	Yes	T	N/A

Other Statements (please specify). (Max 500 characters)

Phosphorus Mitigation Calculation Supporting Planning Statement

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr MARK WILLIAMSON

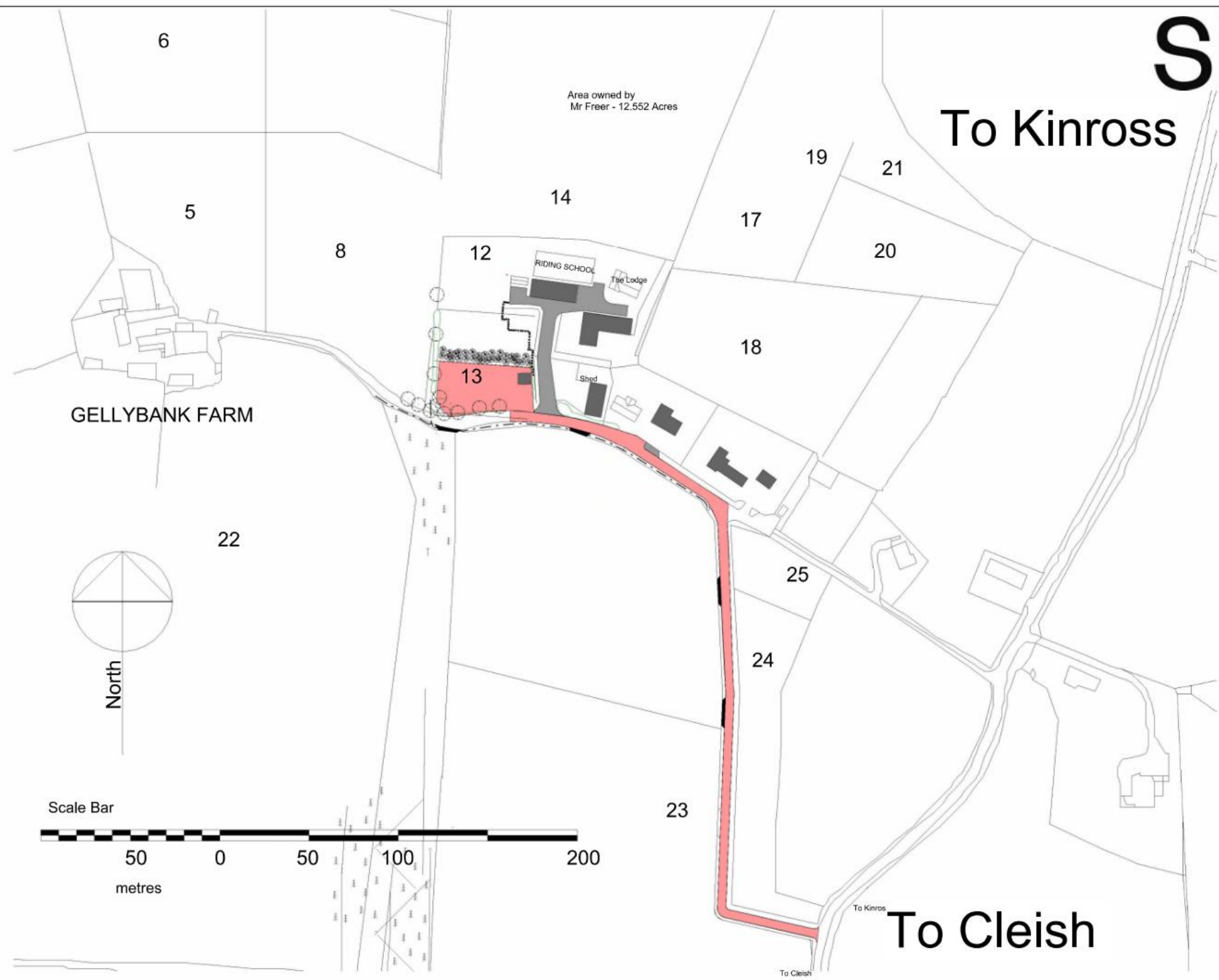
Declaration Date: 23/10/2023

Suite 2, Abtel Building,
Pitreavie Drive,
Pitreavie Industrial Estate,
Dunfermline, KY11 8US

To Kinross

To Cleish

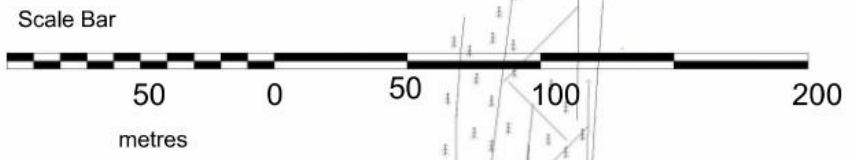
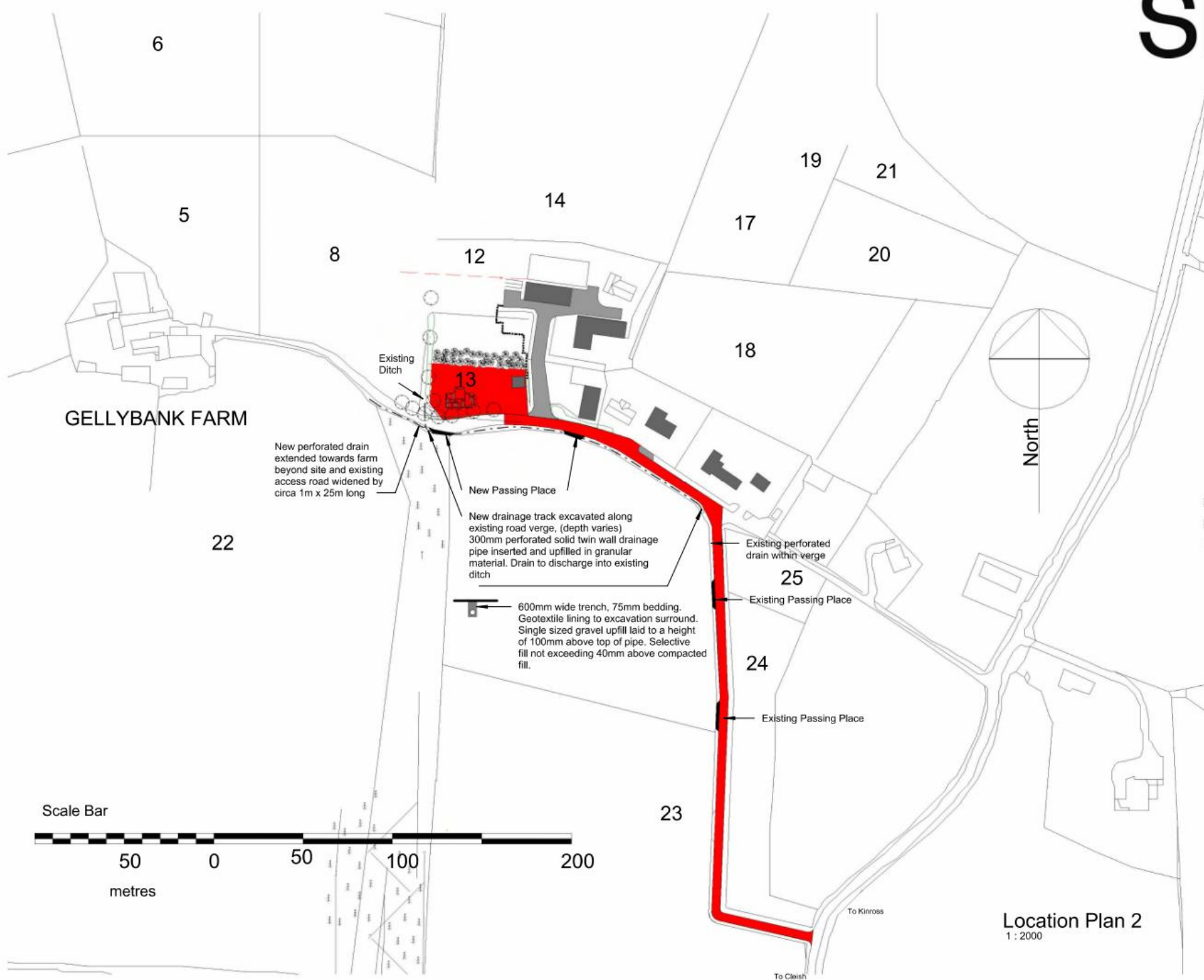
Area owned by
Mr Freer - 12.552 Acres



Rev A - Plan Updated 08/11/2023

DEVELOPMENT SITE:		
Plots: PLANNING		
NO.	DATE	BY / AMENDMENT'S
<p>PROPOSED NEW DWELLING, Mr Darren Stewart. Gellybank Farm, Kinross, KY13 0LE</p>		
DATE	SCALE	DRAWN BY:
11/07/23	1:2000	mmoc
DWG TITLE: Location Plan		
HOUSE TYPE:		
COINS REFERENCE: 16/08/2022		
DRWG No:	/001	REV: A
02690		

Suite 2, Abtel Building,
Pitreavie Drive,
Pitreavie Industrial Estate,
Dunfermline, KY11 8US



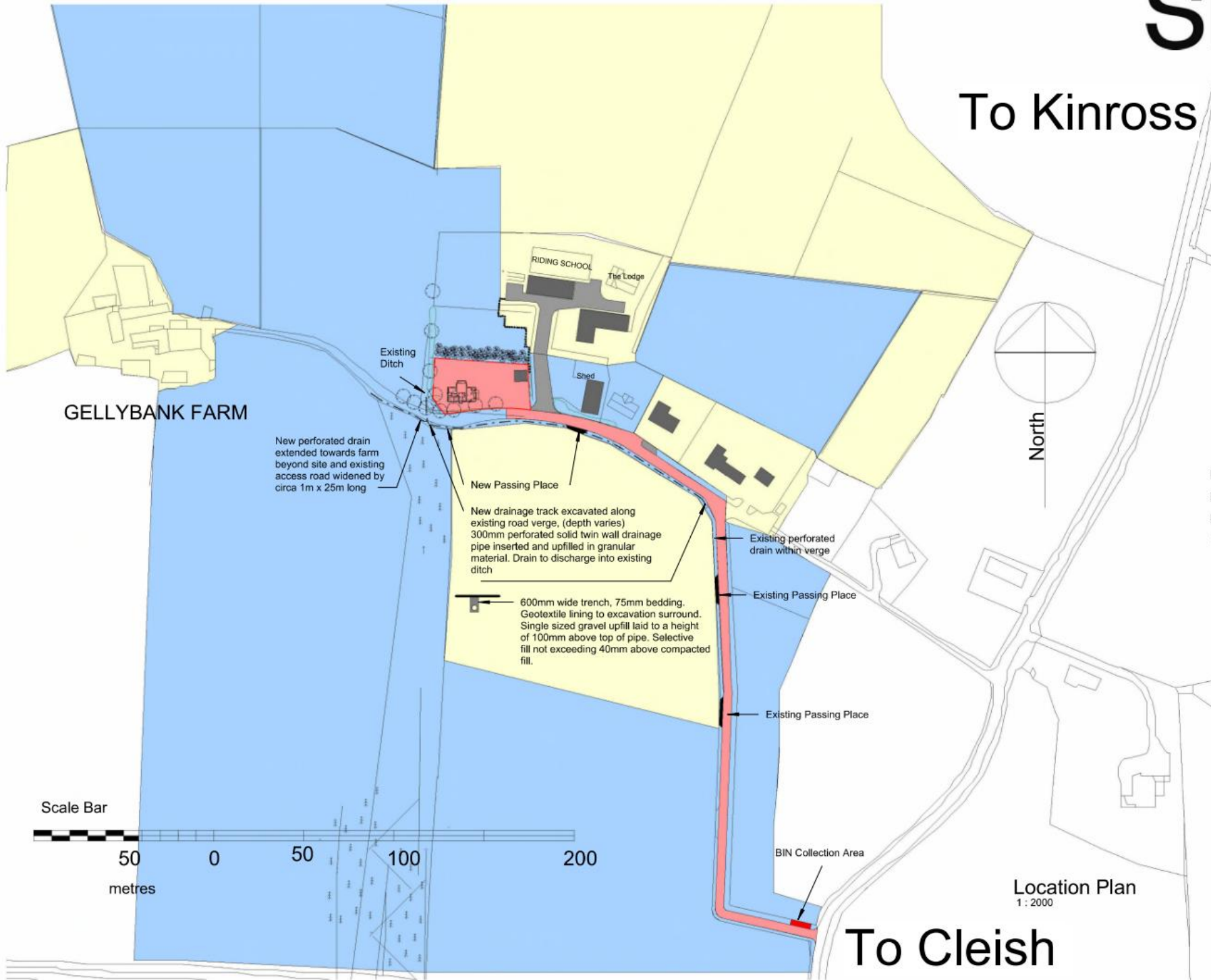
Rev C - Plot 2 Removed 04/09/2023
Rev B - Planning comments 05/01/2023
Rev A - Scale Bar Added 16/08/2022

DEVELOPMENT SITE:		
Plots: PLANNING		
NO.	DATE	BY / AMENDMENTS
PROPOSED NEW DWELLING, Mr Darren Stewart. Gellybank Farm, Kinross, KY13 0LE		
DATE: 02/11/2021	SCALE: 1:2000	DRAWN BY: mmg
DWG TITLE: Location Plan - A3		
HOUSE TYPE:		
COINS REFERENCE: 16/08/2022		
DRWG No: 02690	/ 101	REV: C

Location Plan 2
1 : 2000

Suite 2, Abtel Building,
Pitreavie Drive,
Pitreavie Industrial Estate,
Dunfermline, KY11 8US

To Kinross



New perforated drain extended towards farm beyond site and existing access road widened by circa 1m x 25m long

New Passing Place
New drainage track excavated along existing road verge, (depth varies) 300mm perforated solid twin wall drainage pipe inserted and upfilled in granular material. Drain to discharge into existing ditch

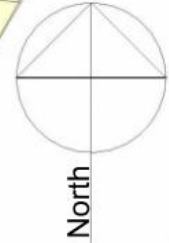
600mm wide trench, 75mm bedding. Geotextile lining to excavation surround. Single sized gravel upfill laid to a height of 100mm above top of pipe. Selective fill not exceeding 40mm above compacted fill.

Existing perforated drain within verge

Existing Passing Place

Existing Passing Place

BIN Collection Area



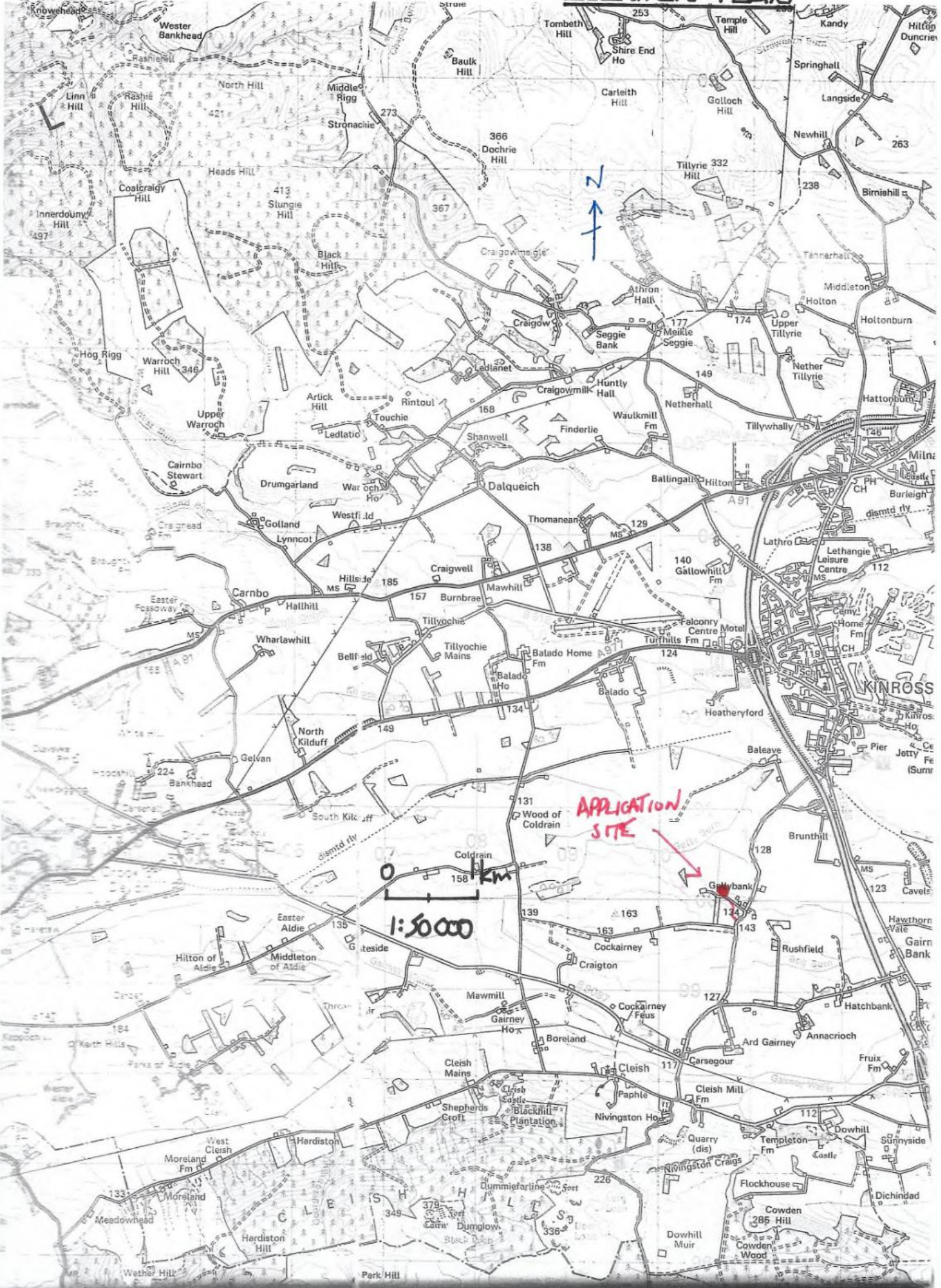
Location Plan
1 : 2000

To Cleish

- Rev D - ownership updated 08/09/2023
- Rev C - Plot 2 Removed 04/09/2023
- Rev B - Planning comments 05/01/2023
- Rev A - Scale Bar Added 16/08/2022

DEVELOPMENT SITE:		
Plots: PLANNING		
NO.	DATE	BY / AMENDMENT
<p>PROPOSED NEW DWELLING, Mr Darren Stewart. Gellybank Farm, Kinross, KY13 0LE</p>		
DATE: 02/11/2021	SCALE: 1 : 2000	DRAWN BY: mmg
<p>DWG TITLE: Proposed Overall Site Development Plan - A3</p>		
HOUSE TYPE:		
<p>COINS REFERENCE: 16/08/2022</p>		
DRWG No: 02690	/ 110	REV: D

LOCATION PLAN



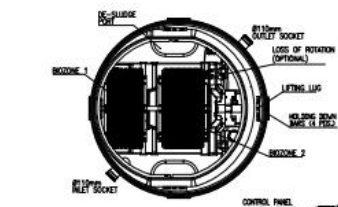
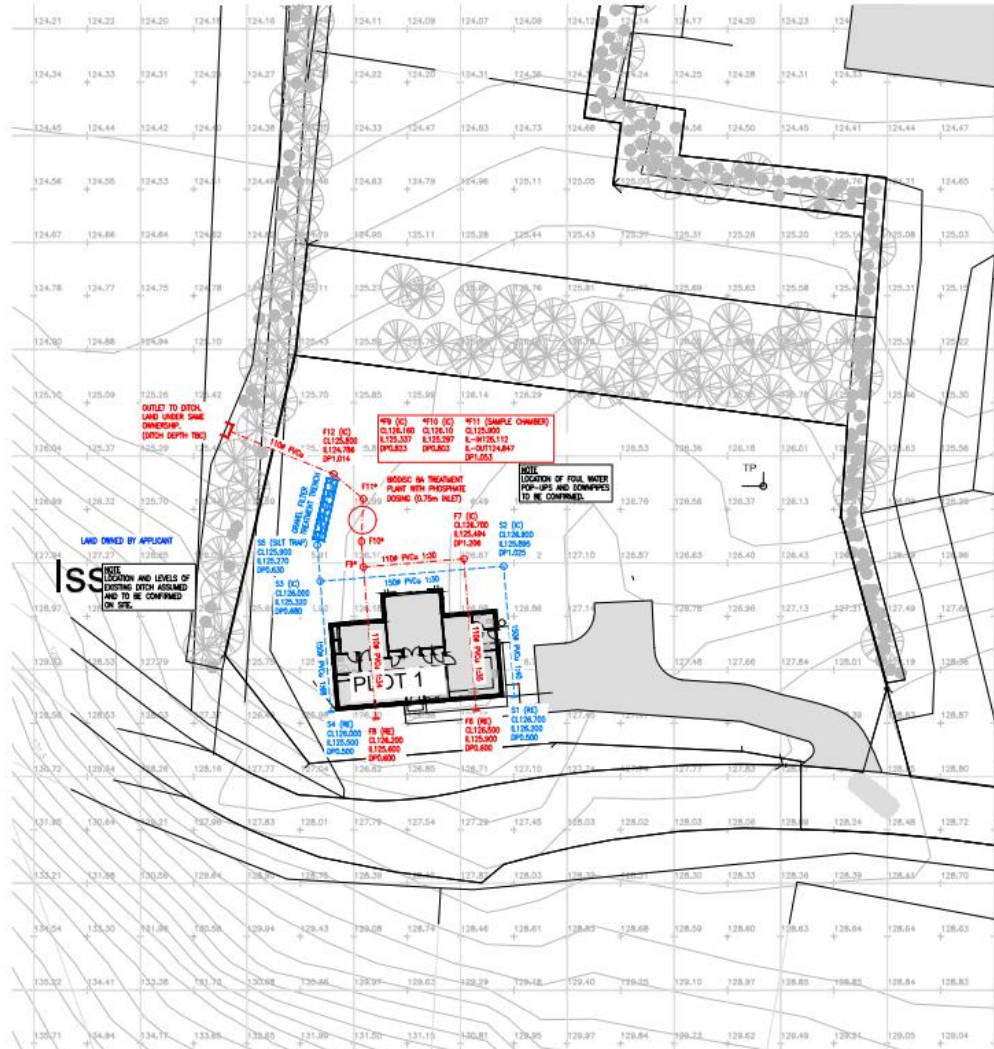
APPLICATION SITE

0 158 Km
1:50,000

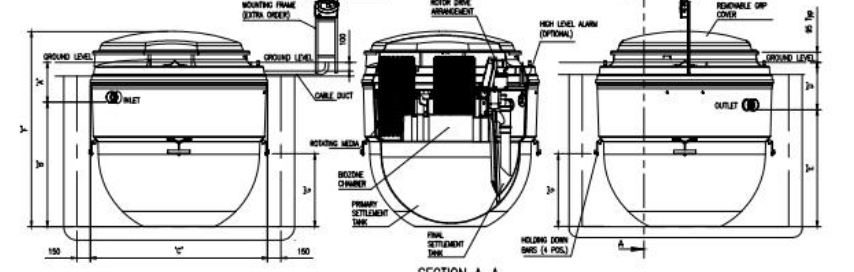


DRAINAGE NOTES

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS PRODUCED BY BOTH THE ARCHITECT AND ENGINEER. ANY DISCREPANCY OR CONFLICT BETWEEN THE DRAWINGS SHOULD BE REFERRED TO OTHER PARTY BEFORE PROCEEDING.
- DO NOT SCALE FROM THESE DRAWINGS FOR CONSTRUCTION PURPOSES. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK ON SITE OR ANY FABRICATION OR MATERIALS ORDERING.
- THE CONTRACTOR'S ATTENTION IS DRAWN TO THEIR RESPONSIBILITY TO ENSURE THE SAFETY AND WELL-BEING OF BOTH SITE OPERATIVES AND THE PUBLIC DURING THE COURSE OF THE WORKS.
- SUBCONTRACTOR TO CHECK THE LINE/LEVEL AND DIMENSION OF THE EXISTING SERVICES AT LEAST 7 DAYS PRIOR TO COMMENCING ANY SERVICE WORKS THE ENGINEER IS TO BE ADVISED IN WRITING OF ANY DISCREPANCY AS A MATTER OF URGENT.
- SEWERS TO BE CONSTRUCTED IN ACCORDANCE WITH SEWERS FOR SCOTLAND, FOURTH EDITION 2014, PUBLISHED BY H.M.S.O. EXCEPT WHERE AMENDED BY SCOTTISH WATERS' SPECIFICATION AND DRAWINGS.
- ALL PIPES UP TO 450mm Ø TO BE TRIM WALLED PVC-U (WALLEY QUANTUM SEWER OR EQUAL APPROVED). ALL PIPES OVER 450mm Ø TO BE CONCRETE. THE CONTRACTOR MUST OBTAIN APPROVAL FOR THE ACTUAL PIPE MANUFACTURER/SPECIFICATION CHOSEN BY SCOTTISH WATERS BEFORE WORKS BEGIN TO COMMENCE LAYING.
- CONCRETE PROTECTION SHALL BE PROVIDED TO ALL INPUSH WHERE COVER IS LESS THAN 1200mm UNDER ROADS AND VARIOUS AND 800mm UNDER FOOTPATHS AND SOFT LANDSCAPING.
- DISCONNECTING MANHOLES TO BE IN ACCORDANCE WITH BS5911 AND SHOULD BE 1.5m FOR PIPES & 1.25m DEEP FOR SURFACE WATER UNLESS OTHERWISE NOTED OR INSTRUCTED. ALL DISCONNECTORS TO BE POLYPROPYLENE UP TO DEPTH OF 1.5m & ALL POLYPROPYLENE CHAMBERS UP TO DEPTHS OF 3m OR PRE-CAST CONCRETE BINS FOR GREATER DEPTHS.
- THE LETTER 'T' TO BE PAINTED ON THE INTERNAL FACE OF ALL POLY DISCONNECTING MANHOLES.
- ALL GULLY TALS AND TALS FROM DISCONNECTING MANHOLES TO MAIN SEWERS TO BE 150mm PVC-U PIPES.
- ROOFS PIPES SHALL BE USED FOR PIPES WITH 750 NOMINAL DIA. EXISTING AND LEADING MANHOLES MAXIMUM LENGTH NOT TO EXCEED 400mm.
- ALL PRECAST CONCRETE UNITS TO BE REINFORCED TO BS5911, WITH ALL JOINTS BETWEEN PRECAST CONCRETE UNITS TO BE MADE WATER-TIGHT BY THE APPLICATION OF COUANT MORTAR, TOPCOAT OR OTHER SIMILAR APPROVED EQUAL.
- THE LOWEST CHAMBER HING BEARING ON THE FOUNDATION, AND THE HIGHEST CHAMBER HING BEARING THE COVER SLAB, SHALL HAVE PLAN ENDS AND BE REINDED IN CONCRETE MORTAR.
- MANHOLE ACCESS HOLE AND STEP RING POSITIONS TO BE LOCATED TO GIVE THE GREATEST FREE AREA OF BEARING IMMEDIATELY BELOW. STEP RINGS NOT TO PROTRUDE INTO THE 475mm SQUARE ACCESS OPENING IN SUMP COVER SLAB.
- THE TOP FIRST DOUBLE ENCAPSULATED STEP RING TO BE LOCATED NOT LESS THAN 300mm AND NOT GREATER THAN 700mm FROM THE FINISHED MANHOLE COVER LEVEL.
- MANHOLE COVERS TO BE GRADE 440 BS EN124 DOUBLE TRIANGULAR COVER AND FRAME 120mm DEEP, WITH 875mm SQUARE OPENING, IN CASTLE IRON COVER TO BEAR THE REGISTERED CORROSION MARK OF THE BSLL.
- ALL PRECAST CONCRETE COVER SLABS TO BE HEAVY DUTY.
- CONCRETE FOUNDATION TO BE SCAFFOLD BEFORE PLACING THE GRADING FROM IF PURPOSE BUILT CHANNELS ARE NOT USED, THE GRADIENT MUST BE EXTENDED TO FORM THE CHANNEL.
- HEIGHT ADJUSTMENT TO MANHOLE COVER AND FRAME TO BE A MINIMUM OF 1 COURSE AND A MINIMUM 3 COURSES OF 'CLASS' II ENGINEERING BRICK.
- ALL METALWORK TO BE HOT-DIP GALVANIZED TO BS EN 1001461.
- WHERE APPLICABLE, 3.0m MINIMUM IS REQUIRED BETWEEN THE OUTSIDE OF FOUNDATION TO THE OUTSIDE OF ADJACENT SEWER PIPE. FOUNDATION LEVEL TO BE TOWN DOWN TO PROVIDE 45 DEGREE CLEARANCE TO SAME SEWER.
- WHERE EXISTING SERVICES MAY BE AFFECTED BY ANY CONSTRUCTION WORKS, THE SUBCONTRACTOR IS TO UNDERTAKE A SERIES OF HAND DOW THAT FITS TO VERIFY THAT THE EXISTING PUBLIC UTILITY PLANT WILL NOT BE AFFECTED, 7 DAYS BEFORE COMMENCING SAID WORKS.
- MAIN CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL FEES IN CONNECTION WITH PERMIT TO CONNECT/INFRASTRUCTURE CHARGES SCOTTISH WATER.
- CONTRACTOR IS RESPONSIBLE FOR ALL LIAISON WITH SCOTTISH WATERS ENGINEER TO ENSURE COMPLETION CERTIFICATE IS OBTAINED AT END OF WORKS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COMPLETION CERTIFICATE AND ISSUING TO CLIENT/HOUSEHOLD.

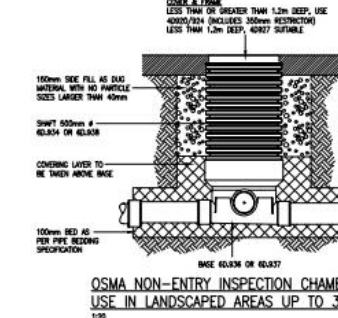
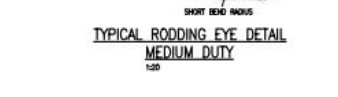
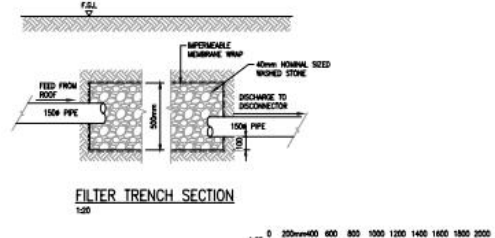
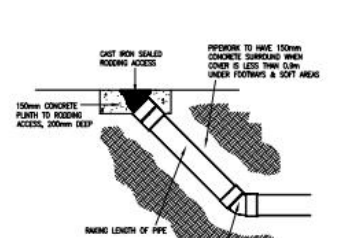


- NOTES:**
- THIS DRAWING IS FOR 'DIMENSIONAL INFORMATION ONLY', IT IS ESSENTIAL THAT THIS DRAWING IS READ IN CONJUNCTION WITH THE INSTALLATION GUIDELINES SUPPLIED WITH THE UNIT. (COPIES AVAILABLE FROM OUR SALES DEPARTMENT).
 - BASIC TANK & COVER ARE MANUFACTURED GLASS REINFORCED POLYESTER (GRP). COVER IS FINISHED IN GREEN TO BS4840 THY 18.18.2.
 - FOR DESLUDGING PROCEDURE SEE MAINTENANCE HANDBOOK.
 - ELECTRICAL SUPPLY - 240VOLTS, 2 AMPS, SINGLE PHASE, CONTROL PANEL SUPPLIED.
 - BODISCS MUST ONLY BE LIFTED BY 3 LIFTS PROVIDED.
 - 3 No. BOLT INVERTS AVAILABLE - 450mm, 750mm, 1200mm.
 - FOR INSTALLATION MAINTENANCE & DESLUDGING DETAILS REFER TO 013103 (BODISCS) & 013008 (CL0301).
 - CABLE CUT HOLE DIAMETER IN CASE TO SUIT CONDUIT TO BE USED.



BA GRAVITY BODISC DIMENSION CHART

DM 'X' (mm)	DM 'Y' (mm)	DM 'Z' (mm)	DM 'W' (mm)	DM 'V' (mm)	DM 'U' (mm)	DM 'T' (mm)
750	1400	1995	835	1315	2440	820



REV.	DATE	BY	DESCRIPTION	APL.
A	08/06/22	ST	SITE LAYOUT UPDATED, PLUMBING REQUIREMENT AMENDED, DETAIL FOR FILTER TRENCH AND BODISC ADDED.	NLB
B	15/06/22	ST	DRAINAGE LEVELS ADDED.	NLB
C	16/06/22	ST	1250 SCALE SHW AND PLUMBING BOUNDARY ADDED, WIDE UPDATED TO CLARIFY NOT TO SCALE FOR CONSTRUCTION.	NLB
D	30/07/23	ST	SITE LAYOUT UPDATED TO REFLECT ARCHITECT LAYOUT RECEIVED 29/07. PLOT 2 REINFORCED AND DRAINAGE AMENDED, SPEC FOR BA ADDED.	NLB

HEALTH AND SAFETY

THE DESIGN HAS HIGHLIGHTED ONLY COMMON HAZARDS, WHICH HAZARDS ARE CONSIDERED TO BE WITHIN THE NORMAL EXPERIENCE OF A COMPETENT CONTRACTOR.

DRAWING STATUS: **PLANNING**

McGREGOR McMAHON
CONSULTING ENGINEERS

PROJECT: **NEW HOUSES FOR DARREN STEWART GELLYBANK FARM KINROSS**













TITLE: **PROPOSED DRAINAGE LAYOUT**

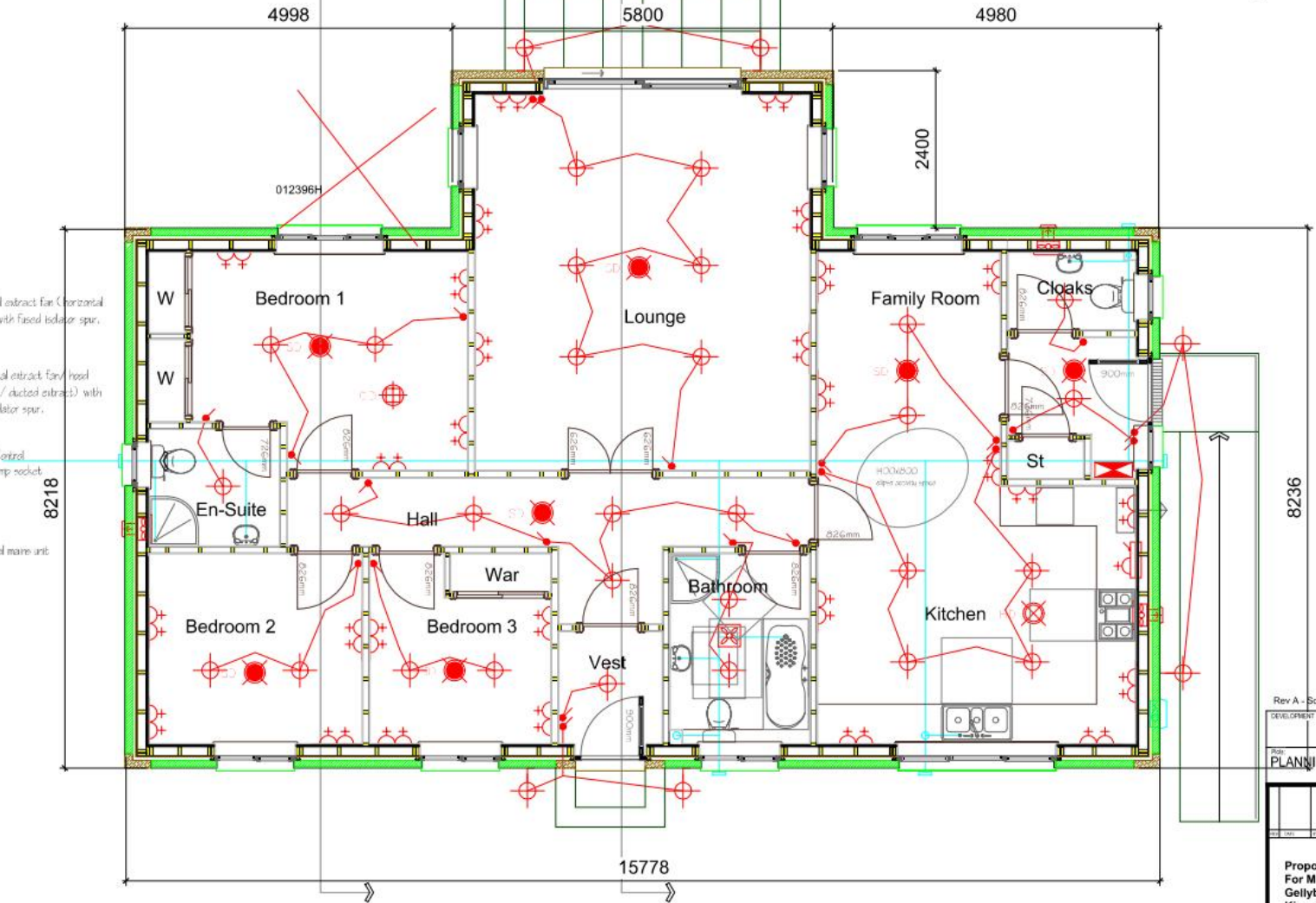
SCALE: 1:250 DATE: 22/10/2021 DRAWN: ST APPROVED: NLB A1

DRAWING No. **23105-200** REV. **D**

ELECTRICAL LEGEND

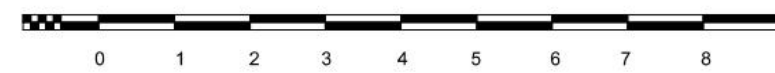
Electrical system to be in full accordance with the latest edition of the I.E.E. regulations and B.S. 7671

-  Ceiling light
-  Wall mounted light
-  Twin 13 Amp socket outlet
-  Light switch
-  Smoke detector - Mains powered Interlinked and have battery back up
-  Heat detector - Mains powered Interlinked and have battery back up
-  Carbon Monoxide Detector
-  Carbon Dioxide Detector
-  Mechanical extract fan (horizontal extract) with fused isolator spur.
-  Mechanical extract fan hood (vertical/ducted extract) with fused isolator spur.
-  Cooker Control with 13Amp socket
-  Electrical mains unit



Ground Floor Plan
1 : 50

SCALE :



Rev A - Scale Bar Added 16/08/2022

DEVELOPMENT SITE:

PLANNING

DATE: 24/08/2021
SCALE: 1:50
DRAWN BY: mms

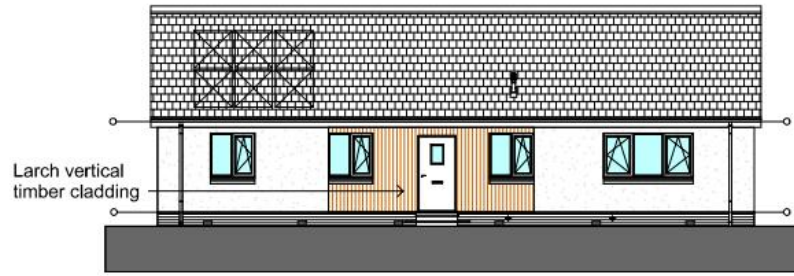
**Proposed Dwelling Houses ,
For Mr Darren Stewart,
Gellybank Farm
Kinross, KY13 0LE**

DATE: 24/08/2021
SCALE: 1:50
DRAWN BY: mms
FLOOR PLAN - A2

HOUSE TYPE:

CONS REFERENCE: 16/08/2022
DRAWN: 02690 / 003 REV: A

Suite 2, Abtel Building,
Pitreavie Drive,
Pitreavie Industrial Estate,
Dunfermline, KY11 8US



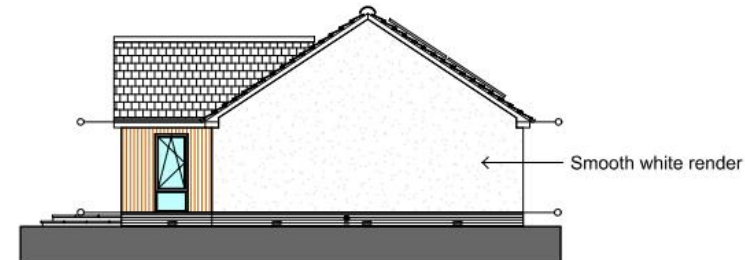
South Elevation



East Elevation



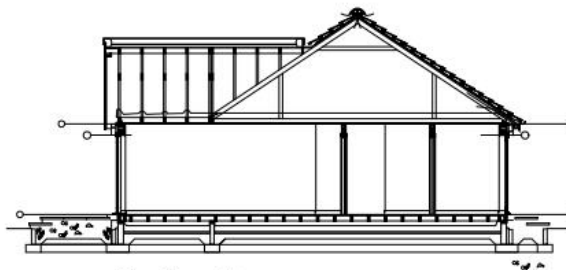
North Elevation



West Elevation



Section 1



Section 2

SCALE :



Rev A - Scale Bar Added 16/08/2022

DEVELOPMENT SITE:

PLANNING

DATE: 25/08/2021

SCALE: 1:100

DRAWN BY: mms

PROJ TITLE:

Proposed Elevations - A2

HOUSE TYPE:

CONS REFERENCE:

16/08/2022

DATE:

02690 / 005

REV: A

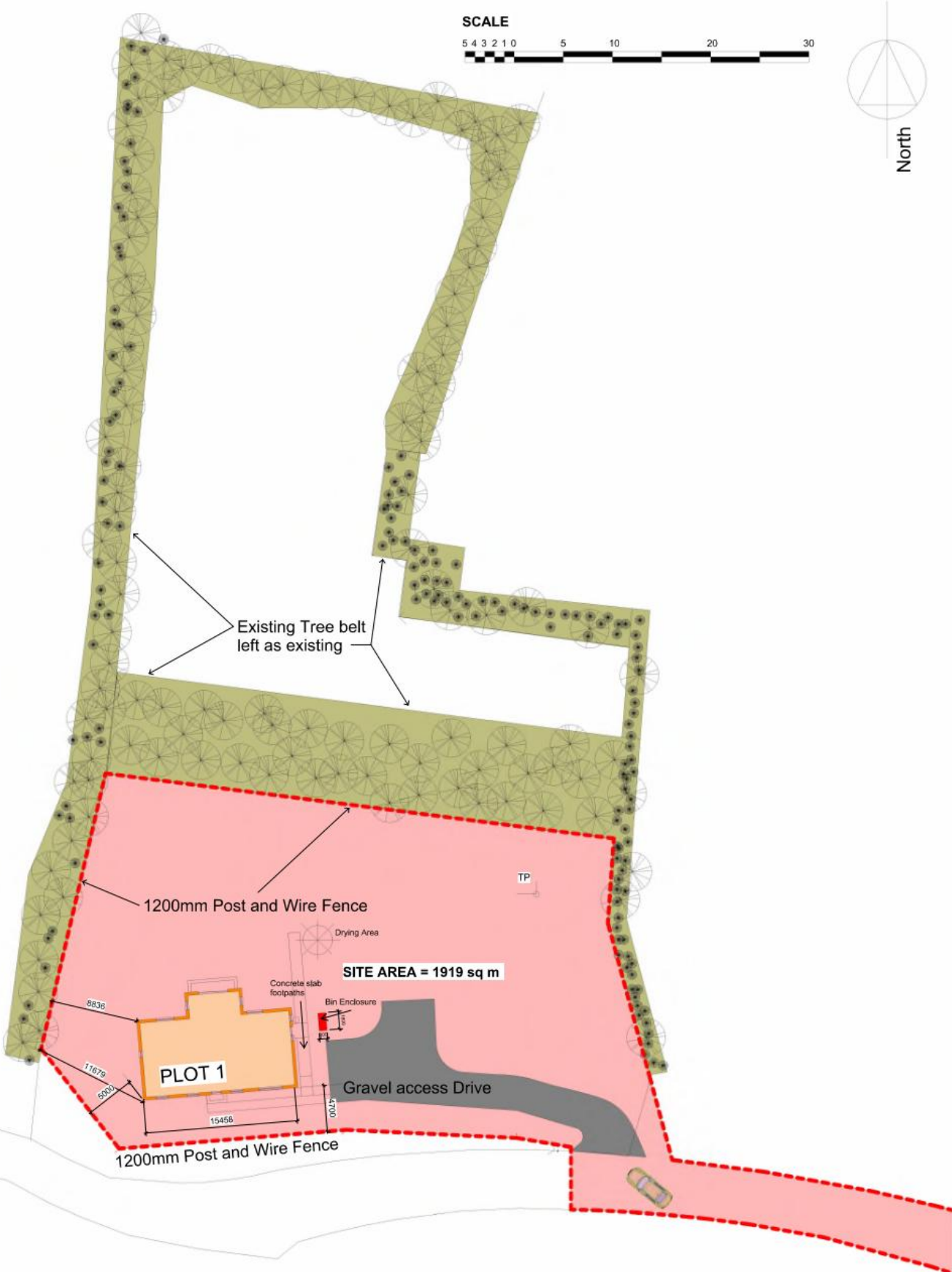
Suite 2, Abtel Building,
Pitreavie Drive,
Pitreavie Industrial Estate,
Dunfermline, KY11 8US

No.	Description	Date
Rev A	Scale Bar Added	16/08/2022
Rev B	Plot 2 Removed	28/06/2023

Proposed New Dwelling
For
Mr Darren Stewart,
Gellybank Farm,
Kinross, KY13 0LE

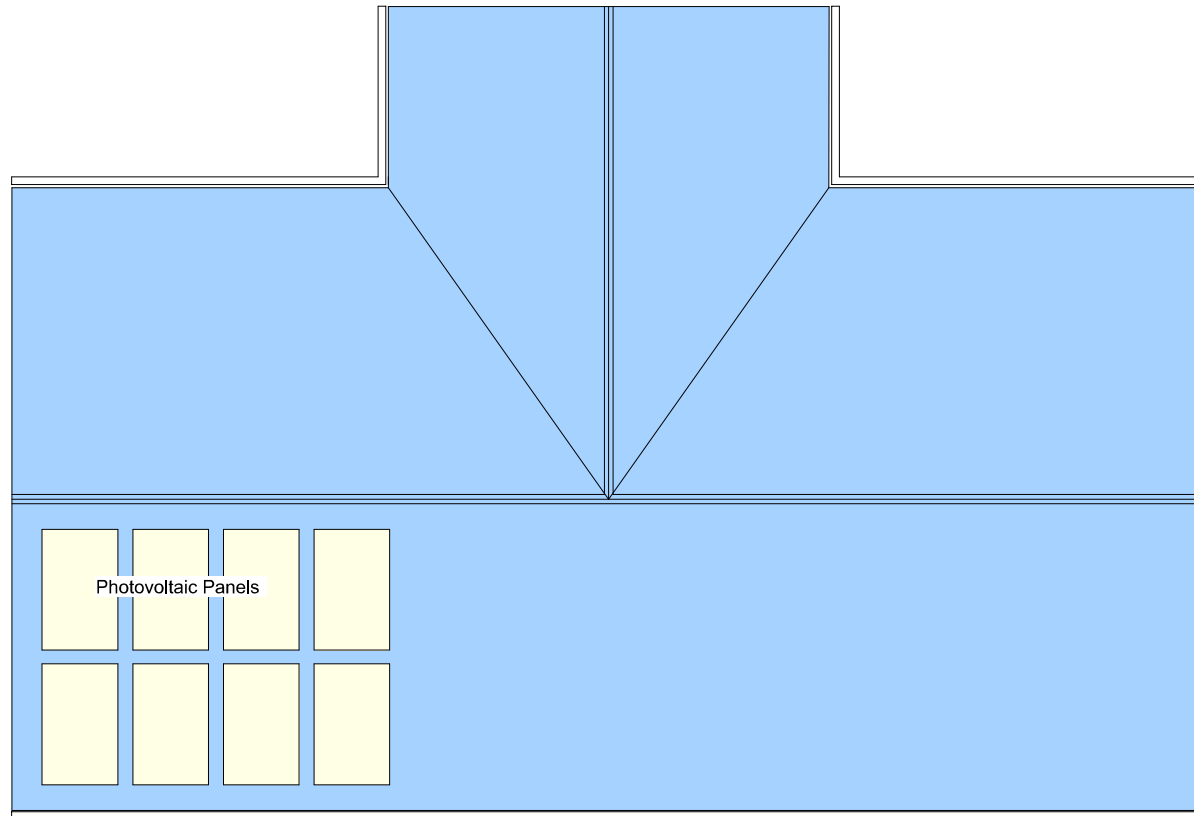
Proposed Site Layout

Project number	02690
Date	16/08/2022
Drawn by	mcmcc
Checked by	Checker
Scale	1 : 200

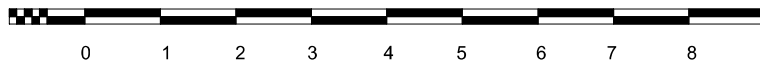


Suite 2, Abtel Building,
Pitreavie Drive,
Pitreavie Industrial Estate,
Dunfermline, KY11 8US

Roof Plan
1:50



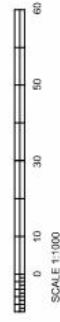
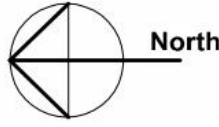
SCALE :



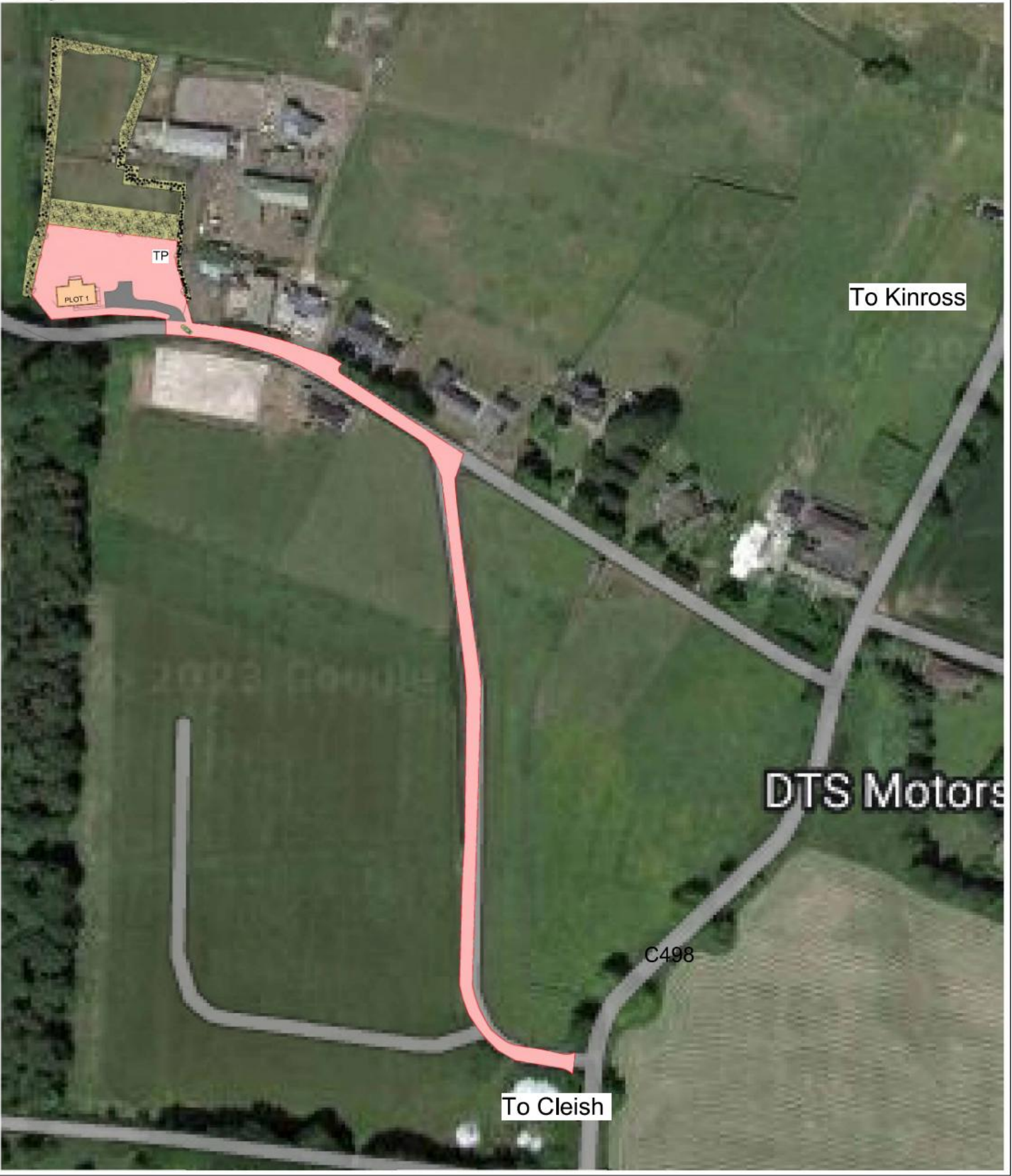
DEVELOPMENT SITE:			
FILE: PLANNING			
Proposed Dwelling Houses , For Mr Darren Stewart, Gellybank Farm Kinross, KY13 0LE			
DATE: 11/07/23	SCALE: 1:50	DRAWN BY: mcmcc	
DWS TITLE: Roof plan			
HOUSE TYPE:			
CONS REFERENCE: 16/08/2022			
CDWG NO: 02690	/ 007		REV:

Suite 2, Abtel Building,
Pitreavie Drive,
Pitreavie Industrial Estate,
Dunfermline, KY11 8US

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DEVELOPMENT SITE:	
PLAN:	PLANNING
DATE:	08/12/22
SCALE:	1:1000
DRAWN BY:	MEMOS
Proposed Dwelling Houses , for Mr Darren Stewart, Gellybank Farm Kinross, KY13 0LE	
Proposed Site Boundary	
FILE NO:	02690 / 009
DATE:	08/08/2022
SCALE:	1:1000
DRAWN BY:	MEMOS



Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Do you have any agricultural tenants? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate E

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate E

I hereby certify that –

(1) – No person other than myself/the applicant was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application. ✓

(2) – The land to which the application relates constitutes or forms part of an agricultural holding and there are no agricultural tenants ✓

Or

(1) – No person other than myself/the applicant was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application.

(2) – The land to which the application relates constitutes or forms part of an agricultural holding and there are agricultural tenants.

Name:

Address:

Date of Service of Notice: *

The applicant owns all the application land & there are no tenants.

MSW
13/11/23.

Supporting Statement

Erection of a dwellinghouses at Gellybank, Kinross

Mr Darren Stewart

Introduction

This is an application for the erection of a single dwellinghouses at Gellybank, Kinross for Mr Darren Stewart.

In October 2022 planning consent was refused for 2 dwellinghouses at Gellybank under 22/01356/FLL. The reasons for refusal were: -

1. The proposal is contrary to Policy 19 Housing in the Countryside of the Perth and Kinross Council Local Development Plan 2 (2019) and the associated Housing in the Countryside Supplementary Guidance 2020 (SG) as the site is not part of an existing building group and cannot be considered to extend the group into a definable site due to the lack of any well-established boundary to the north of the site. The proposal also fails to meet any of the other categories of development outlined in the SG.

2. The proposal is contrary to Policies 1A, 19 and 56 of the Perth and Kinross Council Local Development Plan 2 (2019) which seek to ensure that an appropriate level of residential amenity for proposed dwellings is provided and states that there is a presumption against the siting of noise sensitive land uses near sources of noise generation. The existing use of the adjacent farm and livery yard and the noise therefrom has the potential to impact detrimentally on the amenity of the proposed dwellings and a lack of information, in the form of a noise impact assessment, has been submitted to allow an assessment of this to be made.

3. The proposal is contrary to Policy 40B Trees, Forestry and Woodland of the Perth and Kinross Local Development Plan 2 (2019) which requires tree surveys, undertaken by a suitably qualified professional to accompany all applications for planning permission where there are existing trees on the site. There are existing trees on the western boundary of the site where the proposed access to plot 2 is located and no information has been submitted to demonstrate the extent of impact which the development would have on these trees. Furthermore, there are visibility splays required at the access points into each plot would require the removal of an existing native hedge and this is not accounted for in the submitted plans.

4. The proposal is contrary to Policy 60B Transport Standards and Accessibility of the Perth and Kinross Local Development Plan 2 (2019). The proposal will result in an increase in traffic levels along a private access increasing the likelihood of vehicles requiring to pass each other. No passing places have been provided on the private access and it is not clear whether there is any scope to provide additional passing places. Furthermore, the existing hedge along the southern boundary of the site severely restricts visibility at the access points into the site and no indication of suitable visibility splays have been submitted

The main reason for refusal was that the northerly plot was considered to *lack any well-established boundary to the north of the site* and with a lack of containment was not in accordance with Housing in the Countryside Policy Guidance.

Other reasons included the impact on residential amenity from neighbouring farm/livery operational use, impact on trees, and lack of passing places and impact of an existing hedge on visibility when exiting the site onto the public road.

This application is for a single dwellinghouse and is a revised application to the previously refused application where the northerly plot has been removed and therefore seeking consent only for the southerly Plot 1.

Current Development Plan Policy Context

The current Development Plan consists of the National Planning Framework 4 (NPF4) and the Perth and Kinross Local Development Plan 2019. (LDP2)

The most relevant policies are NPF 4 Policy 17 – Rural Homes and LDP2 Policy 19 Housing in the Countryside and the Council’s Housing in the Countryside Supplementary Guidance 2020. The Placemaking policies of the local plan are also relevant.

National Planning Framework 4

The National Planning Framework 4 (NPF4) is the Scottish Government’s long-term spatial strategy with a comprehensive set of national planning policies. This strategy sets out how to improve people’s lives by making sustainable, liveable and productive spaces.

NPF4 was adopted on 13 February 2023. NPF4 has an increased status over previous NPFs and comprises part of the statutory development plan.

The following policies of NPF4 are relevant :

- Policy 9: Brownfield, vacant and derelict land and empty buildings
- Policy 14: Design, Quality and Place
- Policy 16: Quality Homes
- Policy 17: Rural Homes

Perth and Kinross Local Development Plan 2019

The application site falls within the countryside as designated in the adopted Perth and Kinross Local Development Plan 2019. The relevant policies are:-

Policy 1A: Placemaking

Policy 1B: Placemaking

Policy 1C: Placemaking

Policy 1D: Placemaking

Policy 2: Design Statements

Policy 5: Infrastructure Contributions

Policy 6: Settlement Boundaries

Policy 19: Housing in the Countryside

Policy 26B: Scheduled Monuments and Archaeology

Policy 32: Embedding Low & Zero Carbon Generating Technologies in New Development

Policy 38C: Environment and Conservation: Local Designations

Policy 39: Landscape

Policy 40A: Forestry, Woodland and Trees: Forest and Woodland Strategy

Policy 40B: Forestry, Woodland and Trees: Trees, Woodland and Development

Policy 41: Biodiversity

Policy 42: Green Infrastructure

Policy 46A Loch Leven Catchment Area

Policy 46B Loch Leven Catchment Area

Policy 53B: Water Environment and Drainage: Foul Drainage

Policy 53C: Water Environment and Drainage: Surface Water Drainage

Policy 56 Noise Pollution

Policy 60B: Transport Standards and Accessibility Requirements: New Development Proposals

Other Policies

Perth and Kinross Council Housing in the Countryside Supplementary Guidance 2020.

Relevant Policy Considerations

The site is within the countryside and therefore falls to be assessed under NPF4 Policy 17 and the adopted local plan Policy 19 Housing in the Countryside and the Council's Housing in the Countryside Supplementary Guidance 2020.

The applicable section of this policy guidance is category 1 Building Groups, where an existing building group is defined as 3 or more buildings of a size at least equivalent to a traditional cottage, where they are for residential and/or business/agricultural in nature.

The supplementary guidance, “The Housing in the Countryside Guide” adopted by the Council in 2020 assists in the assessment of Policy 19, where it highlights that permission may be granted, subject to the criteria above, for houses which extend the group into a readily definable adjacent site. This will be formed by existing topography, roads or well-established existing landscape features such as a watercourse or mature tree belt which will provide a suitable setting.

The application site for a single dwellinghouse has good containment with well-established boundaries on all sides. The southern boundary is defined by a road, the western boundary is defined by the rising slope of the land and existing mature planting – see attached photos below. The northern boundary has established tree planting along it.

It is considered that the proposed site is a definable site with suitable containment and satisfies the criteria for an extension of a group into a definable adjacent site.

The proposal is considered to be in accordance with Policy 19 of the adopted local plan and Perth and Kinross Council Housing in the Countryside Supplementary Guidance 2020.

Scale, Design and Siting

The scale and design of the dwellinghouse is similar to that of neighbouring more recently built houses such as Ellendale and Fasgadh. The form is traditional and the external materials of white smooth render intermixed with larch timber boarding reflect the rural context and is common throughout rural Perth and Kinross, in accordance with Policy 1 of the adopted local plan. A Design Statement has been submitted as requested.

Visual Impact

Given the relationship with the existing building group and the site’s containment, the proposal will not have any adverse visual impact on the wider countryside at this location. The proposed dwellinghouse is similar in character to those recently built in the vicinity and the external materials are of good quality and the proposal will not have any adverse impact on the character or appearance of the countryside around Gellybank, in accordance with Policy 39 of the adopted local plan.

Residential Amenity

There were issues raised by the Council in the previous refusal on the issue of neighbouring noise generation, stating:-

The existing use of the adjacent farm and livery yard and the noise therefrom has the potential to impact detrimentally on the amenity of the proposed dwellings and a lack of information, in the form of a noise impact assessment, has been submitted to allow an assessment of this to be made.

The applicant has clarified the status of the neighbouring farm and livery and has stated that:-

The previously granted planning permission for the Livery & Stables at the neighbouring property is no longer in use by the new owners and they have done away with this use. With regard to the issue about noise pollution from the working farm this is incorrect as the previous owner and the new owner do not use this as a working farm as previously stated.

It is concluded therefore that there will be no operational noise from neighbouring uses impacting on the residential amenity of the proposed dwellinghouse.

Access and parking

The issues arising on the access road and visibility in the previous refusal have been dealt with, with the provision of passing places on the private access road. The hedge at the junction with the public road has been cut back to improve the visibility splay.

As indicated on the submitted site plan there is suitable access, parking and turning facilities for the proposal, in accordance with Policy 60B: Transport Standards and Accessibility Requirements: New Development Proposals and the National Roads Development Guide.

Trees and Biodiversity

There will be no loss of trees or hedging as a result of the proposal. There are no significantly mature trees along the west boundary. New tree planting will look to enhance existing biodiversity and habitat in the immediate area around the dwellinghouse, in accordance with Policies 40B and 41 of the adopted local plan.

Drainage and Loch Leven Catchment Area

The application site is within the Loch Leven Catchment Area and cannot connect to the public waste water treatment system serving Milnathort and Kinross.

Phosphorous mitigation measures have been provided in the previous application and are re-submitted here which satisfactorily demonstrates removal of 125% of the phosphorus likely to be generated by the development from the catchment, in accordance with Policy 46.

A suitable SUD's scheme will be implemented in line with the submitted Drainage Plan to ensure accordance with Policy 53C of the adopted plan.

Flood Risk

The application site is not within the 1:200-year flood risk envelope identified within SEPA's flood risk maps and there is no flood risk from riverine or surface water.

Conclusions

The proposed development is considered to comply with the Development Plan and Supplementary guidance with regard to housing in the countryside, allowing an extension of the existing grouping, being well contained to the wider countryside and at a suitable scale and design which will blend sympathetically with existing built development.

There will be no detrimental impact on the residential amenity of the proposed dwellinghouse from neighbouring uses.

There will be no loss of trees or hedging as a result of the proposal.

The applicant has indicated a satisfactory level of phosphorus mitigation to the Loch Leven catchment area, in accordance with local plan policy.

For the above reasons it is requested that the proposal is approved.



North & West boundaries



East boundary



South boundary



West boundary

Gellybank Farm, Kinross
Project : 22232
Phosphate Mitigation Calculations
8th April 2022

BACKGROUND

Average water used per person per day	150litres
Existing Non Phosphate Stripping Septic Tank discharge	10mgP/litre
Daily discharge of Phos from Septic tank per person	1500mgP

PROPOSED DEVELOPMENT

2 No 3 bed houses = 2 x 5	=10 PE
Therefore Total Population	10 PE
Secondary STP with phosphate stripping facility to achieve	2mgP/litre
Daily discharge of phos from new development = 150x2x10PE	3,000mgP/day

PHOSPHOROUS MITIGATION

Mitigation requires a reduction of 125% of the amount of phosphorus to be discharged from the new development = 125% x 3,000mgP/day	3750mgP/day
(Required)	

Mitigation is proposed by upgrading 1Nr existing Non Phosphate Stripping septic tanks to a full secondary treatment plants with phosphate stripping facility to achieve 2mgP/litre.

The Existing Septic Tank Serves a 3 bedroom property at Easter Balgedie House Lodge, Easter Balgedie, Kinross, KY13 9HQ

Population Served = 5	5 PE
Existing discharge = 5PE x 150litre x 10mgP =	7,500 litre/day
Discharge after upgrade to 2mg/litre = 5PEx150litre x 2mgP =	1,500mgP/day
<u>Mitigation offered is 7500-1500</u>	<u>6,000mgP / day</u>

Mitigation Offered is in excess of Mitigation Required by 6000 - 3750 = 2250mgP/day.

Calculations are based on **British Water Code of Practice “Flows & Loads – 4”**- Sizing Criteria, Treatment Capacity for Sewage Treatment Systems

Calculations are carried out using the phosphate discharge levels of 2mgP for both plants as stated in the **Signed Section 75 Agreement**

