LRB-2022-46
22/00174/FLL - Erection of 2 dwellinghouses, a garage and associated works, Duncrievie House, Duncrievie, Glenfarg, PH2 9PD

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LRB-2022-46
22/00174/FLL - Erection of 2 dwellinghouses, a garage and associated works, Duncrievie House, Duncrievie, Glenfarg, PH2 9PD

PAPERS SUBMITTED BY THE APPLICANT

Pullar House 35 Kinnoull Street Perth PH1 5GD Tel: 01738 475300 Fax: 01738 475310 Email: onlineapps@pkc.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100526872-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application) ☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	Fouin+Bell Architects		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Fouin	Building Name:	
Last Name: *	Bell	Building Number:	1
Telephone Number: *	01314787100	Address 1 (Street): *	John's Place
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	Scotland
		Postcode: *	EH6 7EL
Email Address: *	residential@fouin-bell.com		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Other	You must enter a Building Name or Number, or both: *	
Other Title:	Mr & Mrs	Building Name:	Duncrievie House
First Name: *	Ben & Jacqueline	Building Number:	
Last Name: *	Burgess	Address 1 (Street): *	Duncrievie
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Near Glenfarg
Extension Number:		Country: *	Perth
Mobile Number:		Postcode: *	PH2 9PD
Fax Number:			
Email Address: *	[redacted]		

Site Address Details

Planning Authority:	Perth and Kinross Council

Full postal address of the site (including postcode where available):

Address 1:	DUNCRIEVIE HOUSE
Address 2:	DUNCRIEVIE
Address 3:	GLENFARG
Address 4:	
Address 5:	
Town/City/Settlement:	PERTH
Post Code:	PH2 9PD

Please identify/describe the location of the site or sites

Northing	709347	Easting	313771

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Erection of two proposed dwellinghouses, one double garage and associated works including altered access within the grounds of the existing Duncrievie House

Type of Application

What type of application did you submit to the planning authority? *

☒ Application for planning permission (including householder application but excluding application to work minerals).

☐ Application for planning permission in principle.

☐ Further application.

☐ Application for approval of matters specified in conditions.

What does your review relate to? *

☒ Refusal Notice.

☐ Grant of permission with Conditions imposed.

☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are a seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please refer to appeal document uploaded in the supporting documents section

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? * ☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Planning Appeal Submission to Local Review Body (EX)01A Existing Site layout (PL)01B Proposed Site Layout (Dimensions Added) (PL)01B Proposed Site Plan (Dimensions Added) Duncrievie House - Site Photos

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

22/00174/FLL

What date was the application submitted to the planning authority? *

01/02/2022

What date was the decision issued by the planning authority? *

08/06/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☐ Yes ☒ No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure *

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

We would suggest a visit to the application site would be invaluable to assess the appeal and understand the relationship with the existing house and woodland setting. We would note the Planner visited the site on one occasion but misunderstood a number of factors which we are of the opinion contributed to the refusal - this included assumptions that a tree/ shrub belt was being removed, that significant ground-raising is required (it isn't) and that drainage requires significant tree felling

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? * ☐ Yes ☒ No

Is it possible for the site to be accessed safely and without barriers to entry? * ☒ Yes ☐ No

If there are reasons why you think the local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. * ☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? * ☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? * ☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? * ☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review * ☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Fouin Bell

Declaration Date: 16/08/2022

PLANNING PERMISSION FOR ERECTION OF
2 DWELLINGHOUSES, A GARAGE AND ASSOCIATED WORKS

AT

DUNCRIEVIE HOUSE, DUNCRIEVIE
GLENFARG, PERTH PH2 9PD

FOR

BEN AND JACQUELINE BURGESS

PLANNING APPEAL SUBMISSION TO LOCAL REVIEW BODY

PLANNING REFERENCE	**: 22/00174/FLL**
WARD	**: P8 KINROSS-SHIRE**

August 2022

fouin + bell
architects

1 John's Place
Edinburgh
EH6 7EL

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1.0 INTRODUCTION

1.1 Details

The Project:	Planning permission for erection of 2 dwellinghouses, a garage and associated works at Duncrievie House, Duncrievie, Glenfarg, Perth PH2 9PD
The Client	Ben and Jacqueline Burgess
The Architect:	Fouin+Bell Architects 1 John's Place Edinburgh EH6 7EL Tel: 0131 478 7100
The Drawings:	The drawings are as follows: -
Fouin+Bell Architects	(LOC)01 Location Plan (EX)01 Existing Site Layout (PL)01A Proposed Site Layout (PL)02A Proposed Site Plan (PL)03 Proposed Landscaping Plan (PL)04 Proposed Tree Removals (PL)05 Proposed Passing Places Plan (PL)10 Housetype A (PL)11 Housetype B (PL)12 Housetype C Design Statement
Benchmark Land Surveys	Duncrievie House Topographical Survey
L. N. Henderson	Drainage Report Rev A Drainage Layout 2216-D1
McAleese & Associates (UK) Ltd	Tree Survey and Appraisal Ecological Appraisal

1.1 The following submission has been prepared following receipt of the decision notice advising refusal in respect of the planning application reference 22/00174/FLL at Duncrievie House, Duncrievie, Glenfarg, Perth PH2 9PD

1.2 The applicant, Ben & Jacqueline Burgess have lived in Duncrievie House for six years, renovating the property and the grounds to a high standard. Our client's now hope to construct a new forever family home in the generous grounds, along with a second smaller house which would be offered for sale or for another family member.

1.3 An initial pre-application enquiry was submitted by Gray Planning & Development Ltd on 26th November 2019 proposing to erect 3No. new dwellinghouses with parking, landscaping and associated drainage works under reference 19/00553/PREAPP.

2.0 PRE-APPLICATION SUBMISSION AND ADVICE

2.1 The Pre-Application Summary of Considerations guidance was as follows:

Planning Principle

The site is located in an area where Policy 19 Housing in the Countryside applies. This is supported by Housing in the Countryside supplementary guidance. The supplementary guidance has recently been reviewed and it is expected that the new version will be adopted by the end of January 2020.

Section 3.1a of the existing supplementary guidance section supports the erection of a house within established gardens once associated with a country / estate house, which provide an appropriate landscape setting, but where development would not fundamentally affect the qualities and integrity of the site. This category is similar in the new guidance. The new Supplementary Guidance defines a country or estate house as a large house set within an estate or extensive grounds. In this case, from the information submitted, it is likely that justification could be made for a house under this part of the housing in the countryside policy subject to satisfying the "For All Proposals" section of the policy as well as the terms of the siting criteria set out in Category 3 including that it uses an identifiable site with long established boundaries that must separate the site naturally from the surrounding ground. In particular Criteria m) of the "For All Proposals" section should be taken into account:

"m) scale, layout and design should be appropriate to, and have a good fit with, the landscape character of the area in which it is located and should demonstrate a specific design approach to achieve integration with its setting."

Category 3 generally relates to the erection of a single dwellinghouse rather than multiple houses as suggested in this submission.

It is not considered that the proposal would meet any of the other categories of the housing in the countryside policy.

Design and Layout

Any proposal should reflect the character of the surroundings and comply with Placemaking policies. In particular the design and density of any proposal should complement its surroundings in terms of appearance, height, scale, massing, materials, finishes and colours.

Residential Amenity

The impact on residential amenity should be taken into account in any detailed design. Aspects such as overlooking, overshadowing, impact on privacy etc would all be considerations Should a detailed application be submitted. Any new property should also have sufficient private amenity space.

Natural heritage and biodiversity

A tree survey would be required to support any application on this site due to the existing trees on the site. This survey should inform the siting of any potential development and site any built development outwith any root protection areas. There is generally a presumption against the removal of existing trees in line with Policy 408 that requires protection of existing woodlands resources. A habitat survey may also be required due to the woodland setting and possibility that protected species may be present.

Cultural Heritage

Policy 31 seeks to protect non-designated historic assets including gardens and designed landscapes not listed in the Inventory of Gardens and Designed Landscapes. The provision of a Design Statement that includes some historical background to the site would be useful supporting information should a planning application be submitted.

The site is also adjacent to the curtilage of Duncrievie Cottage which is Category C listed. The impact on this building and its setting would be a consideration with any development proposed within the grounds of Duncrievie House.

Drainage and Flooding

Policy 53 of the LDP requires proposals to include information with regard to drainage including foul and surface water drainage. Policy 53E requires provision of a satisfactory mains or private water supply.

Roads, Transport and Access

Suitable access would be required. Use of the existing access is likely to acceptable. New developments should also be accessible to transport other than the private car such as having easy access to public transport, walking and cycling routes.

Energy, Heat and Electricity

Policy 32 is new to LDP2 and requires:

> *"Proposals for all new buildings will be required to demonstrate that at least 10% of the current carbon emissions reduction set by Scottish Building Standards will be met through the installation and operation of low and zero-carbon generating technologies. A statement will be required to be submitted demonstrating compliance with this requirement. The percentage will increase at the next review of the local development plan.*
>
> *This requirement will not apply to the following developments:*
>
> - *Alterations and extensions to buildings.*
> - *Change of use or conversion of buildings.*
> - *Ancillary buildings that stand alone and cover an area less than 50 square metres.*
> - *Buildings which will not be heated or cooled, other than by heating provided solely for frost protection.*
> - *Buildings which have an intended life of less than two years."*

Developer Contributions

The site is within the reduced contributions boundary in terms of transport infrastructure developer contributions. A contribution of £2639 would be required for each residential unit for transport infrastructure. A contribution towards primary education provision may also be required but this will depend on the capacity of the catchment primary school at the time a planning application is submitted.

Conclusion

It is considered that there may be some scope within the grounds of Duncrievie House for

some residential development however this will very much depend on the details of any proposal and how it contributes to the quality of the built and natural environment and the impact on the integrity of the existing house and garden.

It should be noted that I have not necessarily identified all the policies or material considerations which might influence the determination of any planning application. The Council would not in any event be bound by such advice in the event that you submit a planning application.

2.2 Note the pre-application summary advice provided clear guidance that a future planning application for dwellinghouses on this site would be considered under Section 3.1a of the existing supplementary guidance which *'supports the erection of a house within established gardens once associated with a country / estate house which provide an appropriate landscape setting, but where development would not fundamentally affect the qualities and integrity of the site'.*

3.0 PLANNING IN PRINCIPLE APPLICATION AND ADVICE

3.1 A Planning Application in Principle was submitted on 16th November 2020 under reference 20/01686/IPL by Gray Planning & Development Ltd (in conjunction with Block Nine Architects). The application proposed 4No. new dwellinghouses and retention of the existing Duncrievie House (note Duncrievie House is not listed or in a conservation area).

3.2 A number of consultee responses and several planning objections were received. The feedback from the planner was that the application for 4No. units was not in line with the pre-application enquiry application for 3No. units and therefore would very likely be refused on this basis alone. The application was withdrawn on 4th February 2021.

4.0 CURRENT PLANNING SUBMISSION AND REASON GIVEN FOR REFUSAL

4.1 Fouin+Bell Architects were appointed by Ben & Jacqueline Burgess to review the pre-application summary and Planning in Principle applications and thereafter prepare a planning submission. A number of potential options were considered and after careful consideration and discussion with our client, it was decided that an application be submitted for 2No. houses only; one larger house to become client's forever family home; and a second smaller house to be offered for sale or for another family member. A full planning application was submitted on 1st February 2022 under reference 22/00174/FLL. It was anticipated that the reduction to only two units would be considered favourably by Planning.

4.2 The application included a full design statement which detailed the design approach which was focused on retaining the existing secluded woodland feel to the site and setting of Duncrievie House. A site plan was carefully developed to minimise the impact of the two proposed new dwellinghouses which are screened from neighbouring properties by the existing woodland perimeter planting. The proposed layout retains the woodland perimeter with as many trees as possible preserved, with only a small number of poor quality or dead trees removed to allow development to take place. Note there are no formal Tree Protection Orders or other planning restraints on the existing woodland. Where a tree is removed, it is proposed that three trees replace each one at agreed locations within the application boundary.

4.3 The proposed dwellinghouses were sympathetically designed with pitched roofs and materials of stone, white render, timber and slate chosen to replicate that found on Duncrievie House and elsewhere in the village. The larger of the two houses (Plot 1) is designed to resemble two smaller connected rural buildings, a move which helps minimise its visual impact. The ridge height of the two-storey element is kept below that of the existing Duncrievie House. The house is carefully located to the south-east of the site behind a large section of mature shrub planting that follows the existing road to the east side of Duncrievie House. The proposed layout relocates the access road to the other side of this mature planting to create a private driveway to Duncrievie House and preserves the planting to screen the new house from Duncrievie House.

4.4 The smaller proposed dwellinghouse on Plot 2 is located to the north-west of the site on the edge of the dense woodland. The modestly sized single storey dwellinghouse is designed to nestle on the edge of the trees and is screened from the public road by the woodland. The house is sensitively located to the west of Duncrievie House with gable facing gable to avoid creating any privacy issues. The house sits on an existing area of slightly raised ground (approximately 1m higher than the access road) and is deliberately screened from view from the access road. Note an existing timber garden room/shed is currently located on this raised area where the back garden of Plot 2 would be situated, for the avoidance of doubt, this timber garden room/shed would be removed entirely if planning is approved.

4.5 On 8th June 2022 we received notification that the application had been refused. The summary reasons given for refusal were as follows:

1. 1. The proposed development is contrary to Placemaking Policies 1A and 1B of the Perth and Kinross Local Development Plan 2 (2019). The proposed development does not contribute positively to the built and natural environment, is out of character with its surroundings and does not respect the character of Duncrievie House and its woodland setting.
2. The proposal is contrary to Policy 19, Housing in the Countryside, of the Perth and Kinross Local Development Plan 2 (2019). The scale, layout and design of the development does not have a good fit with the landscape character of the area and the development does not integrate into or enhance the surrounding environment. The proposed houses would detract from the visual amenity of the adjacent building group and impact on the wider landscape setting due to extensive tree and shrub removal and ground engineering proposed within the site. In addition, the resultant residential amenity of the new houses would be severely affected by the retained trees which would lead to pressure for further tree felling.
3. The proposal is contrary to Policy 40A, Forest and Woodland Strategy, of the Perth and Kinross Local Development Plan 2 (2019) that seeks to protect existing trees and woodland. It is also contrary to Policy 40B, Trees, Woodland and Development, of the Perth and Kinross Local Development Plan 2 (2019) which states that there will be a presumption in favour of protecting woodland resources. Development as proposed would result in tree loss for which insufficient mitigation is provided and no information been provided to show how the retained woodland would be protected, managed and enhanced.

5.0 REASON FOR OVERTURNING THE CURRENT REFUSAL

Taking the **first** reason for refusal, it states the proposal is contrary to Placemaking Policies 1A and 1B of the PKC Local Development Plan and furthermore:

a. the proposed development does not contribute to the built and natural environment

b. and is out of character with its surroundings

c. and does not respect the character of Duncrievie House and its woodland setting

We refute these findings. The Duncrievie House site is large, at more than 3 acres and well capable of supporting more than a single house. The existing house is not listed and although not of particularly high architectural value, is an attractive dwelling with typical features of the village such as white painted rubblestone walls and a slate tiled roof. The secluded nature of the site with its perimeter of trees naturally screens Duncrievie House from view and equally the two proposed dwellinghouses would be similarly screened from the rest of the village.

5.1 The village of Duncrievie is typical of many rural Perthshire communities which has grown in a piecemeal fashion over the years. The housetypes are a mixture of styles with the oldest cottages being simple stone built with pitched slated roofs, but subsequent development has been of varying quality and often consists of suburban housetype designs lacking the charm of the original cottages. The new dwellings seek to make a positive contribution to the village and raise the quality standard.

5.2 The new dwellings were carefully designed as a contemporary take on the simple pitched roof cottages found in the village. We believe the design compliments these traditional cottages with white render and slate roofs matching the painted stone and slate roofs that can be found in the village. The images below show the Plot 2 house in comparison with listed Rose Cottage, located in the centre of the village:

C Listed Rose Cottage

Proposed Housetype B (Plot 2)

5.3 The character of the village is respected in the new dwellinghouse designs, with the pitch of the village roofs replicated, sympathetic complimentary materials proposed, and existing cottages used as design inspiration.

5.4 We assert that the site can comfortably accept the two proposed dwellings without negatively impact on the existing Duncrievie House.

5.5 Placemaking Policy 1A is defined as follows:

Development must contribute positively to the quality of the surrounding built and natural environment. All development should be planned and designed with reference to climate change, mitigation and adaptation. The design, density and siting of development should respect the character and amenity of the place, and should create and improve links within and, where practical, beyond the site. Proposals should also incorporate new landscape and planting works appropriate to the local context and the scale and nature of the development.

5.6 To comply with Placemaking policies 1A and 1B of the Local Development Plan, all proposals should meet a number of criteria detailed as follows. We have noted in blue by what means the application meets each policy:

(a) Create a sense of identity by developing a coherent structure of streets, spaces, and buildings, safely accessible from its surroundings.

The existing access road within the site is retained, with minimal additional driveways proposed to retain the rural nature of the site. A relocated access point to the site is proposed which improves site lines to increase safety and access to the site. The applicant has also proposed three new passing places on Calfford Brae to improve safety on the brae and offer a benefit to all of Duncrievie's residents.

(b) Consider and respect site topography and any surrounding important landmarks, views or skylines, as well as the wider landscape character of the area.

The new dwellings are carefully sited to minimise impact on the existing house and to maintain the full perimeter of trees that screen the site and provide privacy to and from neighbours. The dwellings are also carefully sited to minimise the impact on adjacent buildings with more than 18m distance to neighbouring properties, the existing dense tree and evergreen shrub belt is retained to afford adjacent properties with privacy (see site plan in appendix).

(c) The design and density should complement its surroundings in terms of appearance, height, scale, massing, materials, finishes and colours

The two proposed houses are both lower in height that the existing Duncrievie House, with plot 2 being of a single storey only. The proposed houses are deliberately designed to complement the existing house – plot 1 is formed as two connected buildings to reduce the mass and scale of the proposed house to minimise visual impact. The second smaller house on plot 2 is of a single storey and again of a scale that allows it to become secondary to the existing Duncrievie House

(d) Respect an existing building line where appropriate or establish one where none exists. Access, uses, and orientation of principal elevations should reinforce the street or open space.

No building line exists within the site, but new dwellings are set out to address the front gardens and access road

(e) All buildings, streets, and spaces (including green spaces) should create safe, accessible, inclusive places for people, which are easily navigable, particularly on foot, bicycle and public transport.

Level access provided to the proposed dwellings with upgraded road access to the site and the proposed additional passing places on Calfford Brae to improve access north (note the

locals generally take the road in a south westerly direction which is just as quick to access Glenfarg etc).

(f) Buildings and spaces should be designed with future adaptability, climate change and resource efficiency in mind wherever possible.

The proposed new houses are designed to be adaptable and resource efficient

(g) Existing buildings, structures and natural features that contribute to the local townscape should be retained and sensitively integrated into proposals.

The existing Duncrievie House is retained with new dwellings located a comfortable distance away

(h) Incorporate green infrastructure into new developments to promote active travel and make connections where possible to blue and green networks.

Electric car charging points to be provided for new houses

(i) Provision of satisfactory arrangements for the storage and collection of refuse and recyclable materials (with consideration of communal facilities for major developments).

Ample space to store refuse bins is provided

(j) Sustainable design and construction

Proposed new houses are designed to meet high sustainable design standards in accordance with the building regulations

5.7 The **second** reason for refusal relates to Policy 19, Housing in the Countryside. Before we respond to the detail of the planning refusal, we can discuss the policy that the development was considered under. The policy advises that development will be supported that fall within the following six identified categories:

1. Building group;
2. Infill sites;
3. New houses in the open countryside;
4. Renovation or replacement of houses;
5. Conversion or replacement of redundant non-domestic buildings; and
6. Development on rural brownfield land.

At the original pre-application enquiry, it was advised to the applicant that the planning application would be considered under category 3 – *New houses in the open countryside*, and specifically under the following policy:

Proposals for a new house or houses within the original garden ground associated with an existing country or estate house will be supported providing that there is an appropriate landscape setting and additional development will not fundamentally affect the qualities and integrity of the site

It is in our considered opinion that the application should be considered under this option as this closely represents the situation on site of a single countryside house set with in very generous tree lined grounds creating a private woodland setting. The application was thus submitted in this basis.

However, as the planning officer's delegated report notes, although the application was initially considered under category 3, after a site visit by the planner this position was altered, and the planning authority decided to treat the application under category 1 *Building Group*. This information was not intimated to the applicant or architect and the first it was known was in the delegated report after refusal notice was issued. As the applicant and architect were not made aware of this change of category, no opportunity was afforded to address this change. The applicant/architect were denied the opportunity to alter or add to the submission. This opportunity to respond was not offered and is an example of a lack of engagement from the planning officer through the process which proved frustrating and unhelpful.

Taking the points raised in the second point of refusal and breaking down into sections, we respond in turn to each in blue as follows:

a) The scale, layout and design of the development does not have a good fit with the landscape character of the area and the development does not integrate into or enhance the surrounding environment.

We disagree and would assert that the proposed development comfortable fits in with the character, scale and from of the existing area. Nolli plans are simplified maps showing the buildings within an area and allowing the pattern of development to be easily understood. The Nolli plan of Duncrievie below demonstrates how the proposed new houses fit very well into the pattern of the village. Arguably the additional dwellings positively enhance the eastern of the village by reinforcing the village boundary.

Image above: Nolli plan shows the **existing** pattern of development.

Image above: Nolli plan showing the proposed houses which do not look out of place

Furthermore, we would suggest the screening of the site by its perimeter of trees does not alter the landscape character of the site. The proposed houses are discretely nestled within the site and protected by a woodland edge that is maintained and potentially enhanced by the proposed development (note new trees will be planted in a ratio of three new for every one removed).

The delegated report mentions that Duncrievie house is out with the previous defined settlement boundary which is no longer part of the Local development Plan and therefore not relevant to current planning policy and as such should be discarded.

The proposed houses would detract from the visual amenity of the adjacent building group and impact on the wider landscape setting due to extensive tree and shrub removal and ground engineering proposed within the site.

This is incorrect in three aspects:

1. Extensive tree removal is not required
2. Extensive shrub removal is not proposed
3. Extensive ground engineering is not proposed

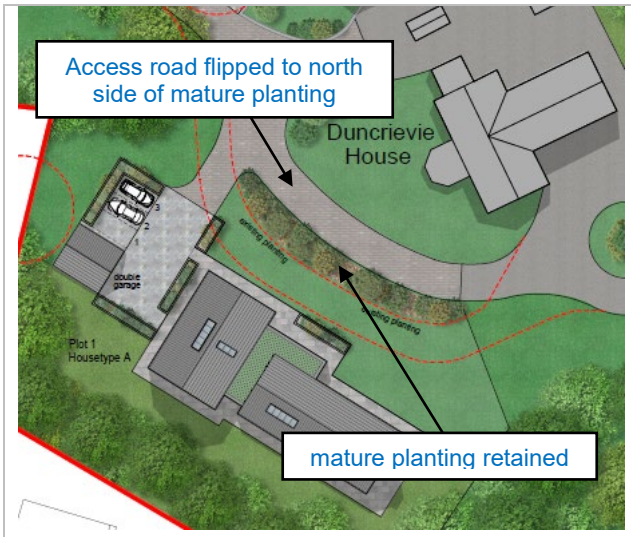
Tree Removals

74No. trees in total were found on site. Although mature, many are of a fairly low standard (only 25No. considered to be of 'good' condition). Only 8No. trees required to be removed to allow the development to take place, all of which are described as being in 'poor' condition by the ecologist.

As the planner was advised, the applicant is more than happy to plant 3 trees for every 1 removed at locations agreed with PKC. The client happy to also plant further high-quality hardwood trees to raise the standard of tree in the woodland.

Shrub Removal

There is no plan to remove mature shrubs planting from the site. It appears the planner misunderstood the proposed plan which retains the central mature shrub planting that would screen Duncrievie House from the proposed Plot 1 house. See images below:



Above - view of shrubs noted

The Planner also thought the planting at the boundary to the south of the proposed plot 1 house was to be removed which is not the case. This dense band of evergreen trees provides screening to the adjacent neighbouring property (Bennachie) throughout the year.

Ground Engineering

This is not required. The site is generally level. The planner appears to have misinterpreted the levels for Plot 2 which sits in an area of existing raised ground around 1m above the access road. Level access can be achieved and there is no additional ground-raising or heavy level alteration works required.

We note the planner did not highlight there were queries with any of these three issues and had this been raised during the planning process, further information could easily have been submitted. All three issues could also be satisfied by a planning condition.

b) In addition, the resultant residential amenity of the new houses would be severely affected by the retained trees which would lead to pressure for further tree felling.

This is also incorrect. The residential amenity of each plot is already extremely generous. PKC Placemaking guide suggest gardens be of a minimum 80m² for 3+ bedrooms houses. Plot 2 has a garden area totalling 860m², albeit much of which is within the woodland, but a third is open ground which could be set to lawn or landscaped. It is unreasonable to suggest that this plot could be considered lacking in amenity and would require future tree felling.

The larger Plot 1 has an even more generous garden. Again, the suggestion that future tree felling would be required is illogical. Part of the attraction of the proposed dwellings is their woodland garden setting. There is no plan or reason to fell further trees.

In addition, there is a large field of communal amenity ground on the south-east of the site providing further open space Overall this site is not short of amenity provision.

Factoring of the landscaping could form a planning condition.

5.8 A further point raised in the delegated report pertained to Landscape. The report quite rightly notes that the site is part of an established woodland that has a positive contribution to the environment. However, we disagree with the planner's assertion that the woodland and tree losses have diluted the landscape setting as the only trees that have been removed recently have been dead or in such poor condition the presented a danger. The perimeter of trees around the developable site area is preserved and the applicant is committed to maintaining and improving the woodland. As mentioned, the applicant will replace every felled tree with three new trees.

5.9 The report mentions that the Council's Tree Officer had raised concerns about the impact of the proposed new drainage and its potential impact on the existing trees. The report mentions the lack of a Tree Protection Plan and Construction Exclusion Zone detail, but this was not requested during the planning process, or it would have been provided. Both of these requests could also be dealt with by a planning condition. Potential wording for such planning conditions is included in section 9 of this report.

5.10 The **third** reason given for refusal relates to policy 40A which is designed to protect trees and woodland. The policy is as follows:

The proposal is contrary to Policy 40A, Forest and Woodland Strategy, of the Perth and Kinross Local Development Plan 2 (2019) that seeks to protect existing trees and

woodland. It is also contrary to Policy 40B, Trees, Woodland and Development, of the Perth and Kinross Local Development Plan 2 (2019) which states that there will be a presumption in favour of protecting woodland resources. Development as proposed would result in tree loss for which insufficient mitigation is provided and no information been provided to show how the retained woodland would be protected, managed and enhanced.

As requested in the pre-application feedback, a tree survey was undertaken and submitted as part of the planning application to evaluate the existing woodland. In accordance with Policies 40A and 40B, this application seeks to protect the existing trees and woodland that form a significant part of the application. The tree report identified the condition of every existing tree on the site including a number in poor condition that should be replaced to raise the quality of the woodland. As mentioned previously, the report identified a total of 8No. trees to be removed to allow the development to take place, all of which were described as being in 'poor' condition by the ecologist. The applicant has offered to plant new trees to replace those removed and to raise the overall standard of tree within the woodland at a ratio of three new trees for every one removed.

Whilst the delegated report mentions that 'no information (was) provided to show how the retained woodland would be protected managed and enhanced' – this was not requested by the planner through the application process – had it been, this would have been provided. We would note this is another refusal point that could be covered by a planning condition that would require an approved Tree & Woodland Management Plan to be submitted before starting on site would be permitted. This management plan could also include information on the factoring of communal landscaped areas.

6.6 PUBLIC REPRESENTATIONS

6.1 The delegated report notes that a total of 35No. representations were received from 26No. households. 3No. were supportive of the application, which therefore leaves 23No. objections.

6.2 The following points were raised in the objections, responses are noted in blue:

a. Traffic and road safety – particularly in relation to Calfford Brae, impact on pedestrians, cyclists, horse riders

As noted in Section 5.5, a new entrance is proposed to improve sightlines and safety, the applicant has offered to construct three new passing places on Calfford Brae for the benefit of all residents and visitors to Duncrievie. We would also note the two new dwellings will generate very little additional traffic movement.

b. Ecological impact – tree loss, habitat loss, impact on protected species

As noted previously, the loss of trees is minimal, and any removed will be replaced at a ratio of three new to one removed. The Ecological report undertaken notes the proposed development will only see activity in areas of low habitat value. The report found no evidence of badger, bat or red squirrel and no habitat for great crested newt and overall concluded that the development is unlikely to have any significant effects on either habitats or species.

c. Residential amenity – overlooking, noise, impact on mental health, stress and anxiety

The ring of trees around the site provides natural screening and minimises overlooking and privacy issues. In particular, the dense evergreen shrubs to the south of the site means the closest property to the south of Plot 1 (Bennachie) is very well screened. Duncrievie House itself is a private residence and the retention of the woodland and tree screening will offer minimum impact on other residents. It should also be noted the Bennachie property is orientated to look east over the open field and does not look directly into the site.

d. Impact on water supply – problem with existing supply

This will be dealt with in conjunction with Scottish Water. The addition of two residential properties will not have an impact in any wider issues in the area concerning occasional loss of water supply.

e. Over development

The application is for only two new dwellings on the site. The pre-application was for three dwellings and the previous application was for four. In our view, the generous site can easily accept the two proposed dwellings and in no way can be seen as overdevelopment.

f. Out of character – not in keeping with building line

As notes in section 5.6 and evidenced by the Nolli plan, the proposed dwellings sit comfortably within the village. No building line exists.

g. Loss of visual amenity

The site is ringed by a ring of trees. This is being retained in full land if anything will be enhanced by further tree planting. There is no loss of visual amenity.

h. Would like details of new building in the grounds

This relates to a timber garden room/shed (located at Plot 1) that is within permitted development rights and therefore fully compliant.

i. Decrease in property value

As noted in the report, this is not a material planning consideration

j. How would title be sub-divided.

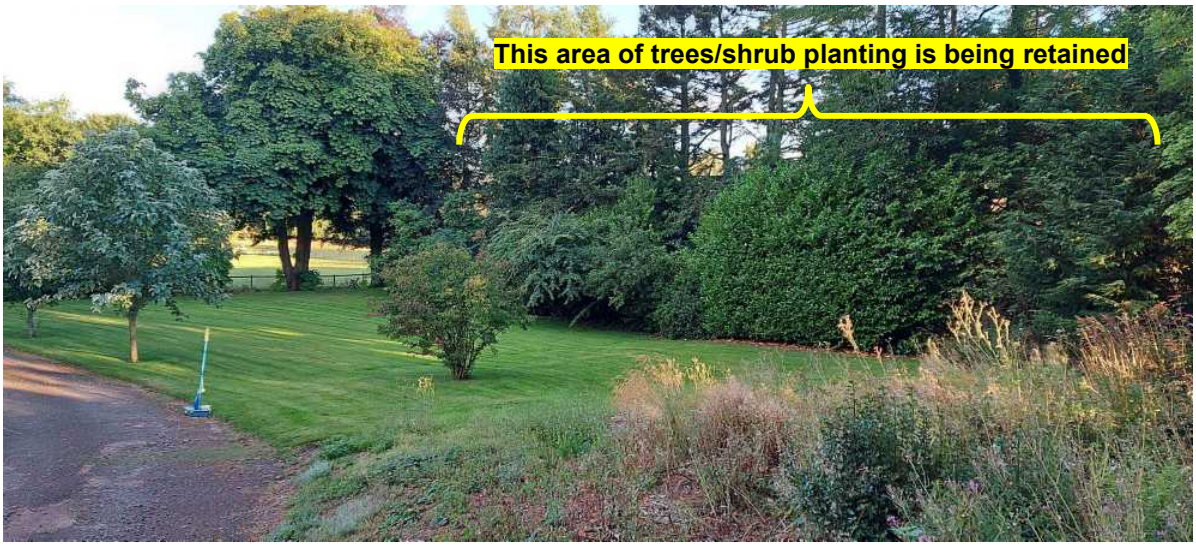
As noted in the report, this is not a material planning consideration

6.3 POST DECISION PLANNER MEETING

7.1 A meeting was arranged with the planner after the refusal notice had been issued and we would note the refusal was unexpected as no feedback had been given to the outcome of the application through the process despite many requests. The meeting was arranged to allow discussion with the planner as to how the project could be moved forward, whether that be an appeal to the Local Review Body, or a new planning application being submitted for a modified proposal.

From the conversation, it became apparent that the planner has made a number of incorrect assumptions which are likely to have influenced the planner's view when making the planning application decision. It was clear the planner had misunderstood a number of issues including the following:

7.2 The planner incorrectly believed the mature tree line and shrub screening around Plot 1 was being removed, however this is not the case as it is being retained. Even though the distance between the proposed house on Plot 1 and the closest neighbour to the south is more than 18m, removal of the screening would clearly alter the relationship between the two buildings and there is no intention to alter this dense screening.



7.3 The planner understood that Plot 2 required significant ground raising and heavy groundworks to achieve the proposed levels. However, in reality the existing levels are being retained with minimal alteration. Plot 2 sits on an existing area of raised ground approximately 1m above the entrance road level. The stone retaining wall around this area was recently renovated to a high standard by the applicant. The misapprehension may also have had some bearing on the planner's refusal decision.

7.4 The planner did not appear to understand the proposed drainage system, and in particular the proposed soakaway which is to be discretely hidden within the woodland in an area of scrubland at the west of the site. The drainage proposal would require careful siting of the drainage pipework from both proposed houses to the septic tank and onward to the soakaway. The details of the drainage layout and protective measures required to avoid impacting the existing trees could be specified in a planning condition.

6.4 SUMMARY AND CONCLUSION

8.1 As stated in the introduction, the applicants have lived on this site for six years and are now hoping to build a new home for their family to live in for the foreseeable, with a second smaller house to be offered for sale or for another family member.

8.2 The original pre-application proposed 3No. new dwellinghouses with associated parking, landscaping and drainage. The pre-application report concluded that there may be some scope for development however it would depend on the detail of any future proposal.

8.3 The report also advised the application would be considered under Section 3.1a of the existing supplementary guidance which supports the erection of a house within established gardens once associated with a country / estate house which provide an appropriate landscape setting.

8.4 Fouin+Bell Architects were appointed by the applicant and a full new planning application was submitted in February 2022. The application sought to address the earlier concerns by reducing the application to only two dwellinghouses that are carefully sited to preserve both the setting of the existing unlisted Duncrievie House and the woodland nature of the site. The perimeter of trees around the western area of the site will be preserved to ensure the amenity of the neighbours is undisturbed and the woodland setting maintained in full.

8.5 The application was refused on three summary reasons for refusal, being the proposal is out of character and does not respect its setting, the proposal does not fit the landscape character of the area and would detract visual amenity of adjacent buildings and would require further tree felling and thirdly that insufficient mitigation was provided for tree loss or management of the woodland.

8.6 Refusal reason 1: Placemaking policy can be difficult to argue as it is often formed by the subjective opinions of planners, applicants and architects that will naturally differ. We however believe the dwellinghouses proposed for this application comply with the policy and are of a character that meets the blends sympathetically with the traditional simple white painted, pitched roof dwellings found elsewhere in Duncrievie. The designs offer a contemporary take on the traditional vernacular and use high quality natural materials that compliment those found in the village.

The placing of the proposed dwellings within the site has been greatly considered to minimise the visual impact both within and outwith the site boundary to ensure the visual amenity of neighbours is not detrimentally affected.

8.7 Refusal reason 2: Housing in the Countryside Policy: The pre-application report advised the application was to be considered under the New Houses in Open Countryside policy as '*proposals for a new house or houses within the original garden ground associated with an existing country or estate house*' with the notion that planning would be supported provided the landscape setting is appropriate and integrity of the site is maintained.

The planning application was submitted on this basis, and we believed would be determined against this policy. However, the refusal notice advised that Planning had changed their position and chosen to determine the application against a different category - building group. This was unfair on the application as it denied the applicant/architect the opportunity to alter the application or add additional information to address this change.

8.8 Refusal reason 3: The insufficient mitigation noted on the refusal could be fully resolved by planning conditions requiring the applicant to provide Tree Planting and Protection (TPP),

Construction Exclusion Zone (CEZ), Arboricultural Impact Assessment and Tree and Woodland Management Plans before beginning on site. None of these reports were requested by the planner during the application process. All of which could be addressed by including a relevant planning condition for each.

8.9 The wrongful assumptions made by the planner officer we believe contributed to the planning outcome. It is clear that a combination of the officer misunderstanding the proposals, an incorrect assumption that significant tree and shrub removals were proposed along with significant ground-raising works which are not required. Along with a general a lack of engagement through the process where important information was not requested, has contributed detrimentally to the application, and led to the refusal.

8.10 As a result of the issues raised, we would respectfully suggest that the Local Review Body reconsider this Refusal Notice and grant the planning approval for this project.

9.0 PROPOSED PLANNING CONDITIONS

9.1 Should the refusal be overturned, potential planning conditions are noted below that could be included in the planning approval:

- Tree planting plan

  Prior to commencement of development, a tree planting plan shall be submitted to and improved in writing by the planning authority. The plan shall detail the numbers, species and size of trees.

- Tree protection plan (TPP)

  No trees, shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled, uprooted, wilfully damaged or destroyed, cut back in any way or removed without the prior written consent of the Local Planning Authority. Any trees, shrubs or hedges removed without such consent, or which die or become severely damaged or seriously diseased with five years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species until the Local Planning Authority gives written consent to any variation.

- Construction exclusion zone (CEZ)

  No development shall take place until detail of trees and shrubs to be removed or retained and tree protection measures have been provided by a qualified arboriculturist and approved in writing by the planning authority. This is to include a full construction method statement including detailed consideration of all construction operations including vehicle movement, the proposed location for storing building materials and the location of scaffolding all out with the Construction Exclusion Zone (CEZ) fence / Root protection Area (RPA) of the trees on/adjacent to the site. Following approval, this is to be carried out on full.

- Tree & woodland management plan (to include factoring of communal landscaped areas)

  Prior to the commencement of development, a Tree and Woodland Management Plan must be submitted and approved by the Planning Authority. The measures outlined in the approved plan shall be fully implemented within six months of the completion of the development.

- Passing place design/discussion

  Prior to the commencement of development, discussion should be undertaken between the applicant, the planning authority and interested parties to establish the exact location, size, construction, and maintenance responsibility of the three proposed passing places on Calfford Brae.

- Construction management plan (CMP)

  Prior to the commencement of development, a construction environmental management plan (CEMP) shall be submitted to and approved in writing by the planning authority. The CEMP (biodiversity) shall include the following:

  a) Risk assessment of potentially damaging construction activities.

  b) Identification of "biodiversity protection zones".

c) Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction.

d) The location and timing of sensitive works to avoid harm to biodiversity features.

e) The times during construction when specialist ecologist needs to be present on site to oversee works.

f) Responsible persons and lines of communication.

g) The role and responsibilities on site of ecological clerk of works or similar competent person.

h) The use of protective fences, exclusion barriers and warning signs.

- Arboricultural impact assessment

  Development shall not commence on site until a detailed Arboricultural Method Statement (AMS) in accordance with BS5837:2012 Trees in relation to design, demolition and construction. Recommendations to be submitted to and approved in writing by the Local Planning Authority.

- Protection of existing perimeter woodland planting

  No trees, shrubs or hedges within the perimeter of the site which are shown as being retained on the approved plans shall be felled, uprooted, wilfully damaged or destroyed, cut back in any way or removed without the prior written consent of the Local Planning Authority. Development shall not commence until details of the proposed landscaping/planting at the site have been submitted to and approved in writing by the planning authority.

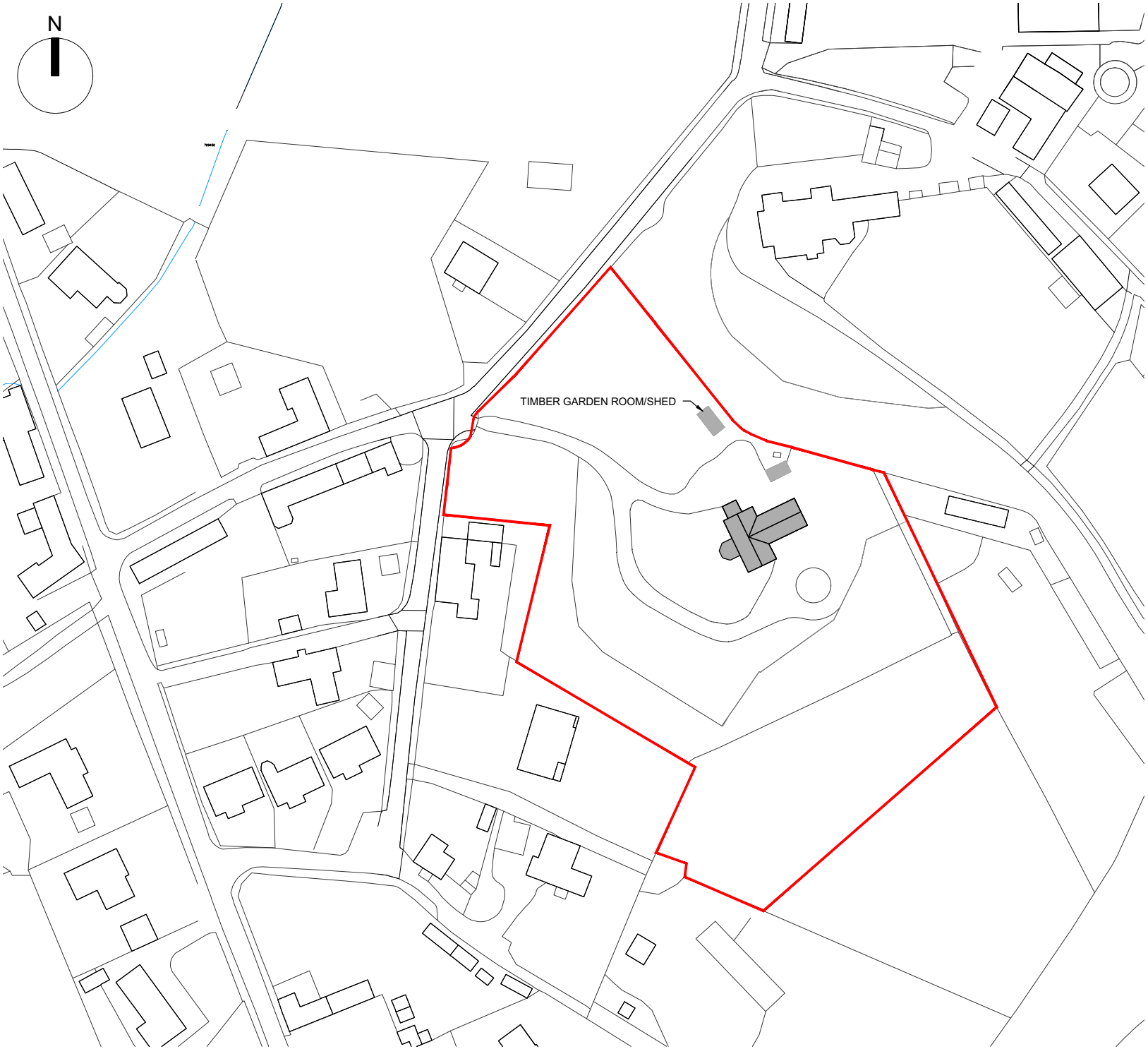
- Enhancement to biodiversity

  Development shall not commence on site until details of proposed enhancement to biodiversity are proposed and approved in writing by the planning authority. This should include landscape design to encourage biodiversity in planting and wildlife and incorporate details of the location and specification of bat and/or swift brick(s) or nest box(s) or other agreed biodiversity encouraging measures as agreed with the Local Planning Authority.

APPENDIX

To be read in conjunction with this report:

- (EX)01A Existing Site layout
- (PL)01B Proposed Site Layout (Dimensions Added)
- (PL)01B Proposed Site Plan (Dimensions Added)
- Site Photos



NOTE:
All proprietary goods and materials are to be fitted in accordance with manufacturer's instructions, Codes of Practice and British Standards.
All dimensions to be verified by the Contractor on site.
Work to figured dimensions only.

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REVISION	DESCRIPTION	DATE
A	Garden room/shed note added	09.08.22

SCALE
0 50m

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1 John's Place Edinburgh EH6 7EL
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mail@fouin-bell.com www.fouin-bell.com

CLIENT
MR & MRS BURGESS

PROJECT
PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE@A1		DATE
1:500 @ A1 / 1:250 @ A3		JAN 2022
DRAWN BY	CHECKED	STAGE
CB	DWB	PLANNING

DRAWING
EXISTING SITE PLAN

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(EX)01	A

NOTE:
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REVISION	DESCRIPTION	DATE
A	Tree removals updated	09.03.22
B	Dimensions to adjacent properties added	09.08.22

Site Area
12,506 m² / 1.25 Hectares / 3.09 Acres

Site Boundary

SCALE
0 50m

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1 John's Place Edinburgh EH6 7EL
T 0131 476 7100 F 0131 476 7111
mail@fouin-bell.com www.fouin-bell.com

CLIENT
MR & MRS BURGESS

PROJECT
PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE(S)		DATE
1:500 @ A1 / 1:250 @ A3		JAN 2022
DRAWN BY CB	CHECKED DWB	STAGE PLANNING

DRAWING
PROPOSED SITE LAYOUT

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(PL)01	B

NOTE:
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A	Tree removals updated	09.03.22
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Site Area
12,506 m² / 1.25 Hectares / 3.09 Acres

Site Boundary

SCALE
0 25m

fouin+bell
architects

MR & MRS BURGESS

PROJECT
PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE(S)		DATE
1:250 @ A1 / 1:500 @ A3		JAN 2022
DRAWN BY CB	CHECKED DWB	STAGE PLANNING

DRAWING
PROPOSED SITE PLAN

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(PL)02	B

SITE PHOTOS

Part of planning appeal submission to Local Review Body

fouin+bell architects

Planning Reference	: 22/00174/FLL
Ward	: P8 Kinross-shire
Applicant	: Ben And Jacqueline Burgess
Address	: Duncrievie House, Duncrievie, Glenfarg, Perth PH2 9PD

fouin+bell architects

Photo 1: View north west to Plot 1 location

Note dense tree shrubbery on left of the photo and screening that affords privacy to nearest neighbouring property (Bennachie)

Photo location

fouin+bell architects

Photo 2: View of tree and shrub screening south of Plot 1

Dense screening to wards the nearest neighbouring property (Bennachie)

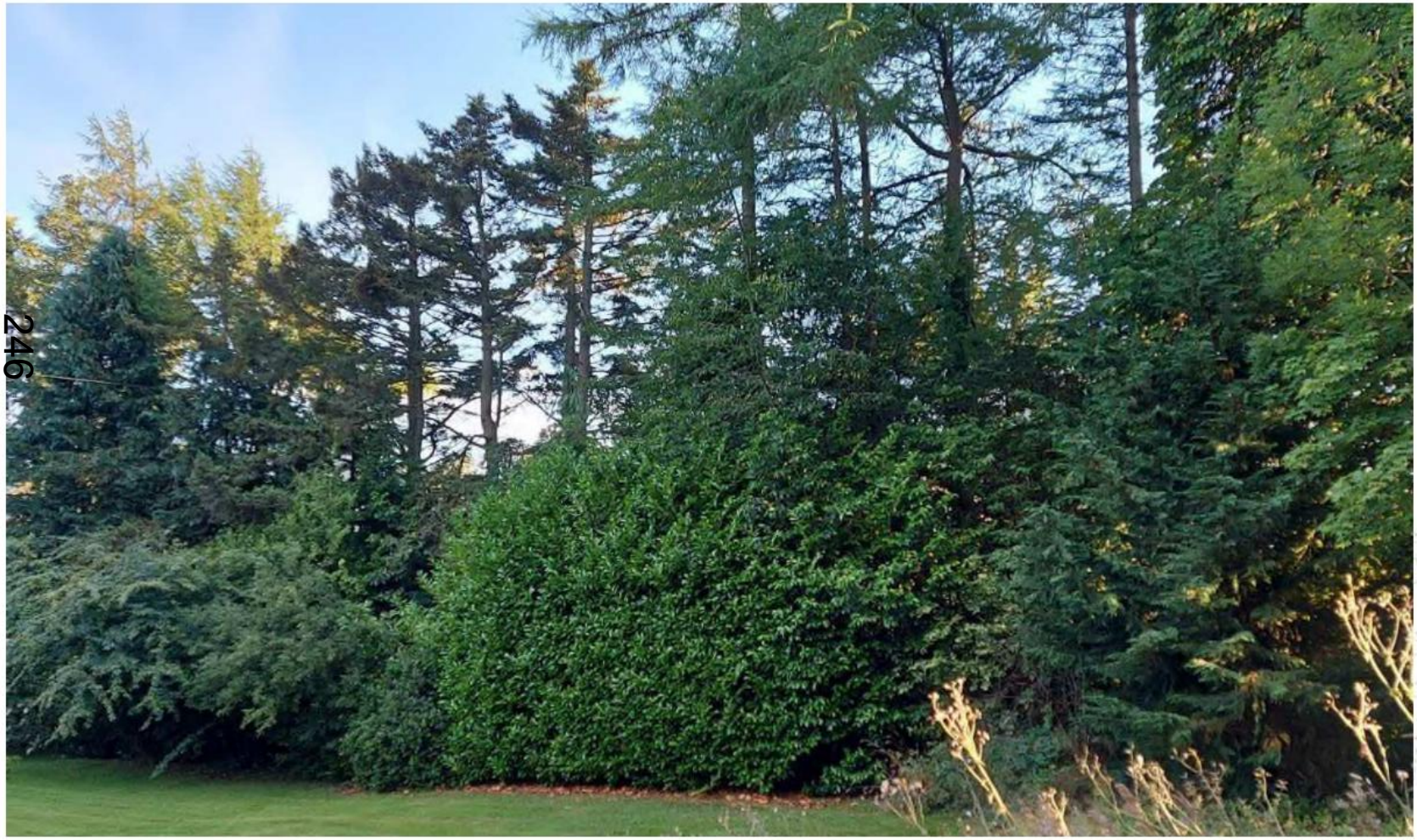


Photo location

fouin+bell architects

Photo 3: View south to Plot 1 location

Note dense tree shrubbery and screening to right of photo that affords privacy to nearest house (Bennachie)

Photo location

fouin+bell
architects

Photo 4: View of mature shrub planting between Duncrievie House and Plot 1

Note this planting to be retained and access road to be formed along its northern edge

Photo location

fouin+bell architects

Photo 5: View of mature shrub planting between Duncrievie House and Plot 1

Note the neighbouring property of Bennachie cannot be seen and the roof of the Coach House can just be seen through the screening

Photo location

fouin+bell architects

Photo 6: View north to Plot 2 location

Note existing raised ground behind recent renovated stone retaining wall (which will be kept)

Photo location

fouin+bell architects

Photo 7: View west to Plot 2 location

Note existing raised ground behind recent renovated stone retaining wall (which will be kept)

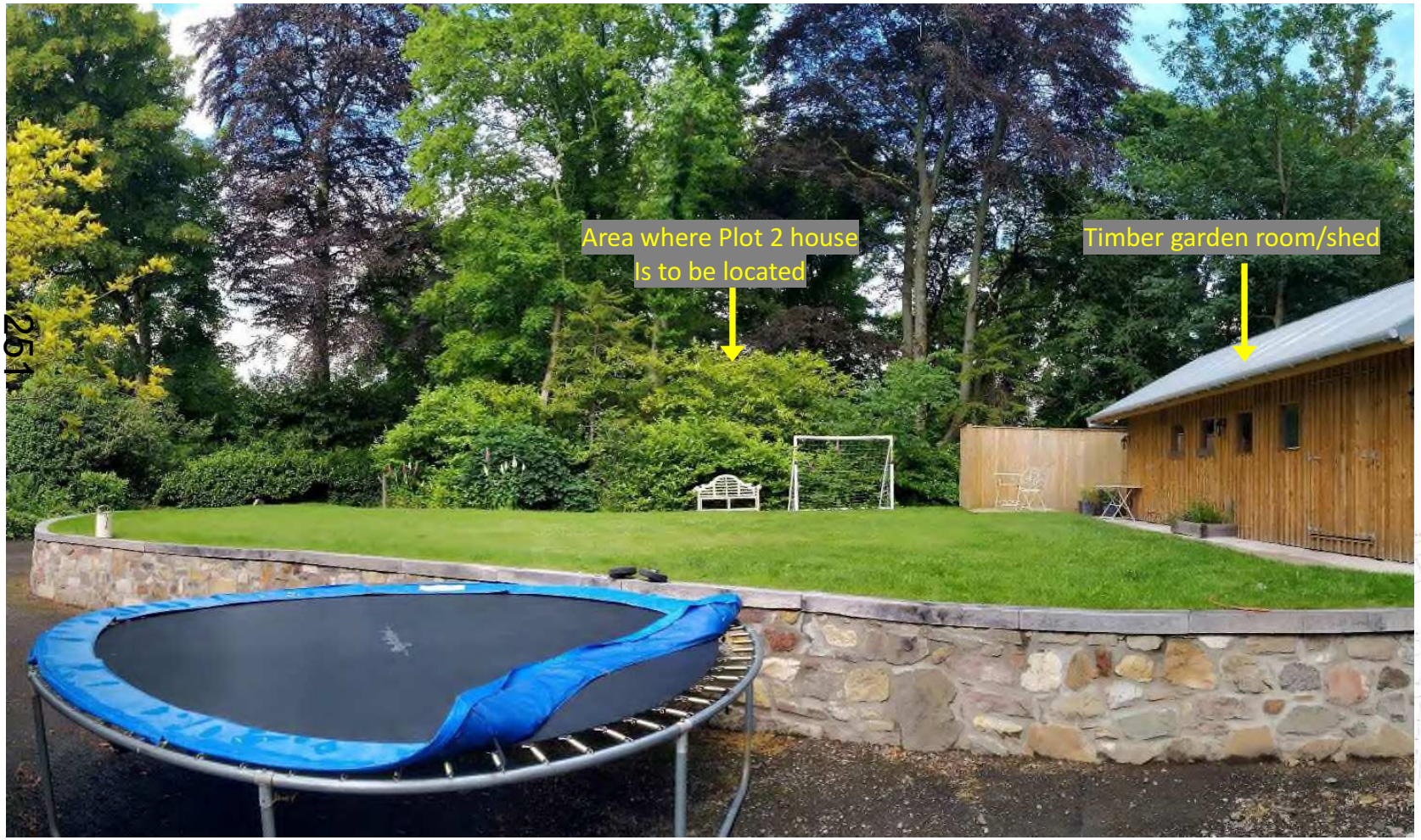


Photo location

LRB-2022-46
22/00174/FLL - Erection of 2 dwellinghouses, a garage and associated works, Duncrievie House, Duncrievie, Glenfarg, PH2 9PD

PLANNING DECISION NOTICE

REPORT OF HANDLING

REFERENCE DOCUMENTS

PERTH & KINROSS COUNCIL

Communities Service

Mr And Mrs Ben And Jacqueline Burgess
c/o Fouin And Bell Architects
Fouin Bell
1 John's Place
Edinburgh
EH6 7EL

Pullar House
35 Kinnoull Street
PERTH
PH1 5GD

Date of Notice:**1st June 2022**

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT

Application Reference: **22/00174/FLL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to refuse your application registered on 21st February 2022 for Planning Permission for **Erection of 2 dwellinghouses, a garage and associated works Duncrievie House Duncrievie Glenfarg Perth PH2 9PD**

David Littlejohn
Head of Planning and Development

Reasons for Refusal

1. The proposed development is contrary to Placemaking Policies 1A and 1B of the Perth and Kinross Local Development Plan 2 (2019). The proposed development does not contribute positively to the built and natural environment, is out of character with its surroundings and does not respect the character of Duncrievie House and its woodland setting.

2. The proposal is contrary to Policy 19, Housing in the Countryside, of the Perth and Kinross Local Development Plan 2 (2019). The scale, layout and design of the development does not have a good fit with the landscape character of the area and the development does not integrate into or enhance the surrounding environment. The proposed houses would detract from the visual amenity of the adjacent building group and impact on the wider landscape setting due to extensive tree and shrub removal and ground engineering proposed within the site. In addition, the resultant residential amenity of the new houses would be severely affected by the retained trees which would lead to pressure for further tree felling.

3. The proposal is contrary to Policy 40A, Forest and Woodland Strategy, of the Perth and Kinross Local Development Plan 2 (2019) that seeks to protect existing trees and woodland. It is also contrary to Policy 40B, Trees, Woodland and Development, of the Perth and Kinross Local Development Plan 2 (2019) which states that there will be a presumption in favour of protecting woodland resources. Development as proposed would result in tree loss for which insufficient mitigation is provided and no information been provided to show how the retained woodland would be protected, managed and enhanced.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

Informatives

1 This application was varied prior to determination, in accordance with the terms of section 32A of the Town and Country Planning (Scotland) Act 1997, as amended. The variations incorporate submission of additional information with regard to ecology, trees and drainage infrastructure, plans 15, 16, 17 and 18. Plan 14 is superseded.

The plans and documents relating to this decision are listed below and are displayed on Perth and Kinross Council's website at www.pkc.gov.uk "Online Planning Applications" page

Plan Reference

01	13
02	14
03	15
04	16
05	17
06	18
07	
08	
09	
10	
11	
12	

REPORT OF HANDLING

DELEGATED REPORT

Ref No	**22/00174/FLL**	
Ward No	**P8- Kinross-shire**	
Due Determination Date	**20th April 2022 Extended to 20th June 2022**	
Draft Report Date	**30th May 2022**	
Report Issued by	**PB**	**Date 1st June 2022**

PROPOSAL: Erection of 2 dwellinghouses, a garage and associated works

LOCATION: Duncrievie House Duncrievie Glenfarg Perth PH2 9PD

SUMMARY:

This report recommends **refusal** of the application as the development is considered to be contrary to the relevant provisions of the Development Plan and there are no material considerations apparent which justify setting aside the Development Plan.

SITE VISIT:

In line with established practices, the need to visit the application site has been carefully considered by the case officer. The application site and its context have been viewed by a variety of remote and electronic means, such as aerial imagery and Streetview, in addition to photographs submitted by interested parties.

In this instance, a physical visit to the site was considered necessary. The application site was visited on **6 April 2022.**

SITE PHOTOGRAPHS

BACKGROUND AND DESCRIPTION OF PROPOSAL

Planning permission is sought for the erection of two dwellinghouses within the grounds of Duncrievie House. Duncrievie House is a large detached villa situated in wooded grounds.

The proposals seek to construct two dwellinghouses one to the northwest of the existing house and one to the southwest. The plot to the northwest (Plot 2, House Type B) would require the felling of around 7 mature trees. A recently erected garden building is sited to the northeast of this proposed site. House Type B is single storey with 3 bedrooms and measures around 20m by 9m. It will have a rendered finish with feature chimney in stone. It is located around 30 metres from the boundary with the public road and around 12 metres from the northeast side of Duncrievie House. The site is on a raised area of ground around 0.8 to 1.2m above the level of the access road.

The other proposed house (Plot 1, House type A) is sited to the southwest and measures around 30 in length and will have 5 bedrooms. There are two elements to the proposal. The north western section of the building is 9.5 by 14m and is over two floors. The 21 m long south eastern section is narrower and generally of one storey with a small mezzanine section. The house will be finished in a mix of timber cladding, render, stone and with a slate roof. The house will be sited around 13 metres from the boundary with the property known as Bennachie. A separate garage measuring 6m wide by 6.5m deep with a pitched roof is located adjacent to a proposed parking area sited to the north west of the house. The house would be

around 22 metres from the front of Duncrievie House. The existing access drive will be relocated closer to Duncrievie House to make room for the house plot and the existing entrance to the access drive into Duncrieive House from Calfford Brae will be re-positioned to the northeast.

There is an area of paddock that is also included in the red line planning boundary to the southeast of the site. This along with other parts of the grounds is proposed as communal landscaping.

SITE HISTORY

20/01686/IPL Residential development (in principle) 4 February 2021 Application Withdrawn

PRE-APPLICATION CONSULTATION

Pre application Reference: 19/00553/PREAPP and 18/00455/PREAPP

NATIONAL POLICY AND GUIDANCE

The Scottish Government expresses its planning policies through The National Planning Framework, the Scottish Planning Policy (SPP), Planning Advice Notes (PAN), Creating Places, Designing Streets, National Roads Development Guide and a series of Circulars.

DEVELOPMENT PLAN

The Development Plan for the area comprises the TAYplan Strategic Development Plan 2016-2036 and the Perth and Kinross Local Development Plan 2 (2019).

TAYplan Strategic Development Plan 2016 – 2036 - Approved October 2017

Whilst there are no specific policies or strategies directly relevant to this proposal the overall vision of the TAYplan should be noted. The vision states *"By 2036 the TAYplan area will be sustainable, more attractive, competitive and vibrant without creating an unacceptable burden on our planet. The quality of life will make it a place of first choice where more people choose to live, work, study and visit, and where businesses choose to invest and create jobs."*

Perth and Kinross Local Development Plan 2 – Adopted November 2019

The Local Development Plan 2 (LDP2) is the most recent statement of Council policy and is augmented by Supplementary Guidance.

The principal policies are:

Policy 1A: Placemaking
Policy 1B: Placemaking
Policy 2: Design Statements
Policy 5: Infrastructure Contributions
Policy 6: Settlement Boundaries

Policy 19: Housing in the Countryside
Policy 31: Other Historic Environment Assets
Policy 32: Embedding Low & Zero Carbon Generating Technologies in New Development
Policy 39: Landscape
Policy 40A: Forestry, Woodland and Trees: Forest and Woodland Strategy
Policy 40B: Forestry, Woodland and Trees: Trees, Woodland and Development
Policy 41: Biodiversity
Policy 52: New Development and Flooding
Policy 53B: Water Environment and Drainage: Foul Drainage
Policy 53C: Water Environment and Drainage: Surface Water Drainage
Policy 53E: Water Environment and Drainage: Water Supply
Policy 54: Health and Safety Consultation Zones
Policy 59: Digital Infrastructure
Policy 60B: Transport Standards and Accessibility Requirements: New Development Proposals

OTHER POLICIES

- Supplementary Guidance - Developer Contributions & Affordable Housing (adopted 2020)
- Supplementary Guidance - Flood Risk and Flood Risk Assessments (adopted in 2021)
- Supplementary Guidance - Housing in the Countryside (adopted in 2020)
- Supplementary Guidance - Landscape (adopted in 2020)
- Supplementary Guidance - Placemaking (adopted in 2020)
- Planning Guidance - Planning & Biodiversity

CONSULTATION RESPONSES

External

Scottish Water
No objection.
No Scottish Water waste water infrastructure in the area. Private treatment option required.

INEOS FPS Ltd
No objection received.

Glenfarg Community Council
Object to the proposals.

Internal

Biodiversity/Tree Officer
Concern with position of drainage infrastructure, soakaway and pipes that may encroach on tree root protection areas.
Information on root protection areas is confusing. A Tree Protection Plan with Construction Exclusion Zone is required.

Transport Planning
No objection subject to conditions with regard to the design of the access, street lighting, siting and detail of passing places and submission of a Construction Traffic Management Scheme.

Development Contributions Officer
Developer contributions required:
Education: £0
Transport Infrastructure: 2 x £2,742
Total: £5,484

Environmental Health (Noise Odour)
Informative note with regard to flue for wood burning stove required.

Conservation Team
No comments or concerns regarding the impact of the proposed development on the setting of the listed building.

REPRESENTATIONS

35 representations from 26 households were received 3 of which support the proposal. The following points were raised in the letters of objection:

- Traffic and road safety – particularly in relation to Calfford Brae, impact on pedestrians, cyclists, horse riders
- Ecological impact – tree loss, habitat loss, impact on protected species
- Residential amenity – overlooking, noise, impact on mental health, stress and anxiety
- Impact on water supply – problem with existing supply
- Over development
- Out of character – not in keeping with building line
- Loss of visual amenity
- Would like details of new building in the grounds
- Decrease in property value
- How would title be sub-divided.

The last two points are not material planning considerations.

ADDITIONAL STATEMENTS

Screening Opinion	EIA Not Required
Environmental Impact Assessment (EIA): Environmental Report	Not applicable
Appropriate Assessment	AA Not Required
Design Statement or Design and Access Statement	Submitted
Report on Impact or Potential Impact eg Flood Risk Assessment	Tree and Ecological Survey Submitted

APPRAISAL

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for the area comprises the approved TAYplan and the adopted LDP2.

In this instance, section 14(2) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 places a duty on planning authorities in determining such an application as this to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

The determining issues in this case are whether; the proposal complies with development plan policy; or if there are any other material considerations which justify a departure from policy.

Policy Appraisal

The site lies within the 'landward' area in the adopted Perth and Kinross Local Development Plan 2 (2019) and as such the proposal falls to be principally considered against Policy 19 'Housing in the Countryside' and its associated 2020 Supplementary Planning Guidance (SPG) on 'Housing in the Countryside', which is the most recent expression of Council policy towards new housing in the open countryside.

The Policy and SPG recognises that opportunities exist for housing in rural areas to support the viability of communities, meet development needs in appropriate locations while safeguarding the character of the countryside as well as ensuring that a high standard of siting and design is achieved. The development of single houses or groups of houses which fall within the following six identified categories will be supported:

1. Building Group;
2. Infill sites;
3. New houses in the open countryside on defined categories of sites as set out in section 3 of the Supplementary Guidance;
4. Renovation or replacement of houses;
5. Conversion or replacement of redundant non-domestic buildings; and
6. Development on rural brownfield land.

Pre-application advice offered in 2019 suggested that the proposal could fall within Category 3.1a which supports the erection of a house within established gardens once associated with a country/estate house, which provide an appropriate landscape setting, but where development would not fundamentally affect the qualities and integrity on the site. Advice was given that development supported under this category would normally be for a single house. The aim of the policy being to provide a complementary property to an existing estate. Having visited the site it is apparent that this category is not appropriate in this case. The grounds do not relate to an estate and the house grounds are relatively modest and cannot

realistically accommodate additional multiple houses without fundamentally affecting the qualities and integrity of the site.
Having visited the site it is considered that the Building Group section of the housing in the countryside is relevant. In particular in this case the site is considered to be adjacent to an existing building group where permission may be granted for houses which extend the building group into a readily definable adjacent site. This will be formed by existing topography, roads or well-established existing landscape features which would provide a suitable setting. In this case the site boundary includes the wooded grounds of Duncrievie House as well as part of an adjacent field. This section in particular appears to be unrelated to the proposed development and does not meet the policy criteria for being a part of a ”readily defined adjacent site”.

The following criteria should also be met:

- New housing will respect the character, scale and form of the existing group, and will be integrated into the existing layout and building pattern.
- New housing will not detract from the visual amenity of the group when viewed from the wider landscape
- A high standard of residential amenity will be provided for both existing and new housing

The pattern of development varies in the area with relatively tightly laid out development to the west of the site. This partly reflects the fact that this section of Duncrievie has previously had a defined settlement boundary. This boundary did not include Duncrievie House or the listed building of Duncrievie Cottae to the northeast. This area has a different character and building pattern with Duncrievie House set within mature woodland, a distinct contrast to the more built-up areas of Duncrievie to the west. In this case it is considered that the proposal would not integrate well into the existing layout and building pattern. The landscape that provides the setting for Duncrievie House also contributes to the setting of the adjacent building group which would be compromised by the proposed development within the house grounds. The proposed houses would detract from the visual amenity of the group due to the impact on the wider landscape with the houses requiring extensive tree and shrub removal and ground engineering within the site that would destroy the landscaped setting of Duncrievie House. In addition, the resultant residential amenity of the new houses would be severely affected by the retained trees which would likely lead to pressure for further tree felling.
It is concluded that the landscaped wooded grounds of Duncrievie House contribute to the setting of Duncrievie village and the adjacent building group and that development within the grounds would detract from the setting of Duncrievie House and the building group.

The “For All Proposals” section of the policy is also relevant in particular:

A Successful, Sustainable Place

i) Placemaking – proposals should comply with placemaking standards, and

iii) Scale, layout and design should have a good fit with the landscape character of the area and integrate the development into its setting and also enhance the surrounding environment:

A Natural, Resilient Place

i) Should make a positive contribution to biodiversity

Placemaking and other elements of the proposal will be considered in the report below.

Design and Layout

Placemaking policies require developments to contribute positively to the quality of the surrounding built and natural environment. Housing in the Countryside "For All Proposals" criteria requires developments to enhance the surrounding environment. The proposed development is out of character with its surroundings, does not respect the character of Duncrievie House and its landscaped setting and does not respect the surrounding woodland setting. Plot 1, House Type A is of a scale and location that competes with the traditionally styled Duncrievie House and has an overbearing presence within the landscaped grounds. Whilst the house on plot 2, type B is more modest the removal of a seven large trees to facilitate the development compromises the character of the landscaped setting and does not enhance the built or natural environment.

The proposals are contrary to Placemaking policies.

Landscape

The site is part of a long established woodland area that is associated with the landscaped grounds of Duncrievie House. The woodland is an important feature and contributes positively to the built and natural environment. There will be a significant landscape impact from the felling of trees required to construct the new house on plot 2. This area of woodland is already under pressure from new structures in the grounds in including a large new garden building which is visible through the trees from Calfford Brae. This along with other infrastructure within the wood such as a tall wooden tower structure has already led to tree loss in the area and has caused a dilution of the landscaped setting of Duncrievie House, Duncreivie Cottage and Calfford Brae. Further tree removal and construction within the grounds will have a detrimental impact on the character of the area.

The Council's Tree Officer has been consulted and is also concerned with a number of aspects in the tree report including there being no assessment of the impact of the proposed drainage infrastructure, soakaway and pipes on the tree root protection areas and the lack of a Tree Protection Plan and Construction Exclusion Zone detail.

The proposal is contrary to Policy 40A, Forest and Woodland Strategy that seeks to protect existing trees/woodland and is also contrary to Policy 40B; Trees, Woodland and Development which states that there will be a presumption in favour of protecting woodland resources. Development as proposed would result in tree loss

for which insufficient mitigation is provided and no information been provided to show how the retained woodland would be managed and enhanced.

Residential Amenity

There has been concern from objectors that the proposals would result in a loss of amenity from overlooking. However the distance from the boundary with other properties is within the Council's guidance and there will not be any adverse impact in terms of overlooking or overshadowing of neighbouring land from the new development.

However the position of the houses in close proximity to trees is likely to result in a low amenity in terms of natural light into the houses and sunlight into garden areas which is likely to result in pressure to remove further trees following occupation.

Visual Amenity

The proposals will have an adverse impact on visual amenity, weakening the landscaped setting of Duncrievie and the setting of Duncrievie House.

Roads and Access

The new properties will access the U67 Calfford Brae via a realigned vehicle access, which will give better visibility to the left and right of the current vehicle access in Duncrievie House. If approved Transport Planning recommend a condition to secure the construction of the new vehicle access in accordance with Perth & Kinross Council's Road Development Guide. The existing access will be closed off. Within the site, the applicant has provided a turning area between the plots and Duncrievie House, which will allow for example delivery vehicles to turn within the site.

The applicant has provided sufficient parking for each of the dwellinghouses and is in accordance with the National Roads Development Guide.

The Streetlighting Partnership have advised that the current Streetlighting system shall be extended along the U67 Calfford Brae to cover the new vehicle access to the development, a condition is recommended to secure its design and installation.

A number of concerns have been raised in representations received about the increased use of Calfford Brae and to the address some of these concerns raised, the applicant has proposed to install passing places on the Brae to help alleviate the comments addressed by neighbours. The suitability of the Passing Places has been discussed with the Roads Maintenance Partnership through consultation on this planning application and they have raised a concern about the deliverability of Passing Place 2 and 3 on the plan due to bedrock in the area. However, it may be possible to deliver a passing place in alternative location near the top of the Brae, meaning that motorists would have a place to wait at both the top and bottom of the Brae should there by anyone using the Brae. This application is being refused however if approved a condition is recommended to enable further discussion and design of the passing place on the U67 Calfford Brae.

A Construction Management Plan is also recommended for the site, to take cognisance of the comments raised by neighbours about Calfford Brae and to get agreed routes that construction traffic will use to the site.

Drainage and Flooding

The new properties will utilise a private waste water treatment system with Klargester septic tank to be located to the northwest of the site close to the site entrance and close to the boundary with the Coach House. This area is currently well vegetated with mature trees around the edge. The drainage report does not give any indication of the extent of tree felling or vegetation clearance to incorporate this infrastructure and the location of this infrastructure is not identified in the accompanying tree survey. In addition, the surface water soakaways proposed for both houses are close to existing trees. The drainage for Plot 1 in particular is likely to impact on the root protection area of trees to be retained along the boundary. An arboricultural impact assessment is required to fully assess the impacts and implications of drainage construction so close to existing trees.

There has been concern that the proposals will impact on the existing water supply. Scottish Water has commented and states that there is capacity in the Glenfarg Water Treatment Works but that further investigations may be required.

Conservation Considerations

The property is not listed nor within a conservation area. However policy 31 refers to other historic environment assets. Duncrievie House and its landscape grounds is a historic asset. The scale and location of development within the grounds is not compatible with the character and setting of this asset. Duncrievie Cottage to the north is a listed building however the cottage is far enough away not to be directly affected by the proposed development although the gradual erosion of the wooded grounds at Duncrievie could ultimately impact on the setting of Duncrievie Cottage.

Natural Heritage and Biodiversity

A Preliminary Ecological Appraisal has been submitted to accompany the application. This concluded that there is limited habitat diversity on site and that the proposed development is unlikely to have any significant effects on habitats or species. The Biodiversity Officer commented on this report when it was submitted initially to support the earlier application. The contents of the revised report are considered sufficient to assess the existing biodiversity on the site.

Policy 40 requires all proposals to enhance biodiversity. If this application is approved further information would be required to demonstrate how biodiversity is to be enhanced by the proposals.

Developer Contributions

Primary Education

The Council Developer Contributions Supplementary Guidance requires a financial contribution towards increased primary school capacity in areas where a primary

school capacity constraint has been identified. A capacity constraint is defined as where a primary school is operating at over 80% and is likely to be operating following completion of the proposed development, extant planning permissions and Local Development Plan allocations, at or above 100% of total capacity.

This proposal is within the catchment of Arngask Primary School.

Education & Children's Services have no capacity concerns in this catchment area at this time.

Transport Infrastructure

The Council Transport Infrastructure Developer Contributions Supplementary Guidance requires a financial contribution towards the cost of delivering the transport infrastructure improvements which are required for the release of all development sites in and around Perth.

The site is located in the 'Reduced' Transport Infrastructure contributions zone (Appendix 3 of the Supplementary Guidance)

Summary of Requirements

Education: £0

Transport Infrastructure: 2 x £2,742

Total: £5,484

Economic Impact

The economic impact of the proposal is likely to be minimal and limited to the construction phase of the development.

VARIATION OF APPLICATION UNDER SECTION 32A

This application was varied prior to determination, in accordance with the terms of section 32A of the Town and Country Planning (Scotland) Act 1997, as amended. The variations incorporate submission of additional information with regard to ecology, trees and drainage infrastructure, plans 15, 16, 17 and 18. Plan 14 is superseded.

PLANNING OBLIGATIONS AND LEGAL AGREEMENTS

None required.

DIRECTION BY SCOTTISH MINISTERS

None applicable to this proposal.

CONCLUSION AND REASONS FOR DECISION

To conclude, the application must be determined in accordance with the adopted Development Plan unless material considerations indicate otherwise. In this respect, the proposal is considered to be contrary to the Development Plan. Account has been taken of the relevant material considerations and none has been found that would justify overriding the adopted Development Plan.

Accordingly the proposal is refused on the grounds identified below.

Conditions and Reasons

1 The proposed development is contrary to Placemaking Policies 1A and 1B of the Perth and Kinross Local Development Plan 2 (2019). The proposed development does not contribute positively to the built and natural environment, is out of character with its surroundings and does not respect the character of Duncrievie House and its woodland setting.

2 The proposal is contrary to Policy 19, Housing in the Countryside, of the Perth and Kinross Local Development Plan 2 (2019). The scale, layout and design of the development does not have a good fit with the landscape character of the area and the development does not integrate into or enhance the surrounding environment. The proposed houses would detract from the visual amenity of the adjacent building group and impact on the wider landscape setting due to extensive tree and shrub removal and ground engineering proposed within the site. In addition, the resultant residential amenity of the new houses would be severely affected by the retained trees which would lead to pressure for further tree felling.

3 The proposal is contrary to Policy 40A, Forest and Woodland Strategy, of the Perth and Kinross Local Development Plan 2 (2019) that seeks to protect existing trees and woodland. It is also contrary to Policy 40B, Trees, Woodland and Development, of the Perth and Kinross Local Development Plan 2 (2019) which states that there will be a presumption in favour of protecting woodland resources. Development as proposed would result in tree loss for which insufficient mitigation is provided and no information been provided to show how the retained woodland would be protected, managed and enhanced.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

Informatives

1 This application was varied prior to determination, in accordance with the terms of section 32A of the Town and Country Planning (Scotland) Act 1997, as amended. The variations incorporate submission of additional information with

regard to ecology, trees and drainage infrastructure, plans 15, 16, 17 and 18. Plan 14 is superseded.

Procedural Notes

Not Applicable.

PLANS AND DOCUMENTS RELATING TO THIS DECISION

01

02

03

04

05

06

07

08

09

10

11

12

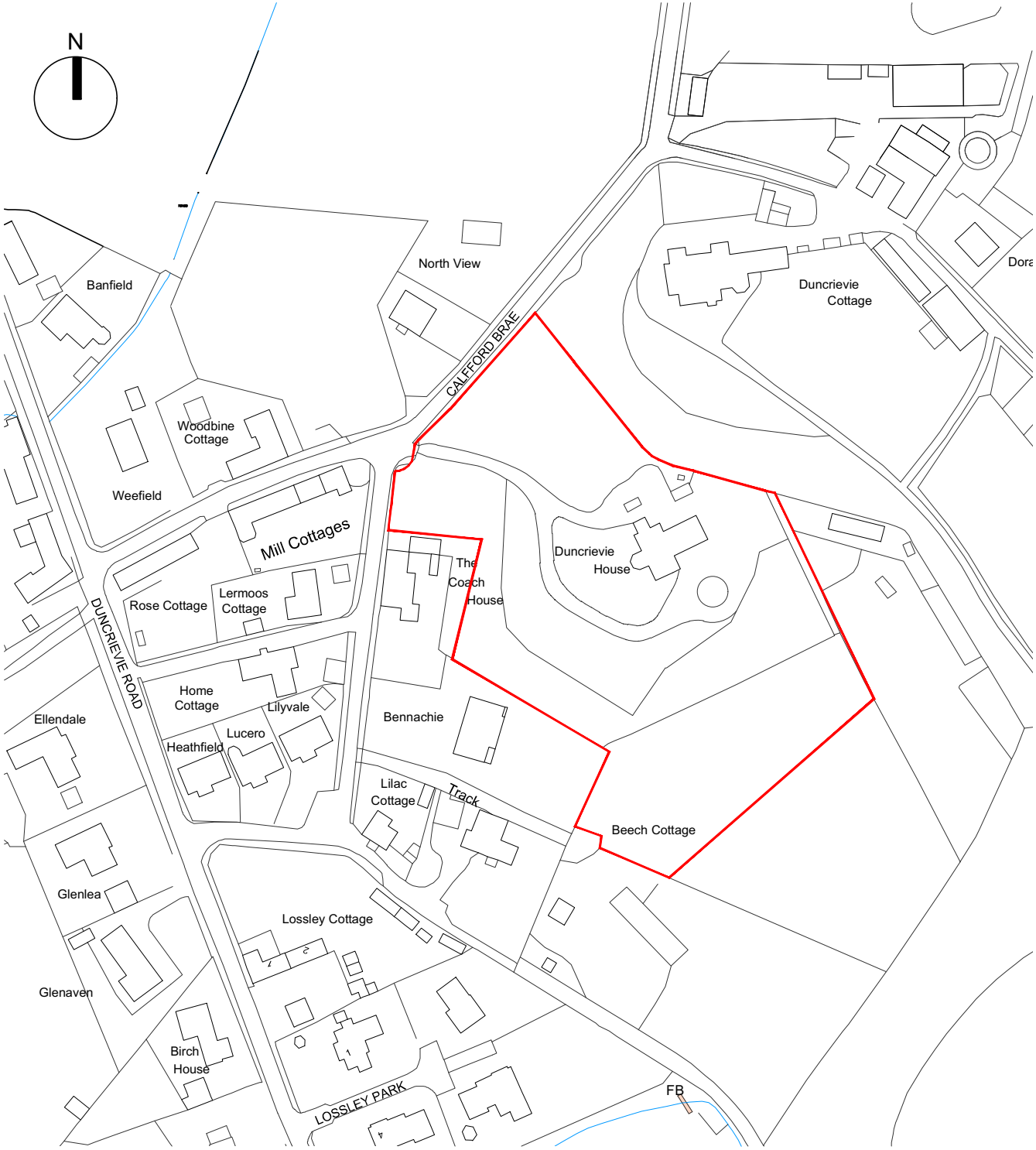
13

15

16

17

18



NOTE:
All proprietary goods and materials are to be fitted in accordance with manufacturer's instructions, Codes of Practice and British Standards.
All dimensions to be verified by the Contractor on site.
Work to figured dimensions only.

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REVISION / DESCRIPTION / DATE

SITE BOUNDARY

SCALE 1:1250

0 60m

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mail@fouin-bell.com www.fouin-bell.com

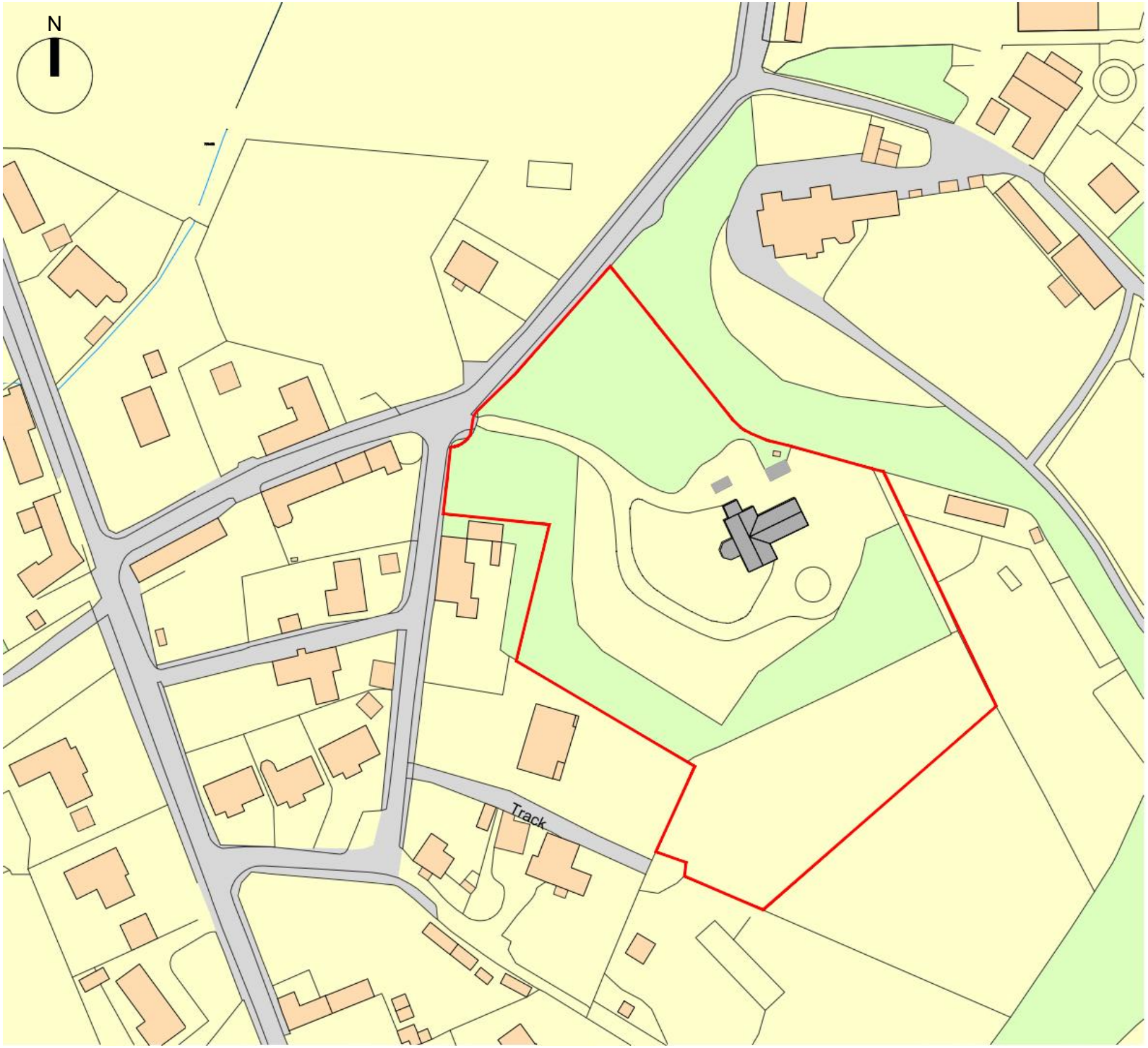
CLIENT
MR & MRS BURGESS

PROJECT
PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE@A1		DATE
1:1250 @ A3		JAN 2022
DRAWN BY	CHECKED	STAGE
CB	DWB	PLANNING

DRAWING
LOCATION PLAN

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(LOC)01	-



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REVISION / DESCRIPTION / DATE

SCALE
0 50m

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PROJECT
PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE@A1		DATE
1:500 @ A1 / 1:250 @ A3		JAN 2022
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DRAWING
EXISTING SITE LAYOUT

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(EX)01	-

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REVISION / DESCRIPTION / DATE

Site Area
12,506 m² / 1.25 Hectares / 3.09 Acres

Site Boundary

SCALE
0 25m

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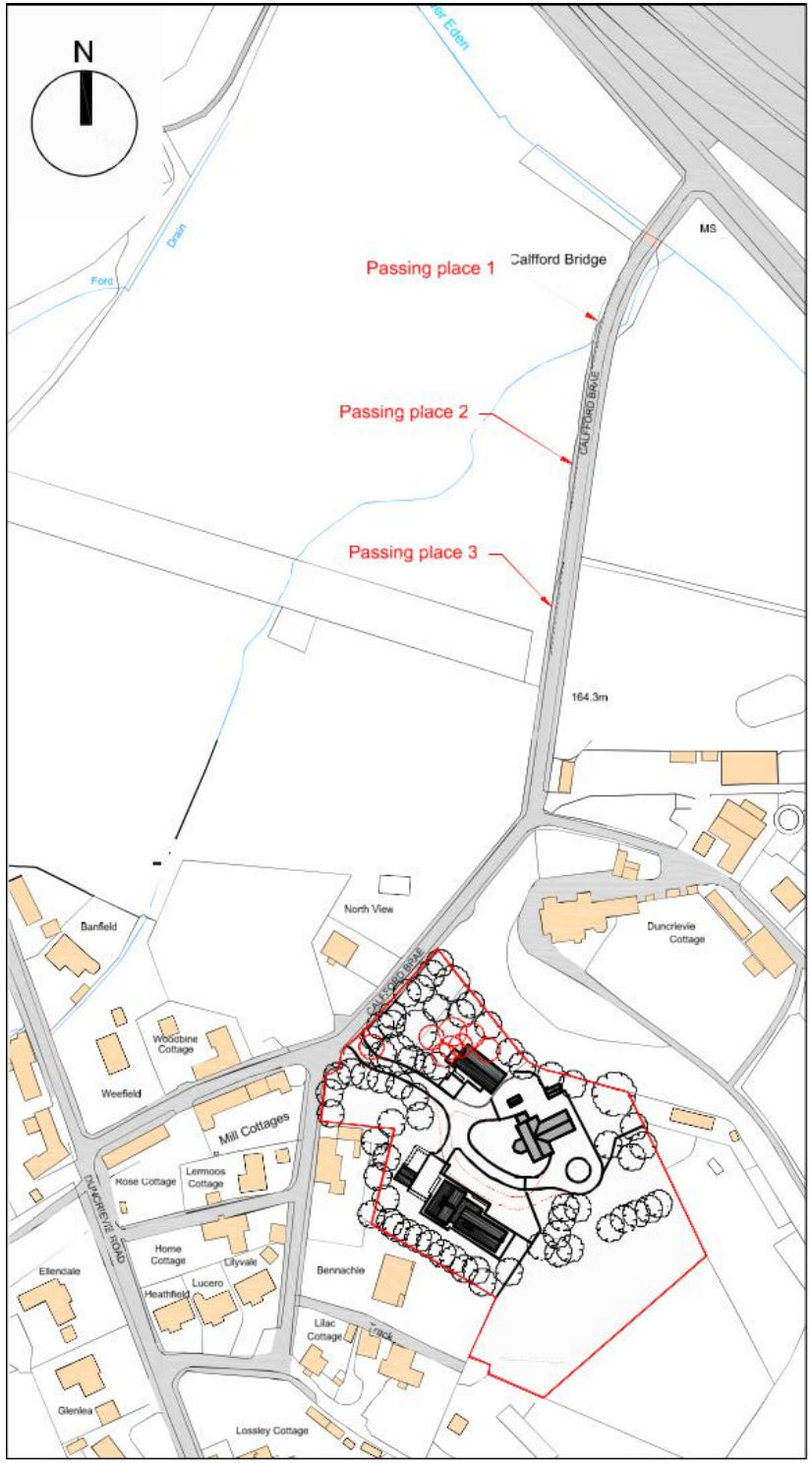
PROJECT
PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE(S)		DATE
1:250 @ A1 / 1:500 @ A3		JAN 2022
DRAWN BY: CB	CHECKED: DWB	STAGE: PLANNING

DRAWING
PROPOSED SITE PLAN

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(PL)02	-



Passing place 1

Passing place 2

Passing place 3

PROPOSED PASSING PLACES

In addition to the planning application, it has been agreed that subject to planning approval, two new passing places will be constructed on Calfford Brae by the applicant. This is intended to improve the safety of pedestrians, cyclists and car users of the narrow road.

NOTE:
All prime goods and materials are to be fitted in accordance with manufacturer's instructions, Codes of Practice and British Standards
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REVISION / DESCRIPTION / DATE

SCALE 1:1250

0 60m

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PROJECT

PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE(S)		DATE
1:2000 @ A3		JAN 2022
DRAWN BY CB	CHECKED DWB	STAGE PLANNING

DRAWING

PROPOSED PASSING PLACES PLAN

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(PL)05	-

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REVISION / DESCRIPTION / DATE

Site Area
12,506 m² / 1.25 Hectares / 3.09 Acres

Site Boundary

SCALE
0 50m

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PROJECT
PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE(S)		DATE
1:500 @ A1 / 1:250 @ A3		JAN 2022
DRAWN BY: CS	CHECKED: DWB	STAGE: PLANNING

DRAWING
PROPOSED SITE LAYOUT

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(PL)01	-

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REVISION / DESCRIPTION / DATE

8No. Trees require to be removed for the proposed development.

Please refer to the 'Tree Survey and Initial Appraisal' document for further information.

Tree removals

SCALE
0 25m

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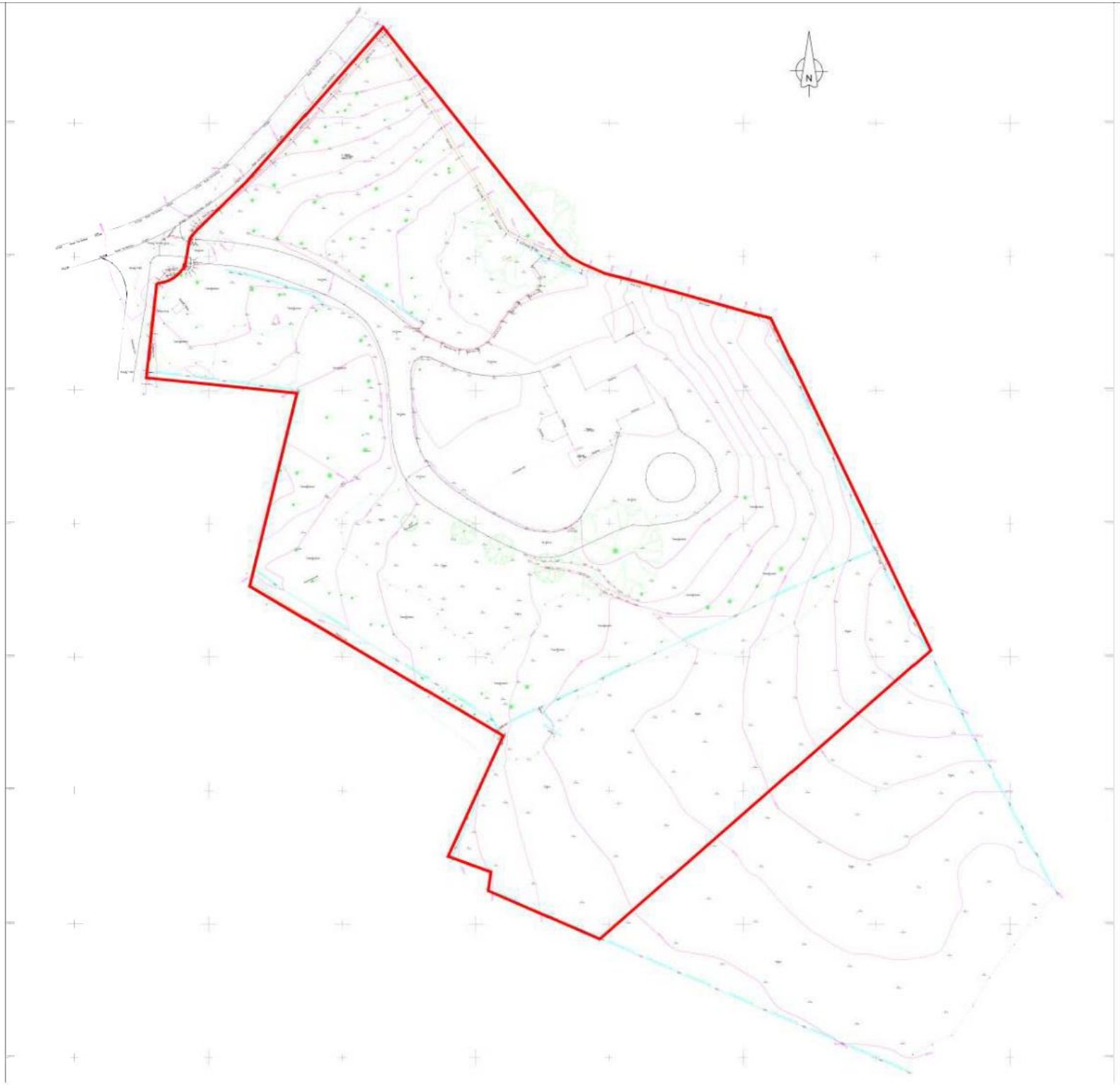
PROJECT
PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE		DATE
1:250 @ A1 / 1:500 @ A3		JAN 2022
DRAWN BY CB	CHECKED DWB	STAGE PLANNING

DRAWING
PROPOSED TREE REMOVALS PLAN

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(PL)04	-



Legend

Boreholes
Gate
Tree
Trial Pit
Control Station
Marker
Stump

Abbreviations

Notes

Station No.	Description	Control Station		
		Northing (m)	Easting (m)	Level (m)
1	Nail in tar	537537.397	790337.748	179.197
2	Nail in tar	537537.307	790337.461	179.192
3	Nail in tar	537535.307	790372.487	179.172

SCALE 1:250

Revision	Description	Date

Benchmark Land Surveys

21 Pitcorthie Road
Dundee DD3 9SZ
T: 07427 623640
E: info@benchmarklandsurveys.com
www.benchmarklandsurveys.com

Project
Gunzieville House - Glenfarg

Title
Topographic Survey - 3d

Drawn by	Checked	Size
MN	MN	A0

Drawing Number	Revision	Scale
644/1		1:250

Date 11/9/20

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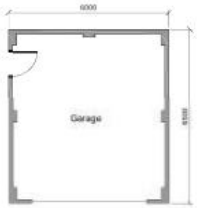
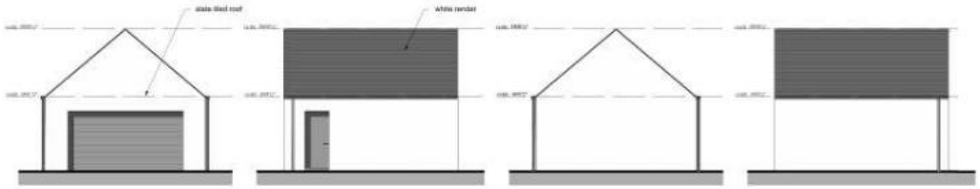
REVISION / DESCRIPTION / DATE

Roof Plan



Plan



Front Elevation | Side Elevation | Rear Elevation | Side Elevation

SCALE

0 10m

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CLIENT

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PROJECT

PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE@A1		DATE
1:200 @ A3		JAN 2022
DRAWN BY	CHECKED	STAGE
CB	DWB	PLANNING

DRAWING

DOUBLE GARAGE
PROPOSED PLANS & ELEVATIONS

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(PL)12	

West Elevation

South Elevation

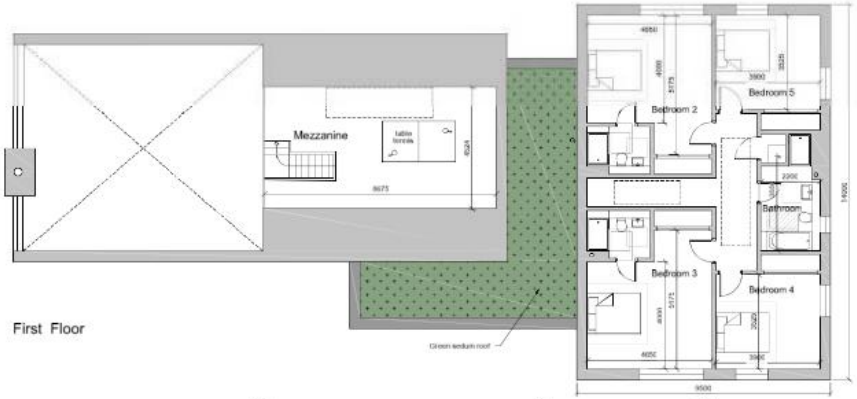
Typical Section (One storey)

East Elevation

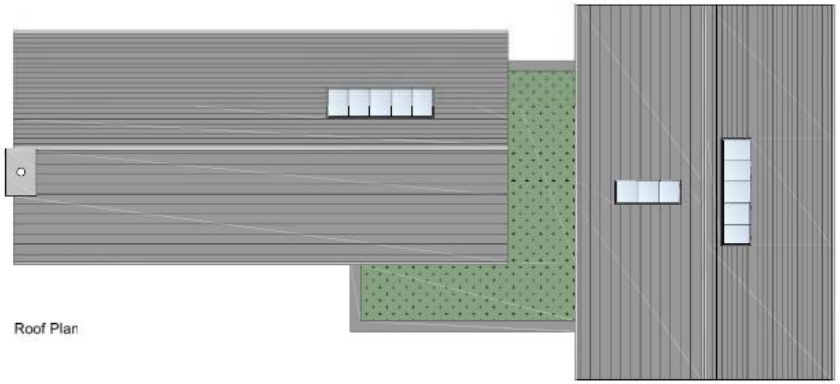
North Elevation

Typical Section (Two storey)

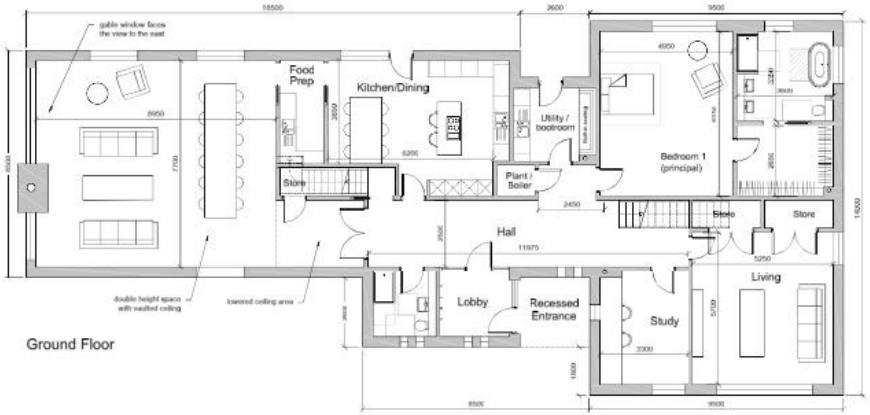
Typical Section (Two storey)



First Floor



Roof Plan



Ground Floor

SCALE

0 10m

NOTE:
All proprietary goods and materials are to be fitted in accordance with manufacturer's instructions, Codes of Practice and British Standards.
All dimensions to be verified by the Contractor on site.
Work to figured dimensions only

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REVISION / DESCRIPTION / DATE

fouin+bell architects

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mail@fouin-bell.com www.fouin-bell.com

CLIENT
MR & MRS BURGESS

PROJECT
PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE	DATE
1:200 @ A3	JAN 2022

DRAWN BY	CHECKED	STAGE
CB	DWB	PLANNING

DRAWING
HOUSETYPE A - PROPOSED
PLAN, ELEVATIONS & SECTIONS

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(PL)10	

NOTE
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All dimensions to be verified by the Contractor on site.
Work to figured dimensions only

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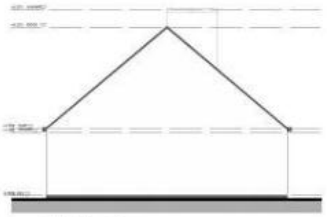
REVISION / DESCRIPTION / DATE

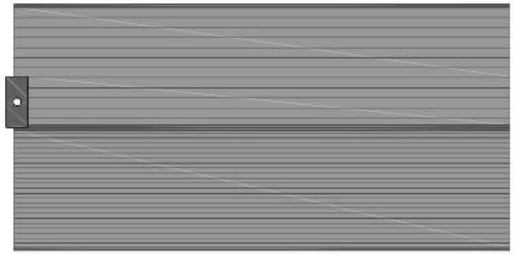
Front Elevation

End Elevation



End Elevation

Rear Elevation



Roof Plan

Typical Section

Floor Plan

SCALE

0 10m

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CLIENT

MR & MRS BURGESS

PROJECT

PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

SCALE@A1		DATE
1:200 @ A3		JAN 2022
DRAWN BY CB	CHECKED DWB	STAGE PLANNING

DRAWING

HOUSETYPE B - PROPOSED
PLAN, ELEVATIONS & SECTIONS

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(PL)11	-

LANDSCAPING AREAS

Total area of communal planting	6493m²
Total area of front gardens	1078m²
Total area of rear gardens	2204m²
Total area of new private driveways	201m²
Total area of existing parking area	761m²
Area of road	594m²

Site Boundary

SCALE 0 25m

fouin + bell architects

MR & MRS BURGESS

PROJECT
PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE

1:250 @ A1 / 1:500 @ A3		JAN 2022
CB	DWB	PLANNING

PROPOSED LANDSCAPING PLAN

PROJECT NUMBER	DRAWING NUMBER	REVISION
21-164	(PL)03	-

3.0 SITE AND AREA APPRAISALS

3.1 Context – Local architecture

Traditional cottage in poor condition on Calfford Brae

Bennachie, located on the southern boundary of the application site

Buff harled cottage on Calfford Brae

Stone fronted cottage on Calfford Brae

3.1 Context – Local architecture

Traditional cottage on Duncrievie Road

Traditional cottage on Duncrievie Road

1.5 storey house on Duncrievie Road

Traditional 1 and 2 storey house on Duncrievie Road

C Listed Rose Cottage at junction of Calfford Brae and Duncrievie Road

Extended cottage on Duncrievie Road

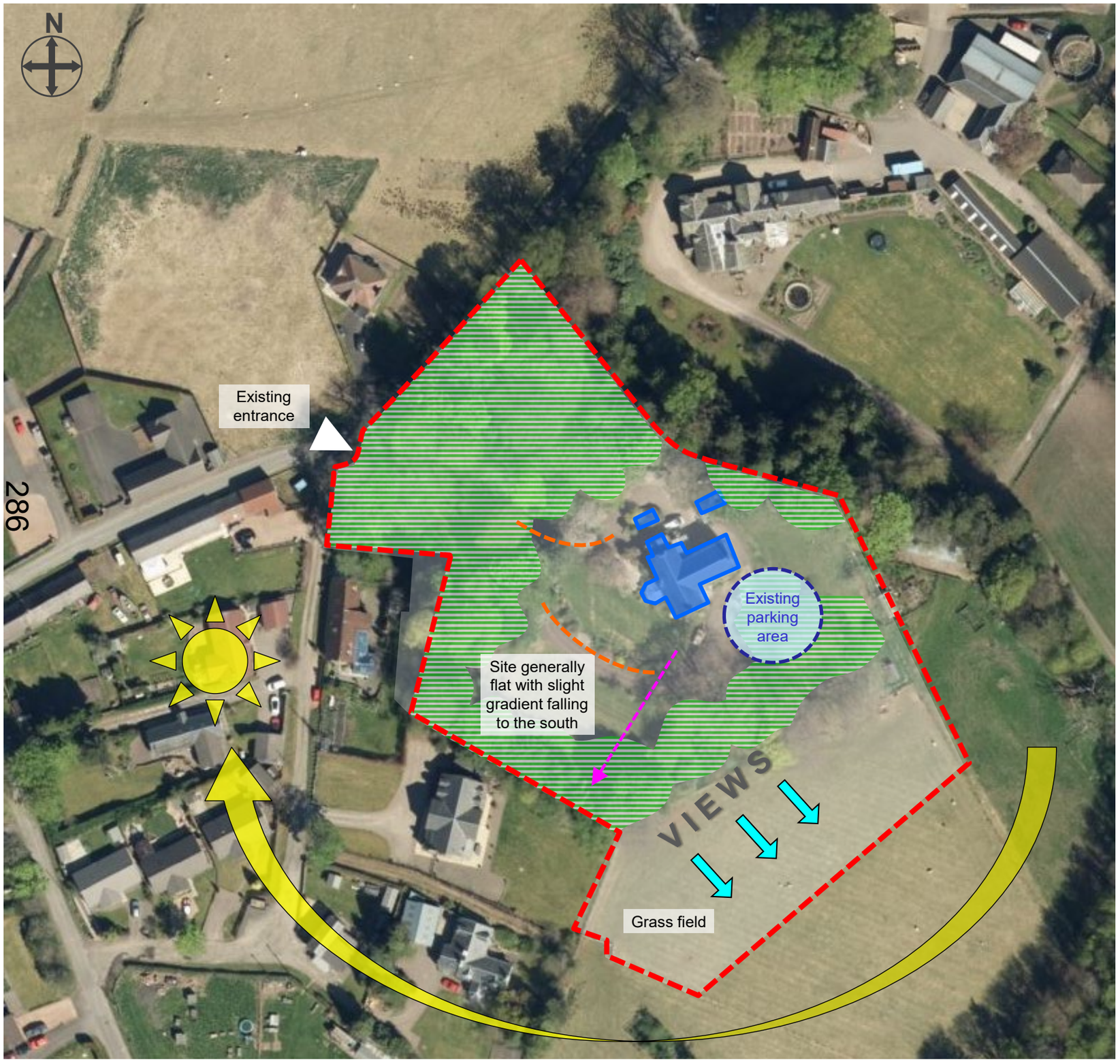
1.5 storey house on Lossley Park

Cottage on Lossley Park

3.2 Site Appraisal

The site is accessed from Calfford Brae through a stone wall entrance. The topography of the site is generally flat with a gentle slope from north to south.

Dense tree planting on all sides screens the site from the village. There are views across open fields to the south east where the tree planting is lighter.



Heavily wooded area

Existing buildings to be retained

Minor retention at existing road

Painted stone finish & slate tiles

Painted stone finish & slate tiles

White painted render & slate tiles

Rubble stone wall, clay pantile roof

Buff harling & clay tiles roof

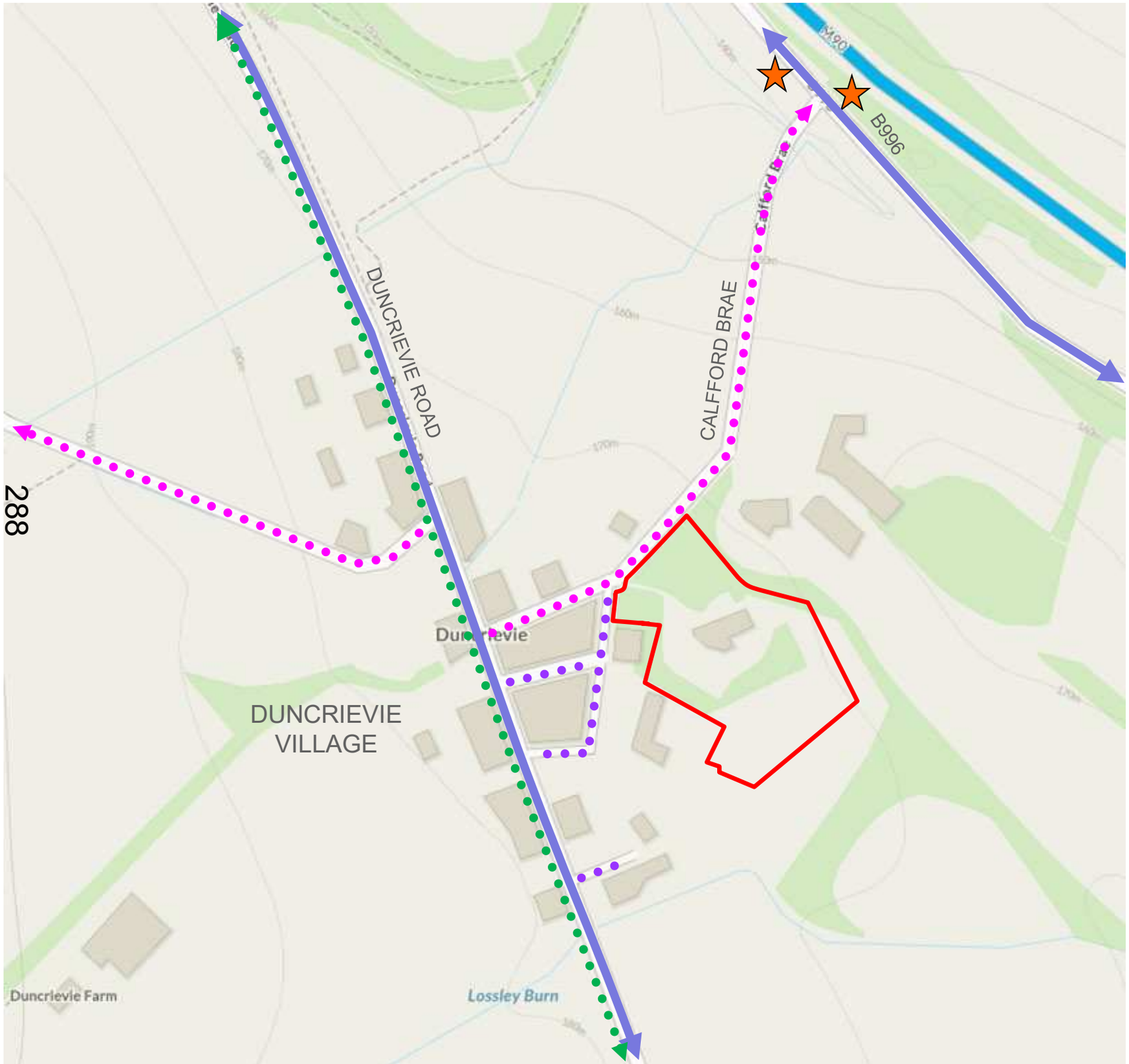
Rubble stone & metal roof

3.3 Materials Appraisal

Traditional houses and cottages in Duncrievie are generally stone built with white painted finish, commonly we dash render, with slate roofs. There are also several rubblestone fronted houses in the village and a few of clay tiles with both plain and pantile found. Metal roofs are rare within the village though feature in farm buildings in the area.

Windows of all the period properties are timber, though a number have been replaced with uPVC

Existing connections map



3.4 Existing Connection/Access/Transport

Connection
The site is currently accessed from Calfford Brae to the north west of the site.

Access
Calfford Brae connects to the centre of Duncrievie Village to the south west and to the B996 to the north east. The B996 connect to the M90 at Glenfarg which provides motorway access to Perth, Dundee and Aberdeen to the north and Edinburgh and Glasgow to the south.

Transport
Duncrievie being a small rural hamlet has limited bus links with a single service (no. 56) provided by Stagecoach East. The bus stop is located at the junction of Calfford brae and the B996 to the north (approximately 5 minutes walk). The nearest train station is located in Perth.

Local Shops and Facilities
Duncrievie does not have any local shops, but the larger village of Glenfarg has a useful general store. All other facilities are available in Milnathort (3.7 miles south), Kinross (6 miles south) and Perth (12 miles north).

Schools
The local Primary School is Arngask Primary School (1 mile) or St Ninians Episcopal Primary School (9 miles). Duncrievie is in the catchment of Kinross High School (4.5 miles), or St Johns Academy Secondary (10 miles).

Planning application boundary
Primary vehicular movement
Secondary vehicular movement
Tertiary vehicular movement
Pedestrian + cycle movement
Bus stop

4.0 DESIGN PRINCIPLES

A Policy Statement for Scotland

designing streets

The six qualities of successful places: Key considerations for street design

distinctive	safe & pleasant	easy to move around	welcoming	adaptable	resource efficient
Street design should respond to local context to deliver places that are distinctive	*Streets should be designed to be safe and attractive places*	*Streets should be easy to move around for all users and connect well to existing movement networks*	*Street layout and detail should encourage positive interaction for all members of the community*	*Street networks should be designed to accommodate future adaptation*	*Street design should consider orientation, the integration of sustainable drainage and use attractive, durable materials that can be easily maintained*

Block structure
- The urban form should be distinctive with landmarks and vistas that provide good orientation and navigation of an area

Context and character
- The requirements and impact of pedestrians, cycles and vehicles should be reconciled with local context to create streets with distinctive character
- Opportunities should be taken to respond to, and to derive value from, relevant elements of the historic environment in creating places of distinctive character

Pedestrians and cyclists
- Street user hierarchy should consider pedestrians first and private motor vehicles last
- Street design should be inclusive, providing for all people regardless of age or ability

Achieving appropriate traffic speed
- Design should be used to influence driver behaviour to reduce vehicle speed to levels that are appropriate for the local context and deliver safe streets for all

Reducing clutter
- Signs and street markings should be kept to a minimum and considered early in the design process
- Street lighting should be as discreet as possible, but provide adequate illumination
- Street furniture should be located for maximum benefit and to reduce pedestrian obstruction

Connections within a place
- Street design should provide good connectivity for all modes of movement and for all groups of street users respecting diversity and inclusion

Public transport
- Public transport planning should be considered at an early stage in the design process

Junction types and arrangements
- Junctions should be designed with the considerations of the needs of pedestrians first
- Junctions should be designed to suit context and urban form – standardised forms should not dictate the street pattern

Walkable neighbourhoods
- Street layouts should be configured to allow walkable access to local amenities for all street users

Streets for people
- Streets should allow for and encourage social interaction

Connections to wider networks
- Street patterns should be fully integrated with surrounding networks to provide flexibility and accommodate changes in built and social environments

Integrating parking
- Parking should be accommodated by a variety of means to provide flexibility and lessen visual impact

Service and emergency vehicles
- Street layouts should accommodate emergency and service vehicles without compromising a positive sense of place

Orientation
- Orientation of buildings, streets and open space should maximise environmental benefits

Drainage
- Streets should use appropriate SUDS techniques as relevant to the context in order to minimise environmental impacts

Utilities
- The accommodation of services should not determine the layout of streets or footways

Planting
- Street design should aim to integrate natural landscape features and foster positive biodiversity

Materials
- Materials should be distinctive, easily maintained, provide durability and be of a standard and quality to appeal visually within the specific context

4.0 DESIGN PRINCIPLES

4.1 Designing Streets

Designing Streets policy document puts place and people before the movement of motor vehicles. The Scottish Government is committed to an agenda of sustainable development that focuses on the creation of quality places and Scottish Ministers believe that good street design is of critical importance in this effort. This policy statement represents a step change in established practices and, given the direct influence that streets can have on our lives and environment.

Policy:
Street design should meet the six qualities of successful places, as set out in *Designing Places*

- Safe & pleasant.
- Easy to move around.
- Welcoming.
- Adaptable.
- Distinctive.
- Resource efficient.

These six qualities provide a framework which should be used when considering street design. To help show how they relate to each other, the table on the following pages identifies some of the key considerations which relate to 'quality'. This information is then further supported by more detailed technical information on how to create good street design.

Designing Streets is **not a standards-based document**. Balanced decision-making **is at the core** of this policy. **Design-led solutions** must be employed.

The Scottish Government

4.2 Planning Guidance

The application is located in an area where Policy 19 Housing in the Countryside applies. Perth & Kinross provide additional direction via their *Housing in the Countryside Supplementary Guidance.*

Housing in the Countryside Supplementary Guidance.

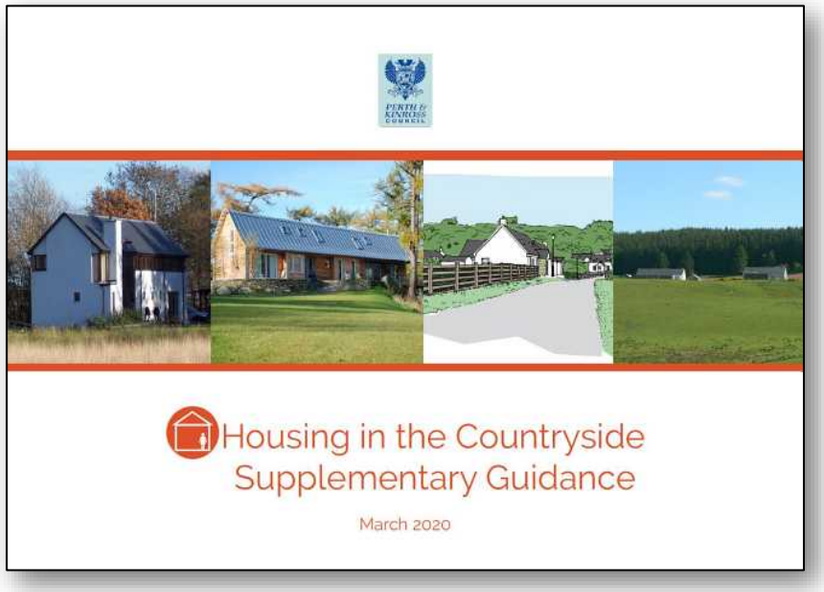
The document provides the following advice:

- Key Design Checklist
- Category 1 - Building Groups
- Category 2 - Infill Sites
- Category 3 - New Houses in the Open Countryside

  3.1 Existing Gardens:

  a) Proposals for a new house or houses within the original garden ground associated with an existing country or estate house will be supported providing that there is an appropriate landscape setting and additional development will not fundamentally affect the qualities and integrity of the site, particularly where the house is a listed building or falls within a Historic Garden or Designed Landscape. A country or estate house is defined as a large house set within its own estate or extensive grounds. This section does not apply to domestic scale gardens or where gardens have been created at a later date, for example, by the change of use of agricultural land to garden ground.

  b) Proposals for a new house or houses within a walled garden will be supported providing that development will not affect the integrity of the structure or the garden and will, where appropriate, assist in the preservation of the wall. Development may not be appropriate, however, if the walled garden is within a historically sensitive area, such as a Garden and Designed Landscape or is a Listed Building. Not all of the siting criteria will apply to proposals under this section; proposals will require to blend sympathetically with land form, and must not have a detrimental impact on the surrounding landscape.
- Applications for new houses to support an existing business
- Brownfield Sites (Categories 4, 5 & 6)
- Category 4 - Renovation or Replacement of Houses
- Category 5 - Conversion or replacement of redundant traditional non-domestic buildings
- Category 6 - Development on Rural Brownfield Land



4.3 Design Precedents

5.0 DESIGN SOLUTION

294

5.0 DESIGN SOLUTION

5.1 Design Principles

Design

The proposed design whilst being deliberately contemporary in design, is designed to sit harmoniously in the site next to the period Duncrievie House. The proposed white rendered walls and slate roofs are designed to compliment the materials of Duncrievie House and avoid creating any visual conflicts.

Visual impact

We note there will be a change to the setting of Duncrievie House, however the existing grounds are generous and can accommodate additional development whilst retaining the rural character and setting. The retention of the existing landscaped planting to the south of the house provides buffer a to plot 1.

The proposed house at plot 1 is designed as two elements – one single storey, the other two storeys and joined together by a timber clad link building and reminiscent of the form of local farm buildings. Note the two storey element is lower than Duncrievie House at both eaves and ridge levels to ensure it is visually subservient.

The proposed house at plot 2 is designed as a simple single storey pitched roof dwelling with white rendered walls and slate roof. It takes its design cues from traditional cottages in the village.

Landscaping and planting will seek to further soften the transition to the proposed development.

Transport & Amenity

A new access is proposed to improve safety and site lines for vehicles entering an exiting the site. Three new passing places are also proposed on Calfford Brae to further improve safety for those accessing the village form the north east.

In accordance with policy, the two new plots are provided with a total of 5No.spaces. The access road has been redesigned to create a turning head for a refuse vehicle, whilst minimising the extent of road required.

Generous front and private rear gardens provide amenity to each of the new dwellings whilst Duncrievie House retains generous lawns to the front and rear of the property.

Adaptability of Design

Both houses will be designed to be adaptable to the future needs of residents.

5.2 Proposed Site Plan

The proposed layout provides two new dwellinghouses, with the existing Duncrievie House retained.

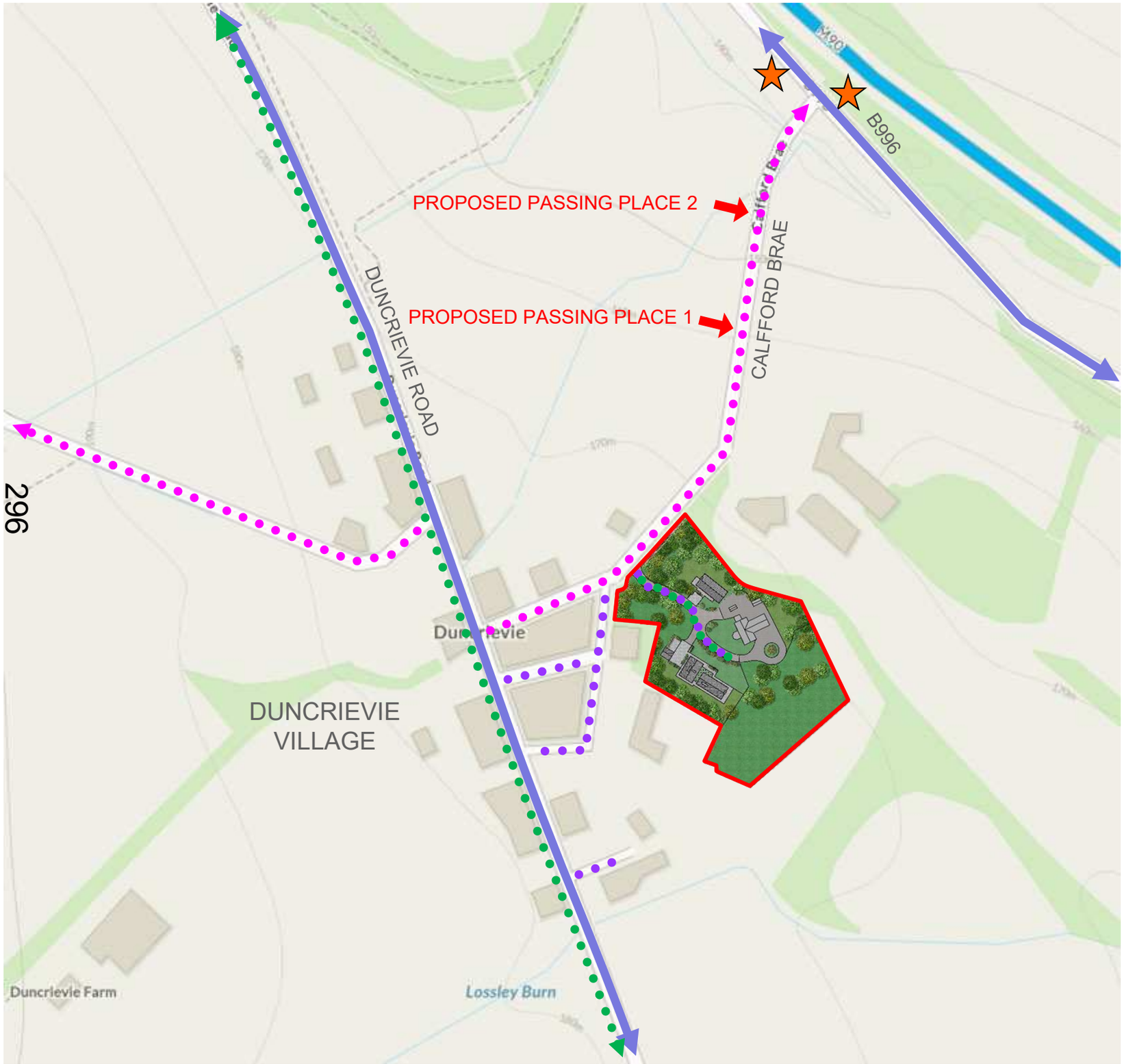
A shared surface road provides access from Calfford Brae and includes a turning head to allow refuse vehicles to safely enter the site and turn.

Private driveways are provided to each house, with the two proposed dwellings given a combined 5No.parking spaces

Key to Proposals

- **A** New vehicular and cycle access
- **B** Shared surface to reduce vehicle speeds and create a pedestrian and cycle friendly environment
- **C** Shared amenity space
- **D** Private rear gardens
- **E** Front gardens
- **F** Turning head (for bin collection vehicles)
- **G** Private driveway/parking
- **H** Existing landscaped buffer

Proposed connections map



5.3 Proposed Connection/Access/Transport

Connection
Three new passing places are proposed outwith the site boundary on Calfford Brae. This will improve access and safety on this narrow road for both residents and visitors to the Duncrievie.

Access
As discussed with Transport at PKC, a new entrance from Calfford Brae will be provided to upgrade access to the site. The new entrance will provide improved sight lines to make entering and exiting the site safer in both directions.

Transport
As existing

Local Shops and Facilities
As existing

Schools
As existing

Planning application boundary (TBC)
Primary vehicular movement
Secondary vehicular movement
Tertiary vehicular movement
Pedestrian + cycle movement
Bus stop

Proposed Materials

Render

Crisp white, smooth finish to compliment wet/dry renders used nearby

Stone

Natural material used locally

Slate Roof

Traditional material, low maintenance and in keeping with area

Sedum Roof

Natural and lightweight, low maintenance lightweight blanket with multiple species of plant

Dark Grey Windows with Glass Balustrade

Dark anthracite grey aluminium clad timber windows with glass balustrading

Timber Cladding

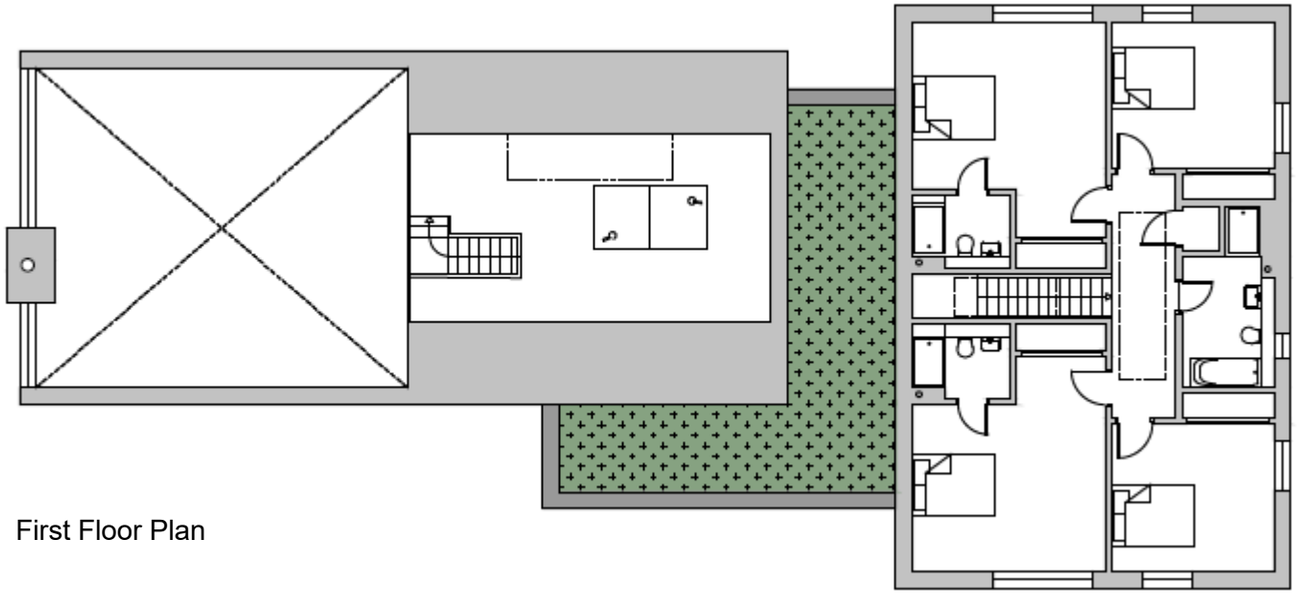
Contemporary narrow cladding, natural material, will weather to a silvery grey finish

5.4 Proposed Materials

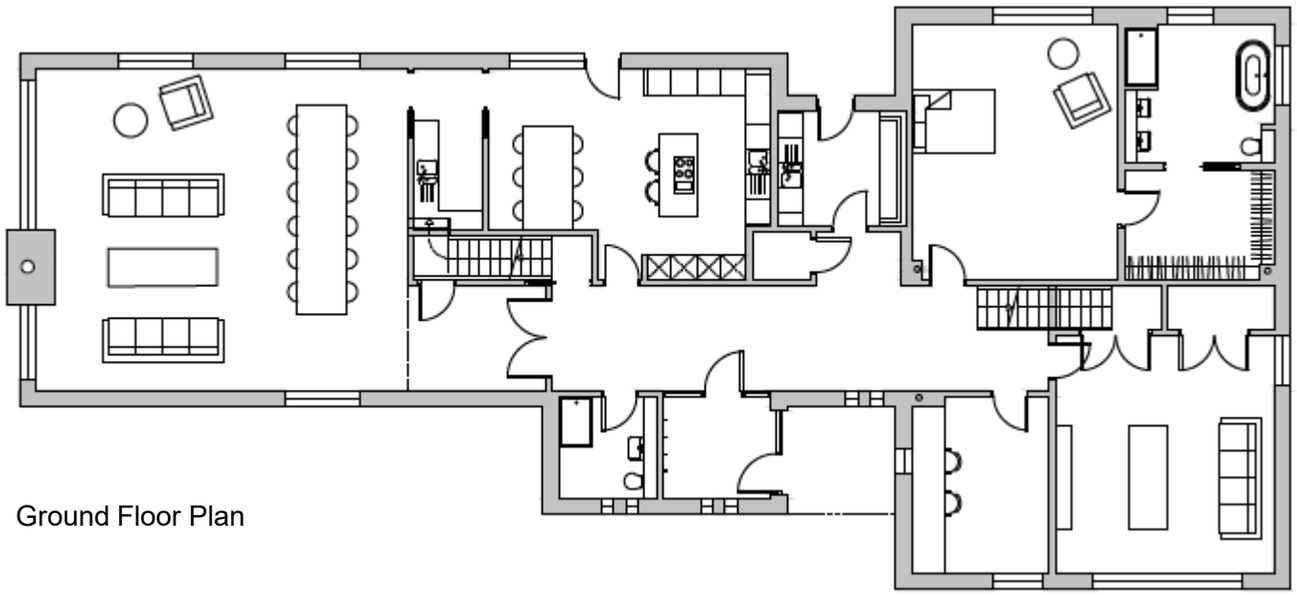
We note the traditional materials of the local area are white painted render or harling, stone façade, slate roofs, sash and case windows and cast iron rainwater goods. All of which feature in the existing Duncrievie House.

The proposed development will be designed to complement these traditional materials by combining white render, feature stone and timber cladding to the facades. Pitched roofs will be slate tiled and flat roofs will be lightweight sedum to promote wildflower growth and attract bees and butterflies. Rainwater goods will be in metal, with windows in dark grey aluminium clad timber. High quality materials will be specified throughout and modern construction methods employed.

5.5 Housetype A - Proposed Floor Plans



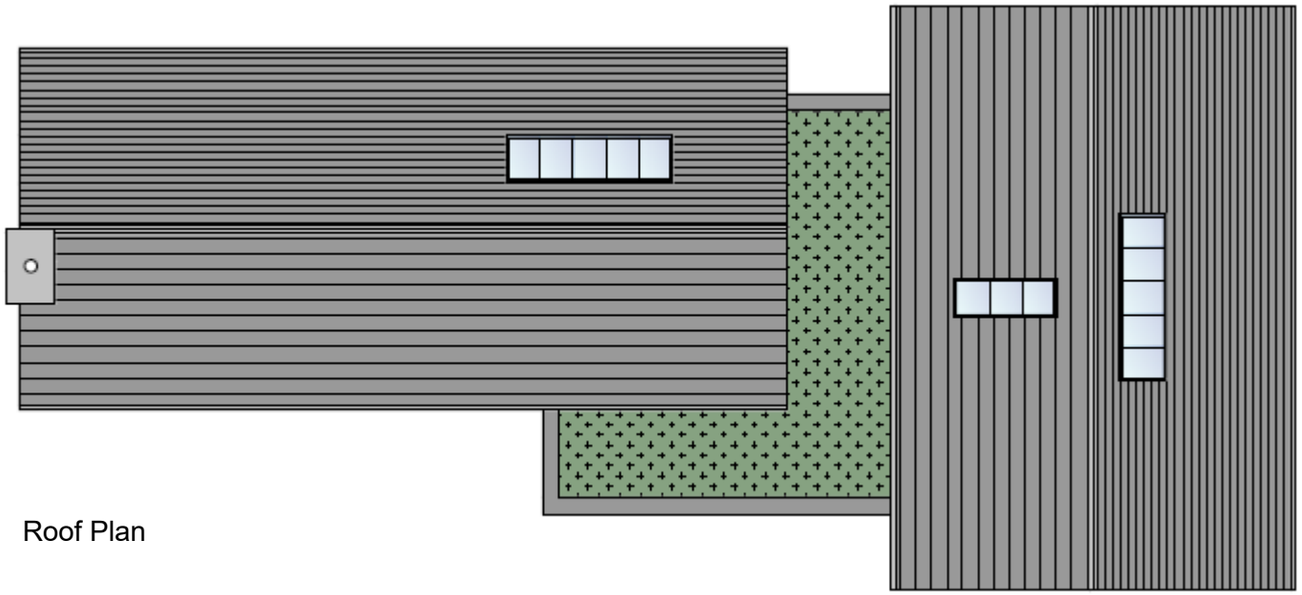
First Floor Plan



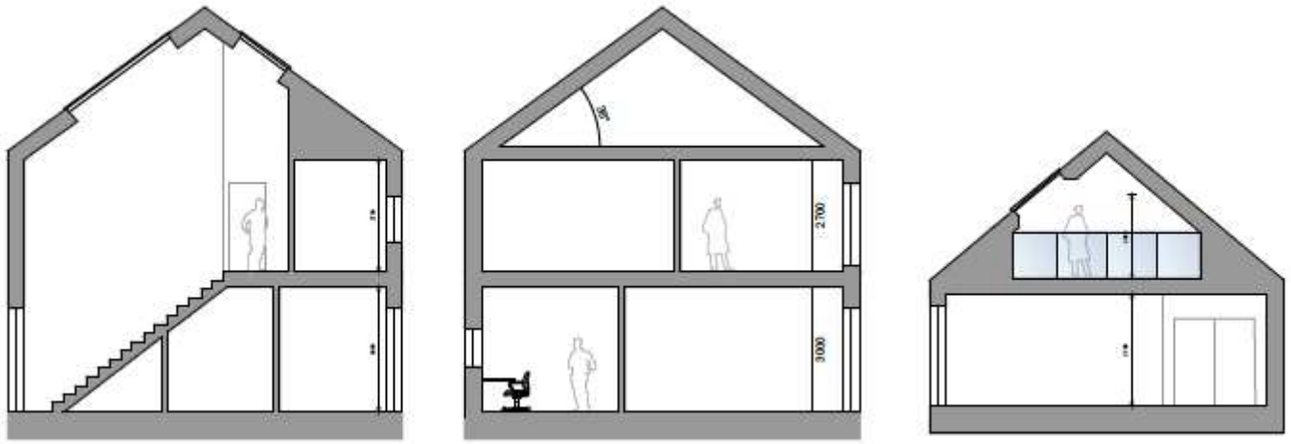
Ground Floor Plan

0 10m

5.6 Housetype A - Proposed Roof Plan & Sections



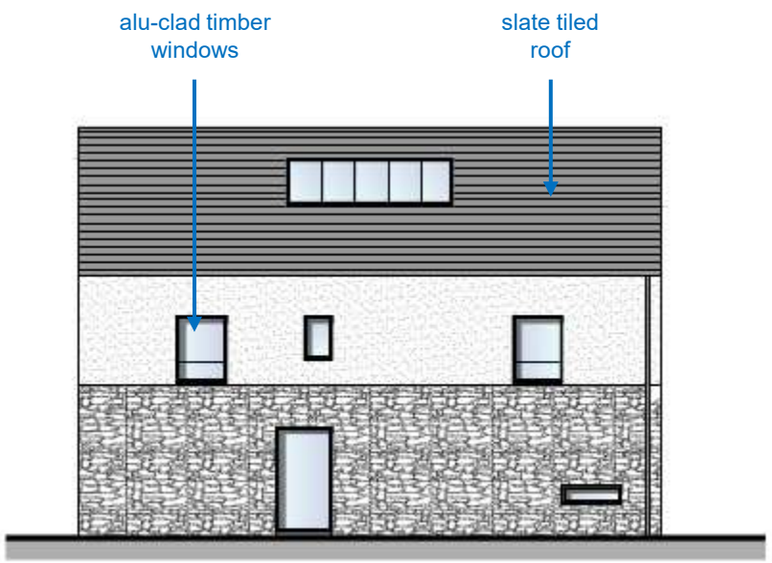
Roof Plan



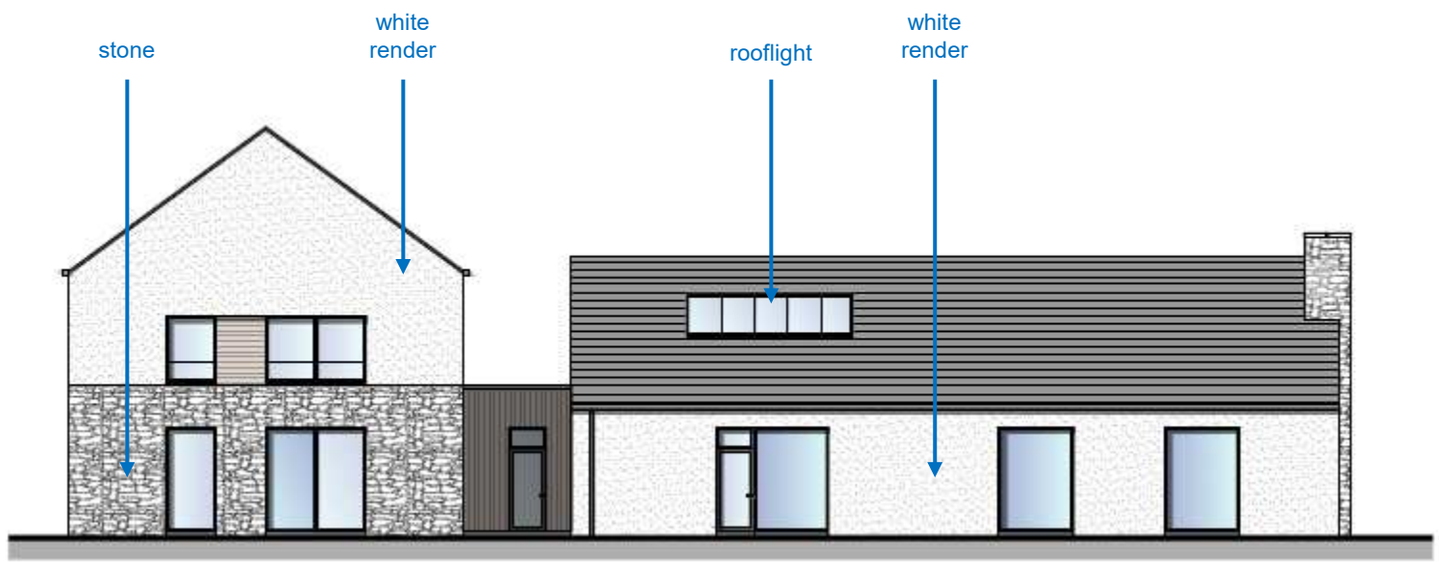
Typical Sections

0 10m

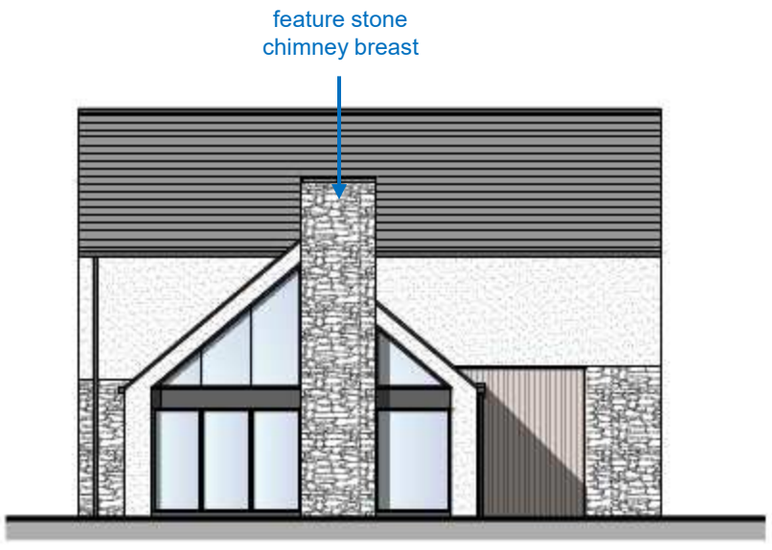
5.7 Housetype A - Proposed Elevations



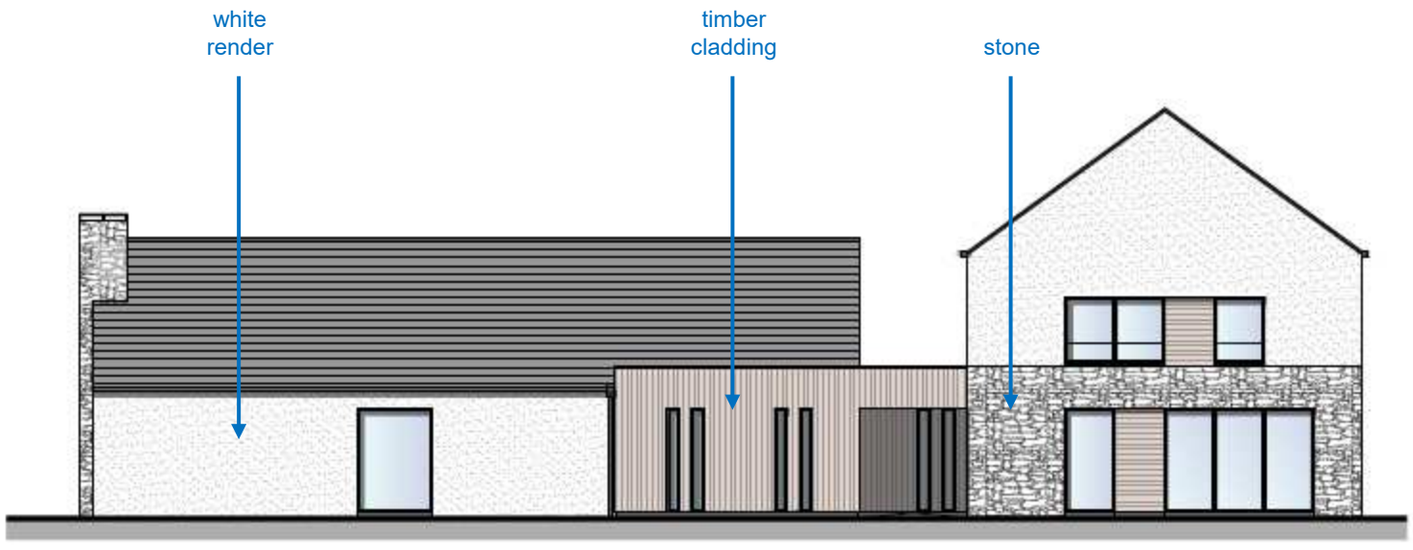
West Elevation



South Elevation



East Elevation

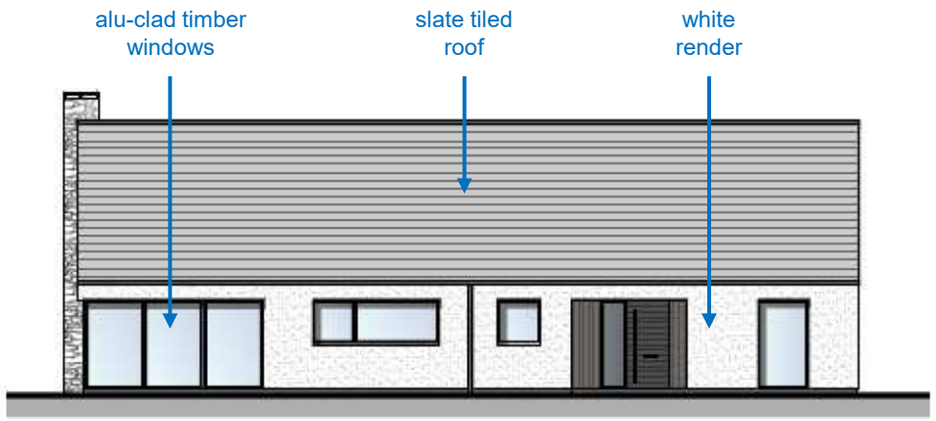


North Elevation

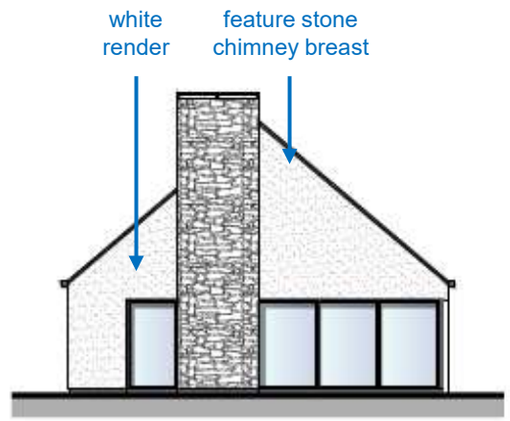
0 10m

5.8 Housetype A – 3D Visual

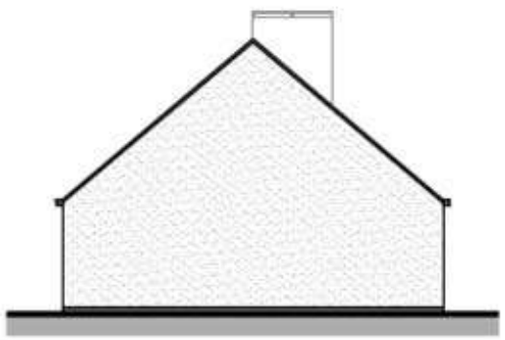
5.9 Housetype B - Proposed Plans & Elevations



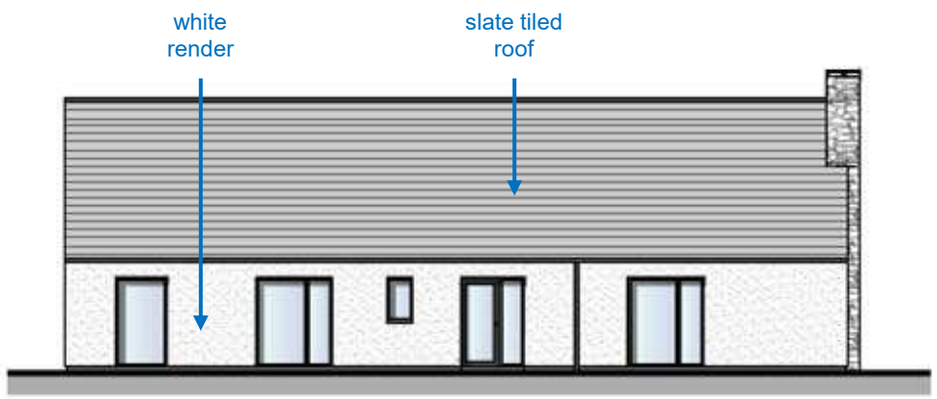
South West Elevation



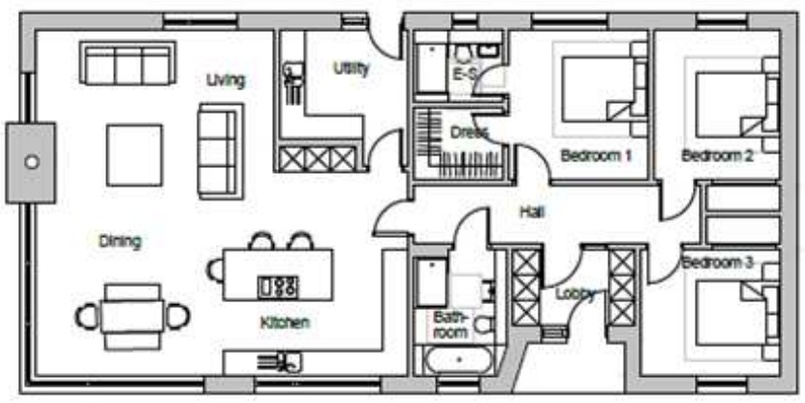
North West Elevation (garden)



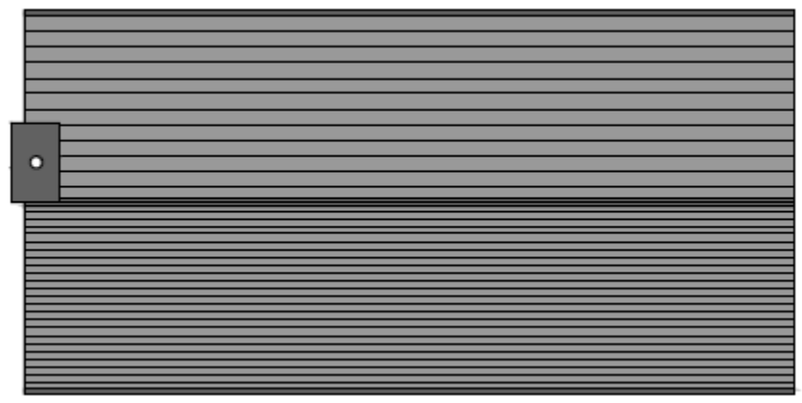
South East Elevation



North East Elevation



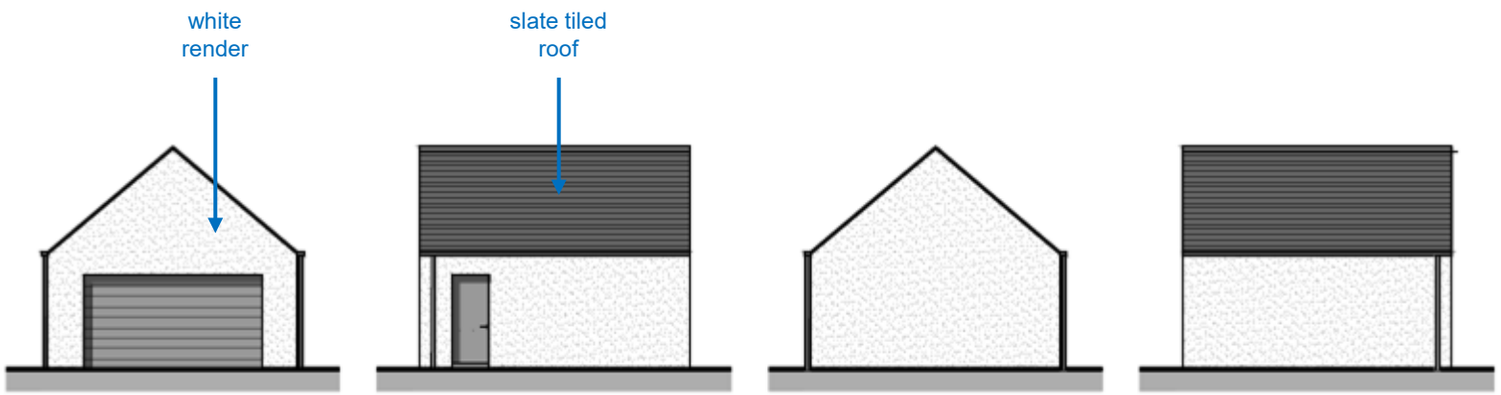
Ground Floor Plan



Roof Plan

5.10 Housetype B – 3D Visual

5.11 Double Garage

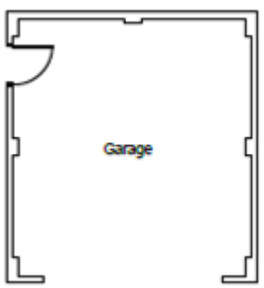


East Elevation

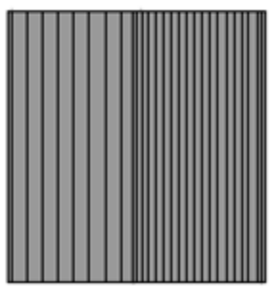
South Elevation

West Elevation

North Elevation



Ground Floor Plan



Roof Plan

DESIGN STATEMENT

CONTENTS

1.0 Background
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- 1.2 Project Team

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1.0 BACKGROUND

1.0 BACKGROUND

1.1 Project Background

The applicants, Mr & Mrs Burgess, currently live in Duncrievie house on the site and are looking to take advantage of the generous ground to create a new family home to live in, with an additional dwelling proposed for sale.

A previous application was submitted by the same client in November 2020 for a development of four new dwellings. After consideration and feedback received from local residents and the planning authority, the application was withdrawn.

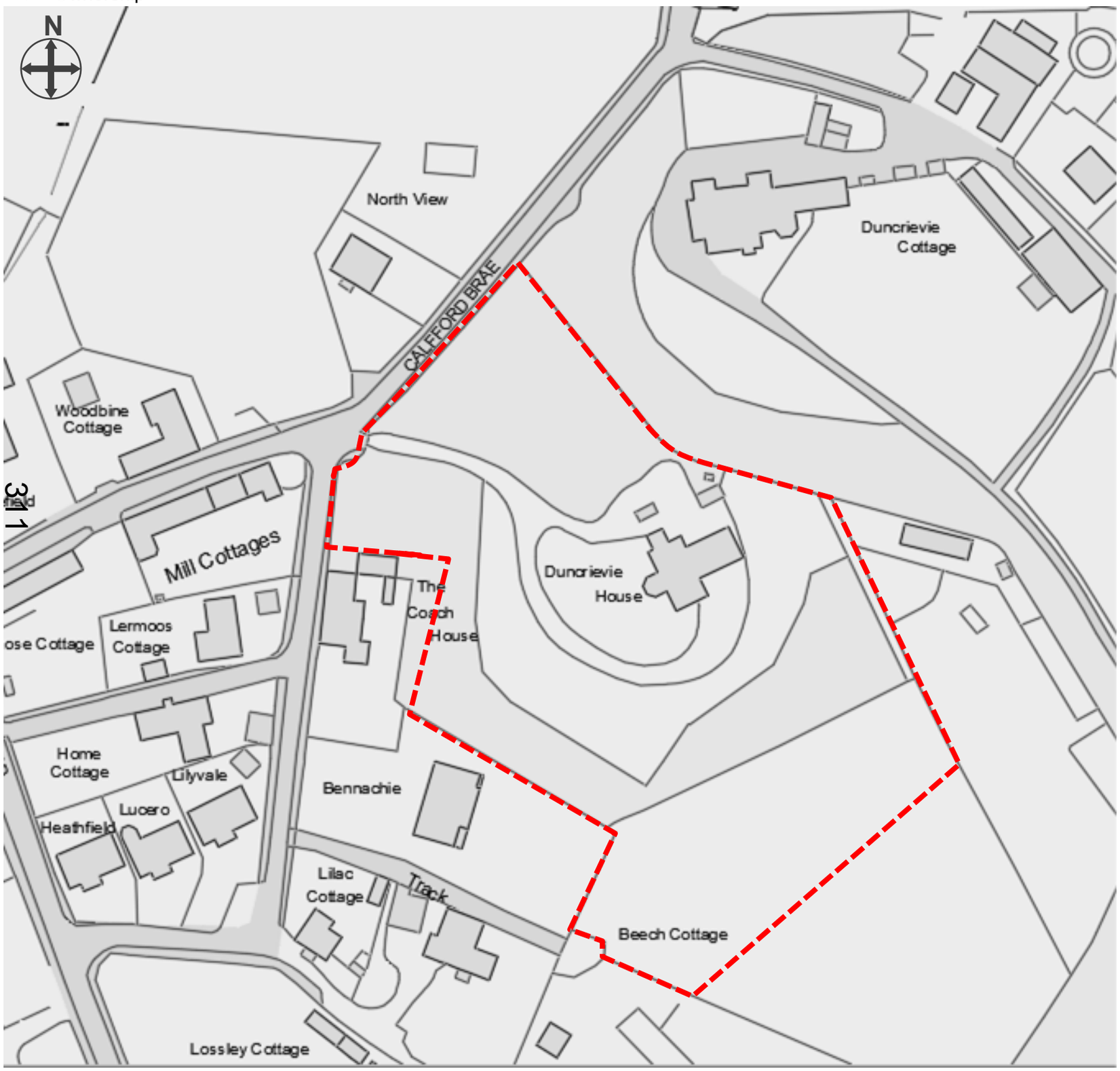
Having reviewed the feedback and concerns raised predominately over number of dwellings proposed and safety of access on to Calfford Brae, a new proposal reduced to two houses has being developed and forms this new application. The reduction in proposed dwellings, improved site access and proposal to construct three passing places on Calfford Brae will we trust address the concerns raised.

1.2	**Project Team**
Project	Duncrievie House Duncrievie Nr Glenfarg Perth PH2 9PD
Applicant	Mr & Mrs Burgess Duncrievie House Duncrievie Near Glenfarg Perth PH2 9PD
Agent	Fouin+Bell Architects 1 John's Place Edinburgh EH6 7EL
Date	January 2022

2.0 SITE DETAILS

2.1 Introduction

Ownership



Planning application boundary

Aerial view

2.2 Site Description

The proposed development site is located in the small village of Duncrievie, 1 miles south of Glenfarg and 6 miles north of Kinross in the Perth & Kinross council area.

The site is rural both in location and nature and is characterised by its secluded setting and landscaped grounds. Duncrievie house is located in the centre of the site in the form of a large stone-built period family home. The site is extremely generous and comprises landscaped garden grounds with dense woodland around the perimeter and lawns to the south and north east of the property.

Access
Existing access to the site is from Calfford Brae at the north west boundary of the site.

Council Ward
The site is located in the Kinross-shire ward

Site Area
12,776 m² / 1.27 Hectares / 3.15 Acres

Approximate boundary

View of Duncrievie House

2.3 Views of Site

2.3 Views of Site (cont'd)

Views of Duncrievie House

2.3 Views of Site (cont'd)

View of entrance

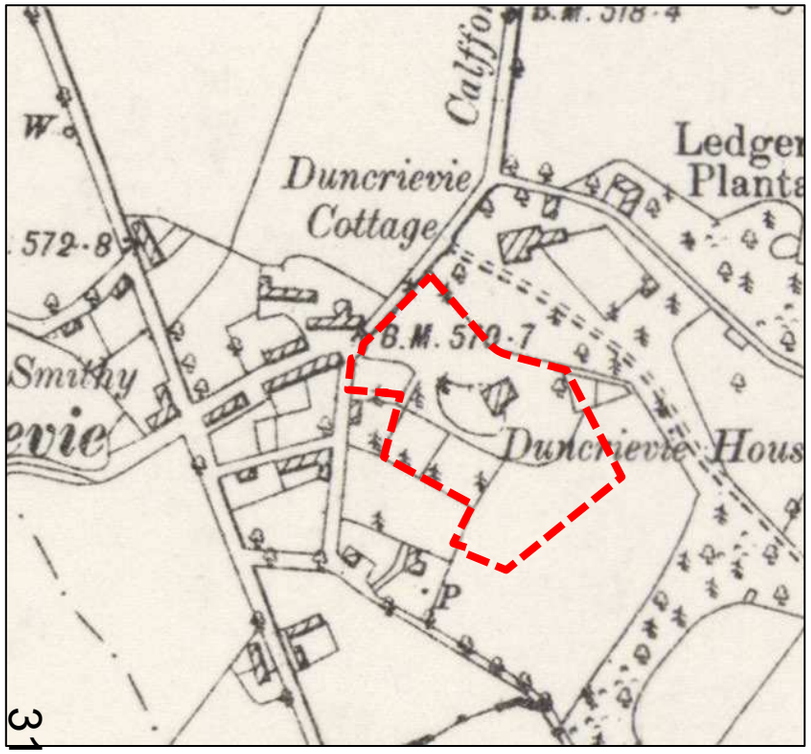
View of drive

View of Duncrievie House from south east

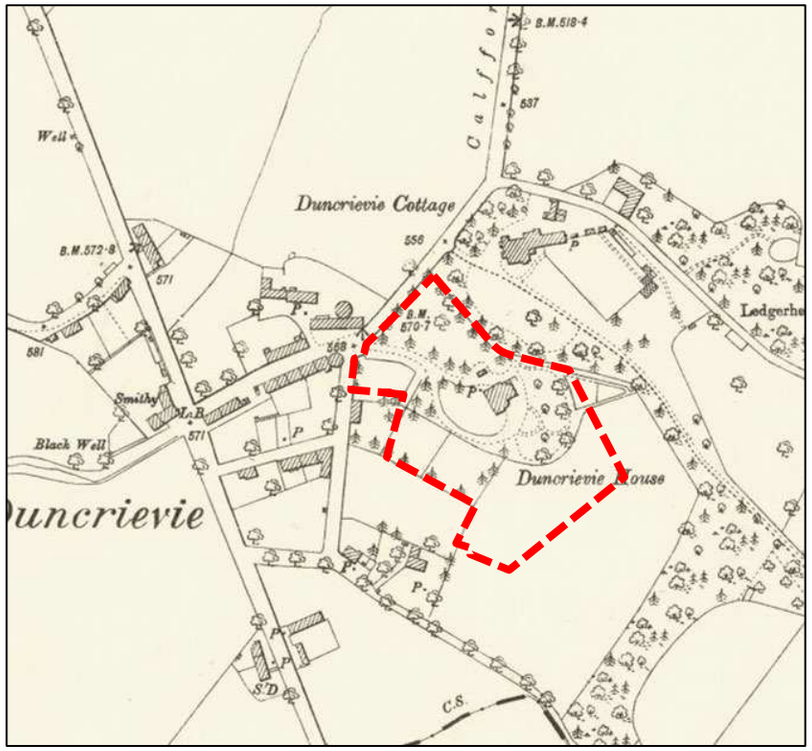
2.3 Views of Site (cont'd)

View looking east from south of site

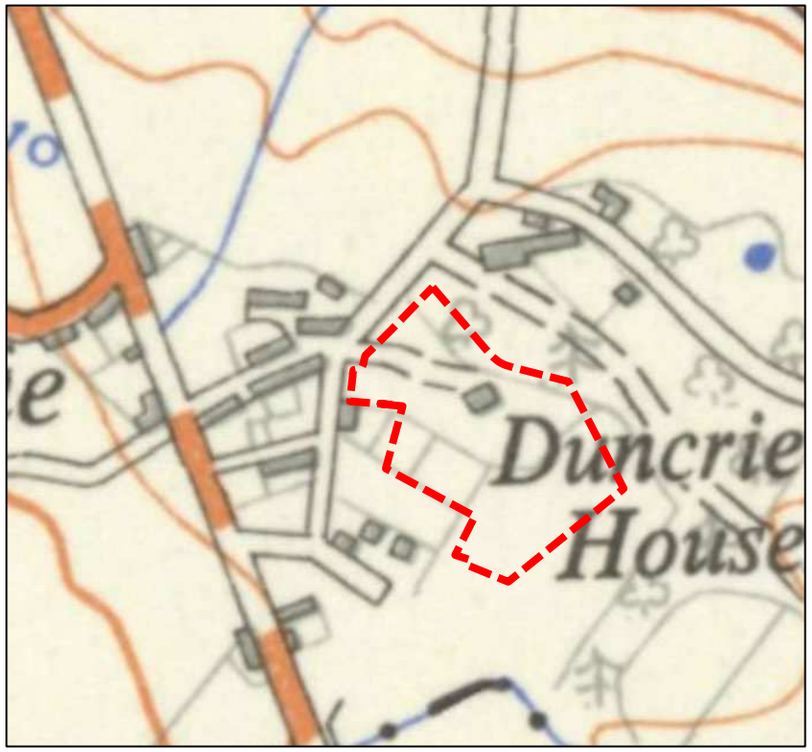
Historic Map OS 6 Inch Map 1888-1913



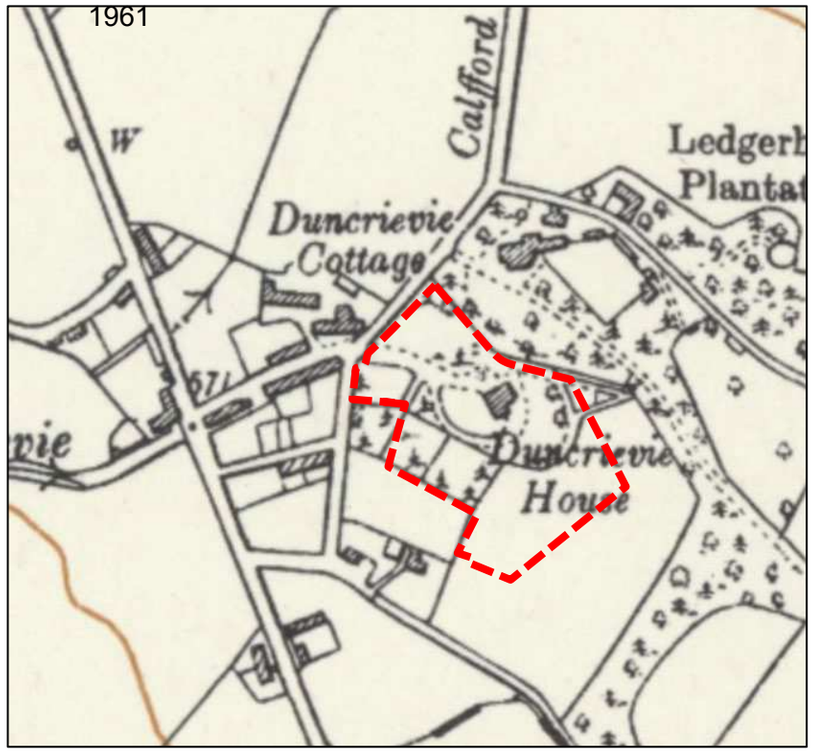
OS 25 Inch 1892-1914



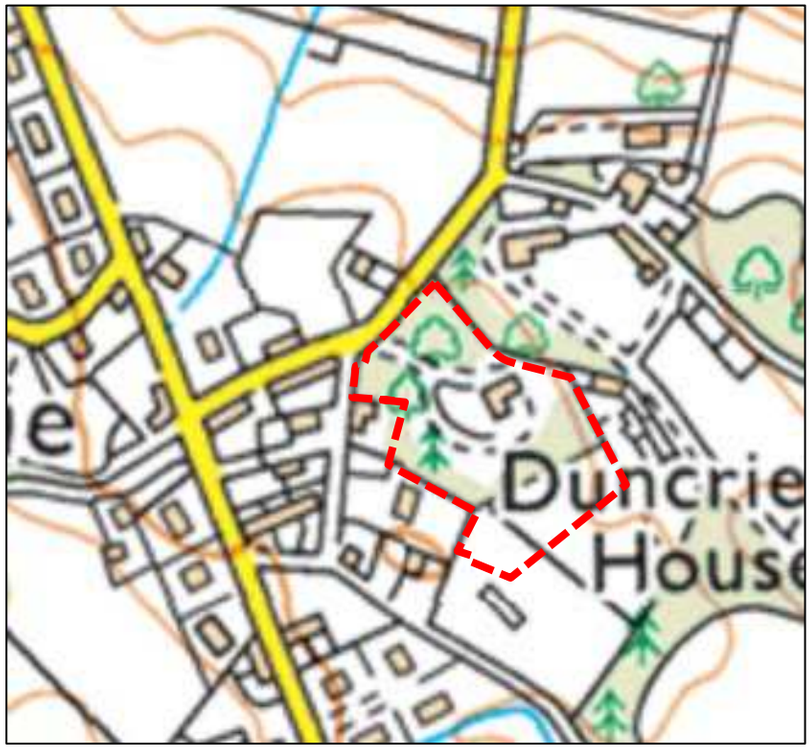
Historic Map OS 1949-1970



Historic Map OS 1937-1961



Current OS



2.4 Site History – Historic Maps

Although the settlement at Duncrievie dates back to the eighteenth century, the earliest OS map available is from 1888-1913. This map shows the village to be well established with Duncrievie House and Duncrievie Cottage both identified along with a Smithy.

Unusually, the subsequent OS maps demonstrate the lack of development in the village through to the 1937-1961 OS map which is nearly identical to the earliest available OS.

The village has however subsequently increased in size with the number of dwellings approximately doubled, the majority of which have appeared since the 1980s. Most development has taken place along Duncrievie Road running north south through the village, with further development to the north east.

2.5 Planning Policy

Local Development Plan 2

Under the current local development plan 2, a development such as that proposed is subject to the polices guidance set out in the Supplementary Guidance 'Housing in the Countryside'.

HOUSING IN THE COUNTRYSIDE

A Successful, Sustainable Place

i) Proposals should comply with Policy 1: Placemaking and the guiding principles contained in the Council's Placemaking Guide.
ii) Proposals should not encourage unsustainable travel patterns. Proposals in less sustainable locations will only be permitted where the benefits outweigh the disbenefits, for example, the provision of essential farm worker housing or bringing an empty traditional building back into use.
iii) The scale, layout and design of the proposal must be appropriate to, and have a good fit with, the landscape character of the area in which it is located. It must demonstrate a specific design approach that not only integrates the development within its setting but also enhances the surrounding environment. Buildings should be sympathetic in terms of scale and proportion to other buildings in the locality. Open space and garden ground associated with the proposal should be considered as an integral part of the development. Suburban ranch-type fences and non-native fast growing conifers should be avoided, and garden ground should be of an appropriate size for the scale and form of the proposal. Where new planting is considered to be in keeping with local landscape character, locally native trees and shrubs should be used to integrate developments with the surrounding landscape and to provide additional biodiversity benefits.
iv) The quality of the design and materials of the house(s) should be reflected in the design and finish of outbuildings, means of enclosure, access etc. Outbuildings such as workshops, garages and sheds should be of an appropriate scale, proportion and form, reflecting that of the house(s). The Planning Authority will consider whether permitted development rights in respect of extensions, outbuildings and means of enclosure should be removed to protect the rural character of both the building and its curtilage.
v) All proposals require to comply with Policy 5: Infrastructure Contributions, and the Developer Contributions and Affordable Housing Supplementary Guidance.
vi) All proposals for 5 units or more will require 25% of the proposed development to be for affordable housing in line with Local Development Plan 2 Policy 20: Affordable Housing, and the Developer Contributions and Affordable Housing Supplementary Guidance. For the purposes of this Supplementary Guidance the renovation or replacement of an occupied or recently occupied house (as opposed to a ruin) will not constitute the creation of a new unit.
vii) Encouragement will be given to the incorporation of measures to facilitate home working within new development.

Category 3 - New Houses in the Open Countryside

3.1 Existing Gardens:

a) Proposals for a new house or houses within the original garden ground associated with an existing country or estate house will be supported providing that there is an appropriate landscape setting and additional development will not fundamentally affect the qualities and integrity of the site, particularly where the house is a listed building or falls within a Historic Garden or Designed Landscape. A country or estate house is defined as a large house set within its own estate or extensive grounds. This section does not apply to domestic scale gardens or where gardens have been created at a later date, for example, by the change of use of agricultural land to garden ground.

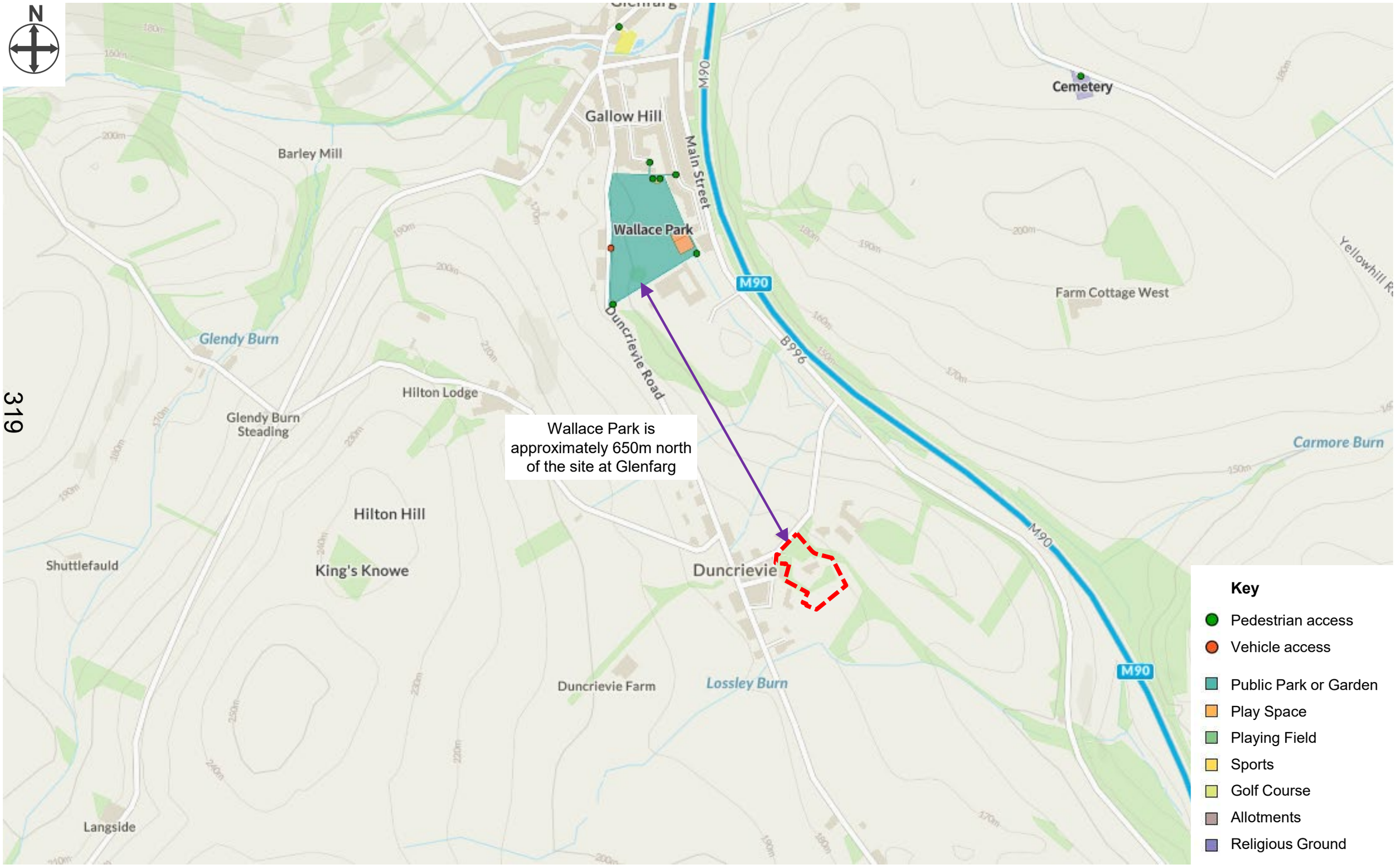
b) Proposals for a new house or houses within a walled garden will be supported providing that development will not affect the integrity of the structure or the garden and will, where appropriate, assist in the preservation of the wall. Development may not be appropriate, however, if the walled garden is within a historically sensitive area, such as a Garden and Designed Landscape or is a Listed Building. Not all of the siting criteria will apply to proposals under this section; proposals will require to blend sympathetically with land form, and must not have a detrimental impact on the surrounding landscape.

Additional relevant policies include:

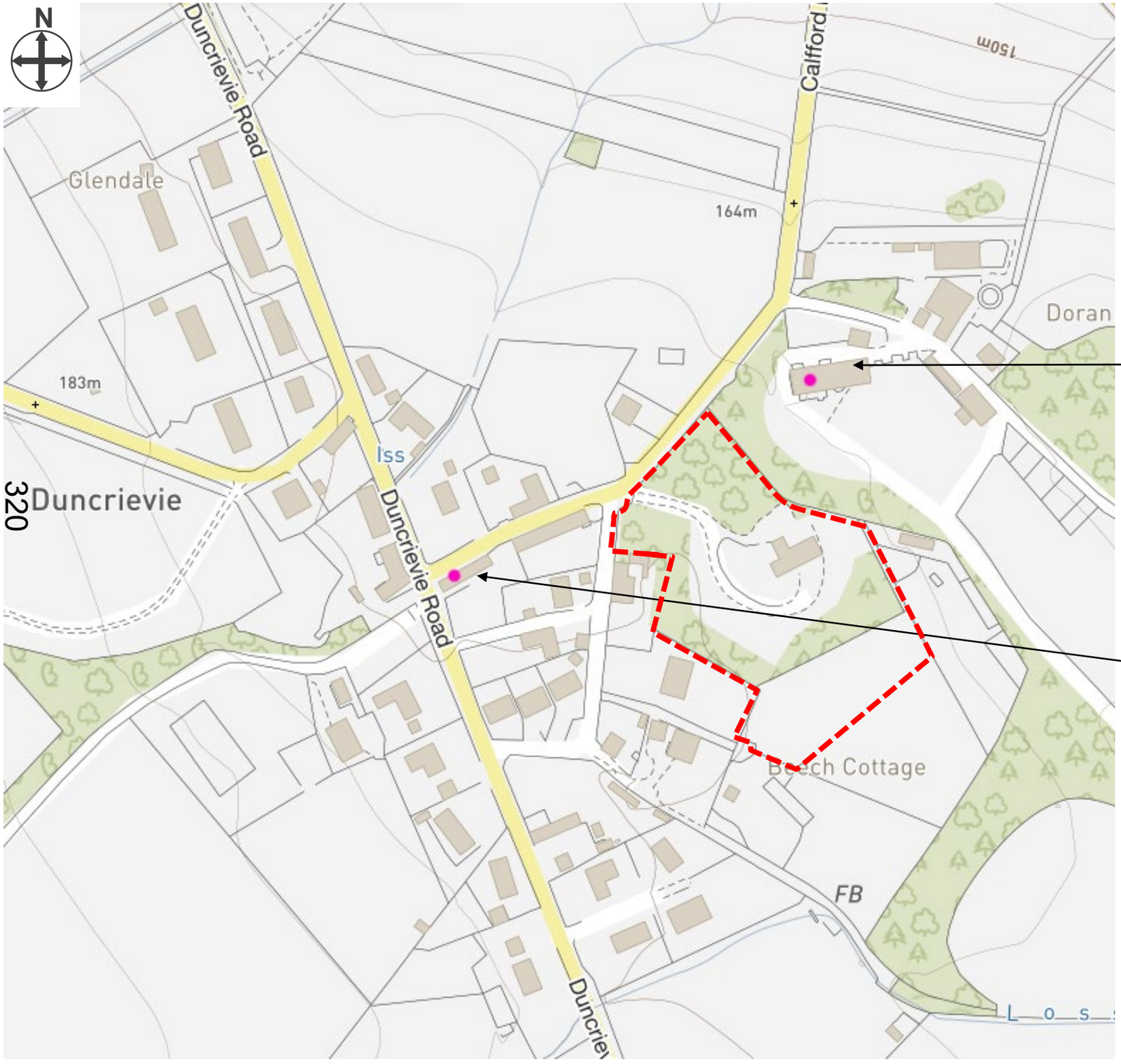
Policy 40: Forestry, Woodland and Trees
Policy 41: Biodiversity – Including reference to bats (European Protected Species), squirrels and breeding birds (Nationally Protected Species)

Greenspace Map

2.6 Greenspace Map



Historic Environment Scotland – Designations Map



2.7 Listed Buildings Map

The Historic Environment Scotland Designations map shows the site to be outwith a Conservation Area.

The map also indicates there are two C Listed buildings in Duncrievie being Duncrievie Cottage (bounding the site to the north) and Rose Cottage,(in the centre of the village).

1. Duncrievie Cottage

2. Rose Cottage

Key

- A Listed
- B Listed
- C Listed

2.8 Listed Buildings

Building	Duncrievie Cottage with Boundary Walls, Duncrievie
Category	C
Listing reference	LB46406

There are two buildings with listings in Duncrievie. The Historic Environment Scotland listings for each are as follows:

Description

Circa 1820. 2-storey, 5-bay, cottage-style house. Harled with stone margins. Segmental-headed door; 1st floor windows breaking eaves into dormerheads unless in gableheads. Chamfered arrises and stone mullions.

W (PRINCIPAL) ELEVATION: bay to right of centre with gabled porch, and deep-set panelled timber door with small-pane segmental fanlight, slightly advanced 3-stage chimney breast to eaves (no stack) to outer right; advanced gable with canted tripartite window to ground and window in gablehead in bay to left of centre, flanking bays with window to each floor, that to right recessed.

S ELEVATION: advanced M-gable to left of centre with stone-canopied tripartite window with narrow outer lights to ground and single window in gablehead to left, canted tripartite window to right with serpentine ironwork balcony and 2-leaf, small-pane glazed door above; window to ground on return to right. Recessed bay beyond to right with window to each floor, and 3 regularly fenestrated bays recessed to outer right with modern conservatory in re-entrant angle to left.

E ELEVATION: window to right of projecting single storey gabled elevation and further window to left of gablehead behind.

N ELEVATION: asymmetrical elevation with variety of elements including advanced gables to centre and right bays, and 2 dormerheaded windows to left.

Largely lying 12-pane glazing pattern in timber sash and case windows. Slated. Coped harled stacks with cans, some polygonal. Plain bargeboarding.

BOUNDARY WALLS: semicircular-coped rubble boundary walls.

Statement of Special Interest

Duncrievie is very much in the estate cottage-style of William Burn, and his authorship of the property is well within the bounds of probability. The addition of the out-of-character conservatory mars the wider merit of the property.

Listing extract above can be found at
http://portal.historicenvironment.scot/designation/LB20123

2.8 Listed Buildings (Cont'd)

Building	Rose Cottage, Duncrievie
Category	C
Listing reference	LB5701

The Historic Environment Scotland listing is as follows:

Description

Whitewashed to front, pantiled. Late 18th century. 2-window and centre door rubble-built with margins, cable-moulded scroll skews; single attic dormer; Ruberoid slates

Statement of Special Interest

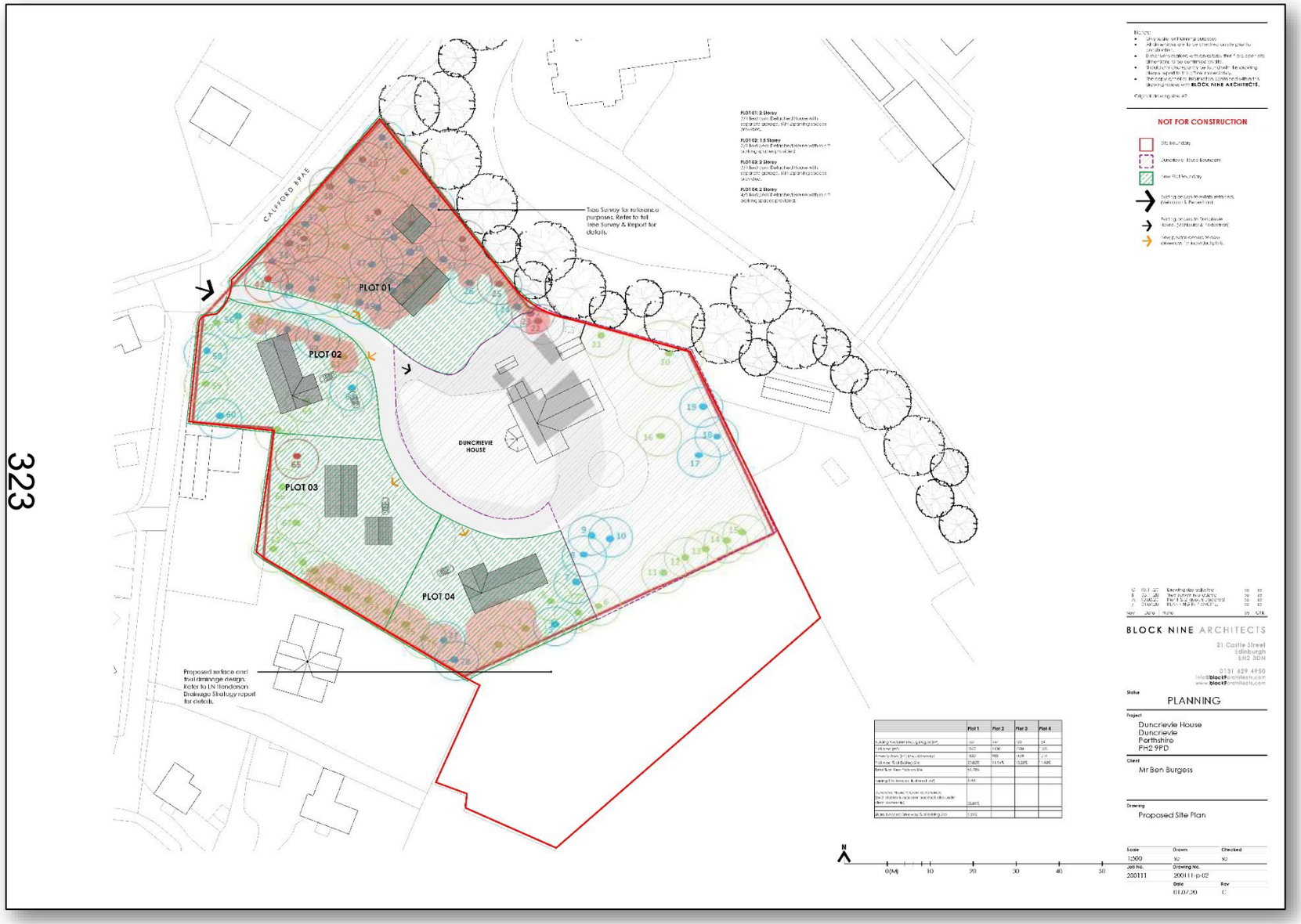
A similar 3-window house to the N. (Duntrievie) his been incorporated in a modern house.

Listing extract above can be found at http://portal.historicenvironment.scot/designation/LB20123

Historic Image of Rose Cottage

Recent image of Rose Cottage

Planning Application 20/01686/IPL



2.9 Planning History

Planning Ref: 19/00553/PREAPP

Pre-application Enquiry

On behalf of the current owner, a Pre-app Enquiry was submitted in 2019 for a three house development within the garden grounds of Duncrievie House. Feedback was received confirming a future application would likely be considered in the section where proposals are located in an identifiable site with long established boundaries that must separate the site naturally from the surrounding ground.

Planning Ref: 20/01686/IPL
Status: Withdrawn

Residential development (in principle)

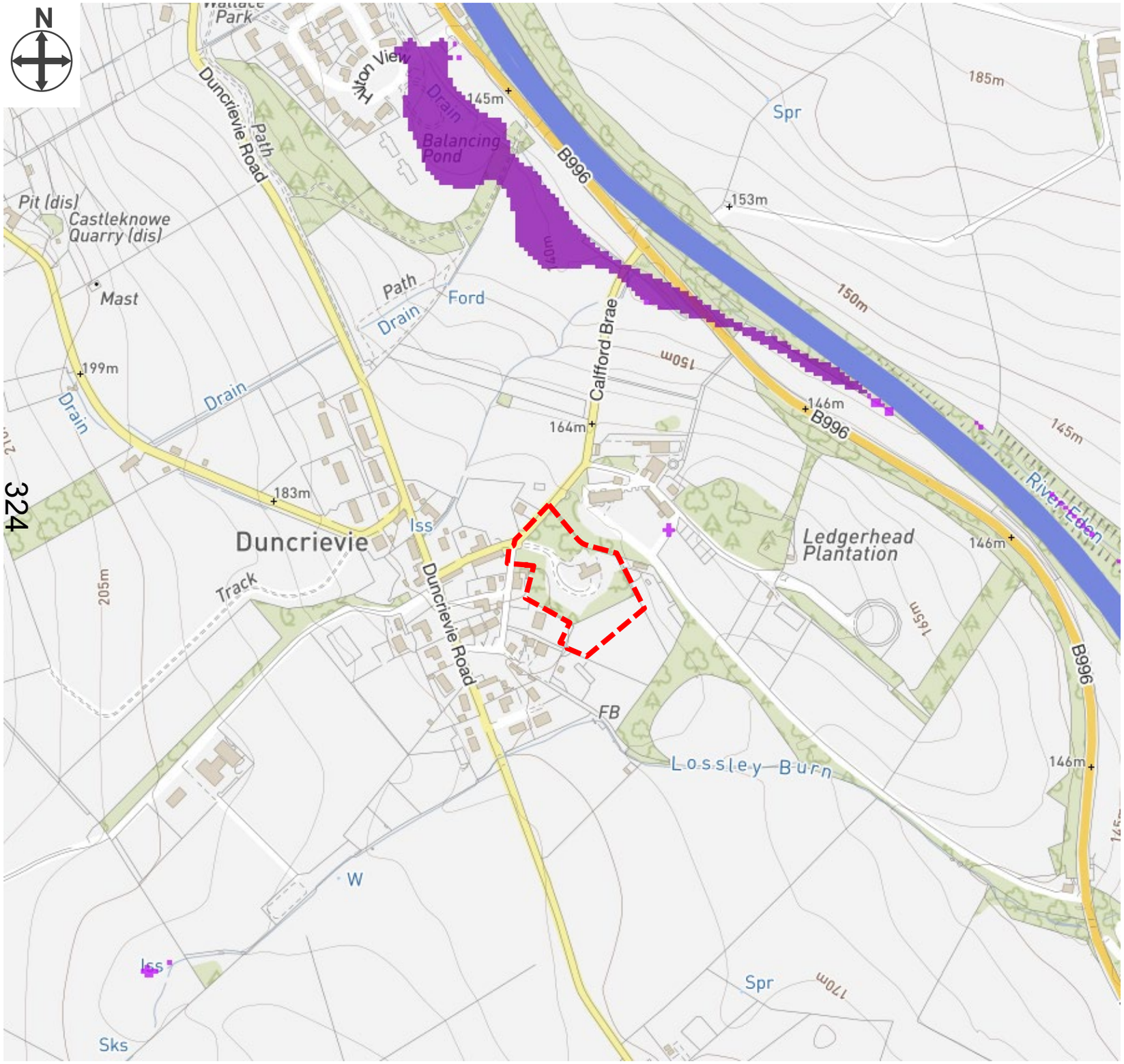
Following the Pre-app feedback, a planning application was made by the same client in November 2020 for a development of four new houses.

Planning and public comments included concerns over the number of proposed dwellings, the safety of road access from Calfford Brae and loss of trees. The application was withdrawn in February 2021.

Current Application

Subsequently the project has been fully reviewed and reconsidered resulting in this reduced application for two new dwellings houses only.

Flood Risk Map



2.10 Flood Risk

The SEPA Flood risk map indicates the risk of potential flooding from river, surface water and coastal sources

River
No risk is noted

Surface Water
No risk is noted

Coastal
No risk is noted

STOVAX

RIVA

WOODBURNING & MULTI-FUEL
CASSETTE FIRES & STOVES

RIVA

When you choose a Riva, you are not only choosing a high efficiency stove or fire at the pinnacle of performance and design, you are also choosing a perfectly formed addition to your home that will create a stylish and elegant centrepiece.

The Riva range is the result of over 38 years of dedication to the development of exceptional woodburning and multi-fuel stoves and fires, providing outstanding flame visuals and superior heating efficiency.

Decades of British Design and Engineering

Built to last and easy to operate, Riva stoves and fires are expertly crafted to provide you with years of warmth and enjoyment.

STOVAX

Riva 50 with handle removed and standard 3 sided frame

SIT BACK & RELAX...

Choosing a fire for your home should be a fun and exciting experience. We want you to be happy and relaxed from the moment you pick up this brochure, to the first time you light your kindling and for many years after! That's why we have carefully selected Expert Retailers to help you.

Expert Retailer Network

We take great care to ensure that our fires and stoves are designed, tested and manufactured to the highest possible quality and safety standards. We are just as concerned to make certain that they are sold and installed correctly so that you enjoy years of pleasure from your purchase.

Accordingly, you will find our products are only available from experienced, independent retailers who will be happy to show you a selection of models locally in their showrooms, often fully operational. These independent retailers will discuss your individual requirements both technical (such as sizing the heat output to your room and advising on your chimney system) and visual, to ensure that you select the most appropriate product for your home. They will also be able to advise on, or assist with, the installation process as well as help provide any after-sales support and servicing your appliance may require in the future.

Whilst we encourage our retailers to promote fireplace products and their outlets via the internet, we do not believe suitable levels of customer care and satisfaction can be obtained from purchasing the product only online and we would strongly recommend that you consider this when undertaking your research and making a purchasing decision. Furthermore, please be aware that we do not offer technical support (beyond our statutory responsibilities) to products bought via nationwide online sales, where this support would normally be offered by one of our qualified, independent retailers.

You can find and support your nearest retailer by visiting: **www.stovax.com/find-a-retailer**

Extended Warranty

When you choose a Stovax fire or stove, quality and technology are assured. Accordingly, when you purchase your new fire from a Stovax Expert Retailer they will provide you with a Two Year Warranty. This can then be extended to a Five Year Warranty provided your Riva Fire is registered with Stovax. Fires and stoves purchased outside Stovax's Expert Retailer Network will carry a standard 12 month non-extendable warranty. Further details of this warranty are on page 28.

INNOVATION & INSPIRATION...

The space in which you live is an expression of your individual style. Riva cassettes and freestanding stoves have been designed to create a striking focal point and become the very heart of your home. Be inspired by their designs, impressed by their high levels of heating efficiency and admire their ease of control. Then simply relax in front of a real fire.

CE Marked & HETAS Accredited

All fires and stoves in this brochure are CE Marked. This means they have been independently tested to exacting European standards for heating efficiency, emissions and safety. All Riva cassettes and freestanding stoves have also been accredited by HETAS, the UK's official body recognised by the government to approve solid fuel domestic heating appliances.

Wood or Smokeless Fuel

Most Riva fires have options which will allow you to burn either logs or smokeless fuel. All Riva cassettes and freestanding fires have a flat fuel bed because logs burn best on a level bed of ash. Smokeless fuels however, burn better on a raised grate that allows air to be drawn in from underneath. The design of the Riva range permits the combustion of either fuel with equal proficiency.

Woodburning

Unlike fossil fuels, wood releases approximately the same amount of carbon into the atmosphere as that absorbed during its growth, making it a virtually carbon neutral heat source.

All models in this brochure have been designed for the burning of wood with optimum efficiency. To ensure your fire provides optimum heating performance, only wood with a low moisture content should be burnt. Seasoned logs should be allowed to dry for at least two years or more to achieve a moisture content below 20%, which can be easily checked with a moisture meter. When purchasing seasoned or kiln dried wood, look for the Woodsure "Ready to Burn" certification which guarantees logs will have less than 20% moisture.

Good quality dry wood will not only provide a higher heat output than that of freshly felled timber, it will also avoid a build-up of tar in your flue and ensure low smoke emissions with clean and crisp flames.

Riva F40 Freestanding with handle removed on 100 High Bench.

Smoke Control Area Approved

Many town and city homes are located in DEFRA Smoke Control Areas as designated by the 1993 Clean Air Act. The Riva range has been approved for the burning of wood in these areas, meaning that even the most urban of homes can benefit from this natural fuel source.

Riva 50 with removable handle in situ and standard 4 sided frame.

330

CHOOSING YOUR FIRE OR STOVE...

This brochure offers you two distinctive ranges; High Efficiency Glass Fronted Riva Cassette fires, Riva Freestanding stoves, each has it's own styling and technical capabilities. Both ranges present a perfect union of form and function, and provide your home with all the warming luxury of a real fires and Riva Freestanding.

RIVA | CASSETTES 08-19

The Riva range can burn wood and multi-fuel and is available in five sizes, all of which are available as hearth-mounted 3-sided models or 4-sided models for installations further up the wall. Riva cassettes feature our classic Profil frame which is available in standard or wide formats.

RIVA | FREESTANDING 20-25

The Riva Freestanding range offers truly stunning portrait and landscape stove options. Displaying the same breathtaking flame visuals as the cassette models, freestanding models are available in two sizes to complement your home.

RIVA | OUTSTANDING EFFICIENCY FIRES

Riva cassette fires and stoves incorporate the very latest Cleanburn technology with a unique 'Opti-Burn' setting. This means that they burn logs or smokeless fuels with outstanding efficiency, resulting in more heat delivery into the room and less going up the chimney. In addition to the radiant heat, a fourth airflow between the inner and outer skins of the Riva provides convected heat. This is emitted into the room naturally or, in the case of the 50, 55 and 66 cassettes, via an optional fan kit. These versatile cassette fires also offer the opportunity to heat other living spaces using an optional ducting system.

Riva cassettes fires and stoves direct three types of air into the glass-fronted firebox, where they combine to provide superb flame control and exceptional views of the fire, which are further enhanced by Stovax's Airwash system that helps keep the glass clean.

Key Design Features

1. High density, thermal brick liner system.
2. Heated air jets from Cleanburn ports on all three sides burn hydrocarbons in smoke.
3. Unique stainless steel baffle (multi-fuel).
4. Single combustion control lever.
5. Unique "Opti-Burn" setting provides optimum efficiency and visual effect for woodburning.
6. Airtight door with removable stainless steel handle.
7. Convected and radiant heat.
8. Externally operated riddling grate.
9. Convected heat ducting system outlets (Riva 50, 55, 66 cassettes only).
10. Easy fit flue connection through cassette.
11. Removable stainless steel ashpan.
12. Optional cast iron, multi-fuel kit† (not illustrated)
13. Optional stainless steel tool holder (not illustrated)
14. Optional Smoke Control Kit enables the burning of logs in Smoke Control Areas
15. Optional fan-assisted convection system (Riva 50, 55 & 66 cassettes only - not illustrated)
16. Optional ash caddy (not illustrated)
17. Optional stove benches (not illustrated - see page 24).

†Required if smokeless fuel is to be used regularly

Riva 55 with standard 3 sided frame with removable handle in situ.

RIVA | CASSETTE & FREESTANDING SIZES

HIGH EFFICIENCY

The Riva Cassette fire range (pages 8 to 19) is available in a choice of sizes including portrait, landscape and one virtually square size. Choose from standard or wide Profil frames, both of which are available in three or four sided versions, depending on whether you want a traditional hearth mounted fire or a more contemporary 'hole in the wall' installation.

Riva Freestanding fires (pages 20 to 25) are available in two sizes, both of which can be either hearth or bench mounted to suit your interior.

	RIVA 40 *(pages 10 - 11)*	RIVA 45 *(pages 12 - 13)*	RIVA 50 *(pages 14 - 16)*	RIVA 55 *(pages 16 - 17)*	RIVA 66 *(pages 18 - 19)*	RIVA F40 FREESTANDING *(pages 20 - 21)*	RIVA F66 FREESTANDING *(pages 22 - 23)*
Heat Output	Nominal: 4.9kW Range: 1.7 - 7kW	Nominal: 5.0kW Range: 1.7 - 7kW	Nominal: 7.0kW Range: 2.2 - 10kW	Nominal: 8.0kW Range: 2.8 - 11kW	Nominal: 8.0kW Range: 2.8 - 11kW	Nominal: 5.0kW Range: 1.7 - 7kW	Nominal: 8.0kW Range: 2.8 - 11kW
Max. Efficiency	82%	83%	83%	84%	80%	81%	80%
Energy Efficiency Class	A	A+	A+	A+	A+	A	A+
Wood & Multi-fuel	✓	✓	✓	✓	✓	✓	✓
Max. Log Length	250mm (9¾")	250mm (9¾")	350mm (13¾")	350mm (13¾")	450mm (17¾")	250mm (9¾")	450mm (17¾")

For detailed technical information, including firebox dimensions see pages 26 - 27.

Frame Options

3 Sided Standard Profil Frame

3 Sided Wide Profil Frame

4 Sided Standard Profil Frame

4 Sided Wide Profil Frame

Riva 40 with removable handle in situ, and wide 3 sided frame. Also shown: Brompton White Mantel available from Stovax

334

RIVA | 40

HIGH EFFICIENCY UP TO 82%

The smallest model in the Riva Cassette range has been specially designed to fit into a standard 22" (560mm) high x 16" (405mm) wide British fireplace opening with the chairbrick removed. So you can now update the look of your living room with minimal construction work, possibly even without the need to remove the existing hearth and mantel. Alternatively, the Riva 40 can be installed as a 'hole in the wall' fire.

In addition to providing excellent contemporary style, installing a Riva 40 significantly increases the level of heat in your room when compared to a conventional open fire. Combustion efficiency is up to four times greater; giving you more heat from your fuel.

Key Technical Data

Nominal Heat Output	4.9kW (1.7 - 7kW)
Max. Efficiency	82%
Energy Efficiency Class	A
Max. Log Length	250mm (9¾")
Flue Connection (internal diameter)	128mm (5")

Key Options and Accessories

Fire Finishes	Metallic Black
Multi-fuel Kit*	
Stainless Steel Tool Holder	
Smoke Control Kit	

Required if smokeless fuel is to be used regularly - see page 27.

Frames

3 sided, standard Profil
4 sided, standard Profil
3 sided, wide Profil
4 sided, wide Profil

Frame Finishes

Metallic Black

For detailed technical information, including firebox dimensions see pages 26 - 27.

CLEANBURN TECHNOLOGY

AIRWASH CLEAR GLASS

DEFRA EXEMPT FOR SMOKE CONTROL AREAS

Riva 40 with handle removed and standard 4 sided frame.

Riva 45 with handle removed and standard 3 sided frame

336

RIVA | 45

HIGH EFFICIENCY UP TO 83%

Featuring clean contemporary styling, the Riva 45 offers an impressive focal point and a 5kW heat output suitable for a wide range of rooms.

For a minimalist aesthetic, The Riva 45 can be fitted as a hole-in-the wall fire, seamlessly integrating with your interior. Alternatively, for a bigger visual impact, this striking fire can be enhanced with a choice of either 3-sided or 4-sided frames depending on whether it is hearth mounted or installed further up the wall.

Riva 45 with removable handle in situ and standard 4 sided frame

337

Key Technical Data

Nominal Heat Output	5kW (1.7 - 7kW)
Max. Efficiency	83%
Energy Efficiency Class	A+
Max. Log Length	250mm (9¾")
Flue Connection (internal diameter)	128mm (5")

Key Options and Accessories

Fire Finishes	Metallic Black
Multi-fuel Kit*	
Stainless Steel Tool Holder	
Smoke Control Kit	

**Required if smokeless fuel is to be used regularly - see page 27.*

Frames

3 sided, standard Profil
4 sided, standard Profil
3 sided, wide Profil
4 sided, wide Profil

Frame Finishes

Metallic Black

For detailed technical information, including firebox dimensions see pages 26 - 27.

CLEANBURN TECHNOLOGY · AIRWASH CLEAR GLASS · DEFRA EXEMPT FOR SMOKE CONTROL AREAS

RIVA | 50

HIGH EFFICIENCY UP TO 83%

Riva 50 with handle removed and standard 3 sided frame

Giving a wonderful view of the radiant, dancing flames, the Riva 50 is an impressively efficient member of the Riva family. With clean, contemporary lines designed to fit into a 22" high and wide fireplace opening, the Riva 50 can be installed with relative ease on to a hearth with a 3 sided frame, or with a 4 sided frame to create a 'hole in the wall' look.

Further images are shown on the pages 3 & 6.

Key Technical Data

Nominal Heat Output	7.0kW (2.2 - 10kW)
Max. Efficiency	83%
Energy Efficiency Class	A+
Max. Log Length	350mm (13¾")
Flue Connection (internal diameter)	128mm (5")

Key Options and Accessories

Fire Finishes	Metallic Black
Fan convection kit (240v)	
Warm air ducting kit (2 outlets)	
Multi-fuel Kit*	
Stainless Steel Tool Holder	
Smoke Control Kit	

**Required if smokeless fuel is to be used regularly - see page 27.*

Frames

3 sided, standard Profil
4 sided, standard Profil
3 sided, wide Profil
4 sided, wide Profil

Frame Finishes

Metallic Black

For detailed technical information, including firebox dimensions see pages 26 - 27.

CLEANBURN TECHNOLOGY

AIRWASH CLEAR GLASS

DEFRA EXEMPT FOR SMOKE CONTROL AREAS

Riva 50 with removable handle in situ and standard 4 sided frame

340

Riva 55 with handle removed and standard 4 sided frame.
The optional tool holder is also shown, see page 27 for details.

RIVA | 55

HIGH EFFICIENCY UP TO 84%

Providing greater heat output and a larger window to view the swirling flames, the Riva 55 can be installed into a fireplace opening that is 915mm h x 915mm w x 460mm d (36"h x 36"w x 18"d).

The Riva 55 can be upgraded to enhance your heating options. A fan-assisted convection kit reduces the time it takes to warm the room when the Riva is first lit. Installing the fan will maximise the benefits from this impressive 8kW cassette fire.

Further image are shown on the page 8.

Key Technical Data

Nominal Heat Output	8.0kW (2.8 - 11kW)
Max. Efficiency	84%
Energy Efficiency Class	A+
Max. Log Length	350mm (13¾")
Flue Connection (internal diameter)	128mm (5")

Key Options and Accessories

Fire Finishes	Metallic Black
Fan convection kit (240v)	
Warm air ducting kit (2 outlets)	
Multi-fuel Kit*	
Stainless Steel Tool Holder	
Smoke Control Kit	

*Required if smokeless fuel is to be used regularly - see page 27.

Frames

3 sided, standard Profil
4 sided, standard Profil
3 sided, wide Profil
4 sided, wide Profil

Frame Finishes

Metallic Black

For detailed technical information, including firebox dimensions see pages 26 - 27.

CLEANBURN TECHNOLOGY
AIRWASH CLEAR GLASS
DEFRA EXEMPT FOR SMOKE CONTROL AREAS

Riva 55 with removable handle in situ and standard 3 sided frame

342

Riva 66 with wide 4 sided frame with removable handle in situ.
Shown with Contemporary Highline Log Store from Stovax.

RIVA | 66

HIGH EFFICIENCY UP TO 80%

Not only will this magnificent landscape cassette fire provide you with significant heating capacity, but it will also be a stunning focal point in your living room. This model is ideal for new-build homes, barn conversions or where major refurbishment is taking place and a large opening can be constructed for installation.

If you expect to burn smokeless fuel, a multi-fuel kit must be fitted due to the larger firebox. Not only does this decrease the amount of fuel you need to load but it also guides the fuel and cinders towards the grate for improved combustion. However, you may still burn wood with equal efficiency.

343

Key Technical Data

Nominal Heat Output	8.0kW (2.8 - 11kW)
Max. Efficiency	80%
Energy Efficiency Class	A+
Max. Log Length	450mm (17¾")
Flue Connection (internal diameter)	153mm (6")

Key Options and Accessories

Fire Finishes	Metallic Black
Fan convection kit (240v)	
Warm air ducting kit (2 outlets)	
Multi-fuel Kit*	
Stainless Steel Tool Holder	
Smoke Control Kit	

Required if smokeless fuel is to be used regularly - see page 27.

Frames

3 sided, standard Profil
4 sided, standard Profil
3 sided, wide Profil
4 sided, wide Profil

Frame Finishes

Metallic Black

For detailed technical information, including firebox dimensions see pages 26 - 27.

CLEANBURN TECHNOLOGY
AIRWASH CLEAR GLASS
DEFRA EXEMPT FOR SMOKE CONTROL AREAS

Riva 66 with removable handle in situ and standard 4 sided frame.

Riva F40 Freestanding with removable handle in situ.

344

RIVA | F40 FREESTANDING

HIGH EFFICIENCY UP TO 81%

Incorporating all the latest firebox technology of the Riva 40 Cassette, the Riva F40 Freestanding is a compact stove offering stylish lines and impressive heating performance. It has full multi-fuel capability (complete with 'Opti-Burn' setting), Airwash to help keep the glass window clear, externally operated riddling (accessed via the special ashpit door) and a choice of top or rear flue exits.

In addition to hearth-mounting, there is a choice of Benches available (please see pages 24 - 25 for details) to provide alternative styling options.

Further images of the Riva F40 Freestanding on page 5.

Key Technical Data

Nominal Heat Output	5kW (1.7 - 7kW)
Max. Efficiency	81%
Energy Efficiency Class	A
Max. Log Length	250mm (9¾")
Flue Connection (internal diameter)	128mm (5")

Key Options and Accessories

- Stove Benches
- Stainless Steel Tool Holder
- Multi-fuel Kit*
- Smoke Control Kit

Stove Finishes

Metallic Black

**Required if smokeless fuel is to be used regularly - see page 27.*

For detailed technical information, including firebox dimensions see page 26.

CLEANBURN TECHNOLOGY

AIRWASH CLEAR GLASS

DEFRA EXEMPT FOR SMOKE CONTROL AREAS

Riva F40 Freestanding with removable handle in situ on 120 Low Bench.

RIVA | F66 FREESTANDING

HIGH EFFICIENCY UP TO 80%

Riva F66 Freestanding with removable handle in situ.

If you are looking for the greater heating performance of the multi-fuel Riva 66 cassette, but wish to combine this with the hearth-mounted appeal of a contemporary stove, then the F66 Freestanding provides a stylish, elegant solution.

The F66 Freestanding can be placed on a Stovax Bench (please see pages 24 - 25 for details). Available in various sizes these benches will present a distinctive focal point whether freestanding in an open living space or positioned in a larger fireplace opening.

Key Technical Data

Nominal Heat Output	8kW (2.8 - 11kW)
Max. Efficiency	80%
Energy Efficiency Class	A+
Max. Log Length	450mm (17¾")
Flue Connection (internal diameter)	153mm (6")

Key Options and Accessories

- Stove Benches
- Stainless Steel Tool Holder
- Multi-fuel Kit*
- Smoke Control Kit

Stove Finishes

Metallic Black

**Required if smokeless fuel is to be used regularly - see page 27.*

For detailed technical information, including firebox dimensions see page 26.

CLEANBURN TECHNOLOGY · AIRWASH CLEAR GLASS · DEFRA EXEMPT FOR SMOKE CONTROL AREAS

Riva F66 Freestanding with handle removed.
Shown with Claremont Limestone Mantel

347

STOVE | BENCHES

Riva F40 Freestanding with removable handle in situ on 100 High Bench

*45 High**
RVACB45BHT

100 High
RVACB100BHT

120 High
RVACB120BHT

140 High
RVACB140BHT

*45 Low**
RVACLB45BHT

100 Low
RVACLB100BHT

120 Low
RVACLB120BHT

140 Low
RVACLB140BHT

180 High
RVACB180BHT

180 Low
RVACLB180BHT

To assist designers and homeowners in creating a flexible alternative to the 'on hearth' mounting of Riva Freestanding stoves, Stovax offer a selection of different sizes of Bench to which the stoves may be secured.

Standing 250 or 350mm high with a sturdy steel construction and a durable black finish, you can not only match the Bench to the space available but also accommodate individual styling requirements. For example, appliances can be positioned centrally on the Bench or offset to one side.

Product Code	Product	W (mm)	H (mm)	D (mm)
RVACLB45BHT	Bench 45 Low †	450	250	420
RVACB45BHT	Bench 45 High †	450	350	420
RVACLB100BHT	Bench 100 Low	1000	250	420
RVACB100BHT	Bench 100 High	1000	350	420
RVACLB120BHT	Bench 120 Low	1200	250	420
RVACB120BHT	Bench 120 High	1200	350	420
RVACLB140BHT	Bench 140 Low	1400	250	420
RVACB140BHT	Bench 140 High	1400	350	420
RVACLB180BHT	Bench 180 Low	1800	250	465
RVACB180BHT	Bench 180 High	1800	350	465
RVACLB120BHT-DP	Bench 120 Low, (Deep)	1200	250	500
RVACB120BHT-DP	Bench 120 High (Deep)	1200	350	500
RVACLB140BHT-DP	Bench 140 Low, (Deep)	1400	250	500
RVACB140BHT-DP	Bench 140 High, (Deep)	1400	350	500
RVACLB180BHT-DP	Bench 180 Low, (Deep)	1800	250	500
RVACB180BHT-DP	Bench 180 High, (Deep)	1800	350	500

† Suitable for Vision & Vogue Small, Small T, Midi & Midi T

Key Facts

Sturdy steel construction	✓
Durable Matt Black finish	✓
Proportioned 60mm wide legs	✓
Allows for central or offset stove positioning	✓

**Only suitable for the Riva F40 Freestanding.*

Riva F66 Freestanding with removable handle in situ on 120 Low Bench

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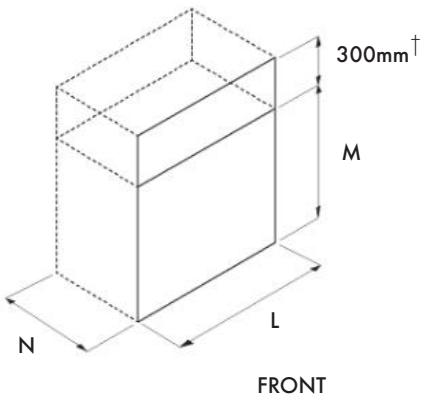
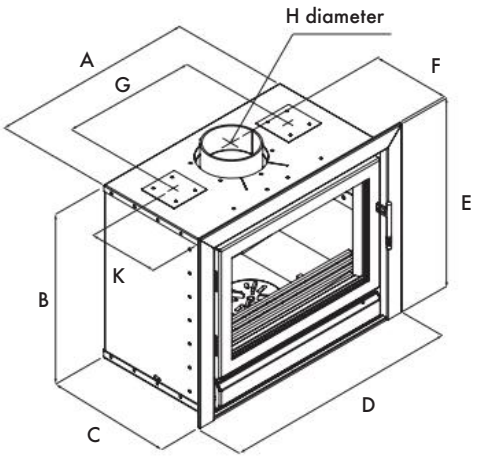
TECHNICAL | INFORMATION

OPENING DIMENSIONS



RIVA CASSETTE DIMENSIONS

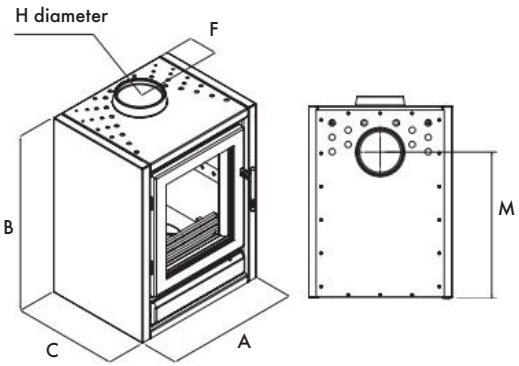


(all dimensions in mm)	Riva 40	Riva 45	Riva 50	Riva 55	Riva 66
A	400	400	540	540	650
B	550	660	550	660	550
C	350	350	350	350	395
D	492	492	632	632	742
E	599	709	599	709	599
F	234	234	234	234	248
G	N/A	N/A	360	360	420
H ø	128	128	128	128	153
J	-	-	-	-	-
K	N/A	N/A	N/A	234	248
L	410	410	550	550	660
M	560	670	560	670	560
N	355	360	360	355	405*
Flame Viewing Area (w x h)	269 x 325	269 x 435	409 x 325	409 x 435	503 x 325
Weight	**80kg**	**80kg**	**80kg**	**100kg**	**110kg**

†Extra height required when fitting Warm Air Ducting kit.

Please note the minimum distance to combustible materials for the Riva cassettes is 300mm. For full details please refer to the installation manual.

RIVA FREESTANDING DIMENSIONS*



Riva F40 Freestanding	Riva 66 Freestanding
451	698
602	602
355	405
-	-
119	153
-	-
-	-
128	153
-	-
-	-
-	-
458	442
-	-
268 x 322	503 x 325
82kg	**100kg**

** For stove benches to go with the freestanding models, please see pages 24 - 25.*

RIVA CASSETTES FRAME DIMENSIONS (MM)

Product Code	Description	Height	Width
Riva 40			
RV40PRO3/B	3 Sided, Standard	599	492
RV40PRO3W/B	3 Sided, Wide	646	586
RV40PRO4/B	4 Sided, Standard	645	492
RV40PRO4W/B	4 Sided, Wide	739	586
Riva 45			
RV45PRO3/B	3 Sided, Standard	709	492
RV45PRO3W/B	3 Sided, Wide	756	586
RV45PRO4/B	4 Sided, Standard	755	492
RV45PRO4W/B	4 Sided, Wide	849	586
Riva 50			
RV50PRO3/B	3 Sided, Standard	599	632
RV50PRO3W/B	3 Sided, Wide	646	726
RV50PRO4/B	4 Sided, Standard	645	632
RV50PRO4W/B	4 Sided, Wide	739	726
Riva 55			
RV55PRO3/B	3 Sided, Standard	709	632
RV55PRO3W/B	3 Sided, Wide	756	726
RV55PRO4/B	4 Sided, Standard	755	632
RV55PRO4W/B	4 Sided, Wide	849	726
Riva 66			
RV66PRO3/B	3 Sided, Standard	599	742
RV66PRO3W/B	3 Sided, Wide	645	836
RV66PRO4/B	4 Sided, Standard	645	742
RV66PRO4W/B	4 Sided, Wide	739	836

A HETAS approved installer should undertake a site survey prior to purchase and must install any Riva Cassette Fire or Stove. *Your Stovax retailer will be able to advise on this and, in particular, the use of high temperature (1300°C) plaster/screed in the area around Riva cassettes or stove. You may view/download complete installation instructions at our website -* ***www.stovax.com.*** *These diagrams cover some of the basic requirements. All fires & stoves should be installed by a competent person to the requirement of Building Regulations (Document J) and include the fitting of adequate ventilation to ensure safe use. Usually older buildings do not need any additional ventilation for appliances up to 5kW, but modern houses will need additional ventilation in all cases. The diagrams and dimensions on these pages cover some of the basic requirements and are for initial information purposes only.*

RIVA CASSETTES INFORMATION & PRODUCT CODES

Product Code	Description		Heat Output	Fuel Type	Efficiency	Energy Efficiency Class
RV40B	Riva 40 Cassette	✓	5.0kW	Multi-fuel	82%	A
RV45B	Riva 45 Cassette	✓	5.0kW	Multi-fuel	83%	A+
RV50B	Riva 50 Cassette	✓	7.0kW	Multi-fuel	83%	A+
RV55B	Riva 55 Cassette	✓	8.0kW	Multi-fuel	84%	A+
RV66B	Riva 66 Cassette	✓	8.0kW	Multi-fuel	80%	A+

✓ *These models are approved for use in Smoke Control Areas when fitted with an optional Smoke Control Kit.*

RIVA CASSETTE ACCESSORY PRODUCT CODES

RVAC001	Stainless Steel Tool Holder for Riva 40, 45, 50, 55 & 66
RV55BFK	Fan-assisted convection circulation kit (240v) for Riva 50 & 55 (Metallic Black)
RV66BFK	Fan-assisted convection circulation kit (240v) for Riva 66 (Metallic Black)
8572	Warm air ducting kit for Riva 50, 55 & 66

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Smoke Control Area Kits

RV40SCKIT	Smoke Control Kit for Riva 40 and 45
RV55SCKIT	Smoke Control Kit for Riva 50 and 55
RV66SCKIT	Smoke Control Kit for Riva 66

Multi-fuel Kits*

RVAC082*	Multi-fuel kit for Riva 40 and 45
RVAC101*	Multi-fuel kit for Riva 50 and 55
RVAC002*	Multi-fuel kit for Riva 66

Ash Caddies **Required if smokeless fuel is to be used regularly*

4227	Ash Caddy for Riva 40, 45, 50, 55 and 66

RIVA STOVE INFORMATION AND PRODUCT CODES

Product Code	Description		Heat Output	Fuel Type	Efficiency	Energy Efficiency Class
RVF40CB	Riva F40 Freestanding	✓	4.9kW	Multi-fuel	81%	A
RVF66B	Riva F66 Freestanding	✓	8.0kW	Multi-fuel	80%	A+

✓ *These models are approved for use in Smoke Control Areas when fitted with an optional Smoke Control Kit.*

RIVA STOVES ACCESSORY PRODUCT CODES

RVAC001	Stainless Steel Tool Holder for Riva F40 & F66

Smoke Control Area Kits

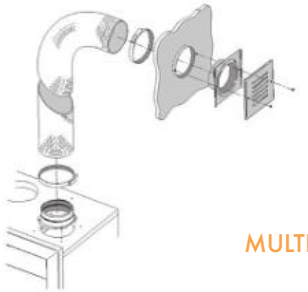
RV40SCKIT	Smoke Control Kit for Riva F40
RV66SCKIT	Smoke Control Kit for Riva F66

Multi-fuel Kits For Riva Freestanding Stoves* (see page 27 for further information)

RVAC082*	Multi-fuel kit for Riva F40	*See page 27 for further information.*
RVAC002*	Multi-fuel kit for Riva F66	*See page 27 for further information.*

Ash Caddies

4227	Ash Caddy for Riva F40, F66



WARM AIR DUCTING KIT FOR RIVA CASSETTES

The kit, for the cassettes only, includes two 3 metre lengths of flexible ducting, allowing you to distribute up to half of the heat output to two other living spaces, extending the heating potential throughout your home.

MULTI-FUEL KIT FOR RIVA CASSETTES AND FREESTANDING STOVES

If you expect to burn smokeless fuels with a Riva Cassette or Riva Freestanding stove then you will need to fit the Multi-fuel Kit. By placing the cast iron guides into the base of the firebox, you will decrease the amount of fuel you need to load and allow the fuel and cinders to fall towards the grate for improved combustion. However, you may still burn logs with equal efficiency.

STAINLESS STEEL TOOL HOLDER FOR RIVA CASSETTES AND FREESTANDING STOVES

A handy place to hold both your ash pan tool and door opening tool, the optional tool holder can be either hearth or wall mounted and, being crafted from high grade stainless steel, is the perfect complement to the contemporary styling of the Riva Cassette and Stove ranges.

FURTHER | INFORMATION

Extended Warranty

When you choose a Stovax Riva stove or fire, quality and technology are assured. Accordingly, your Stovax Expert Retailer will provide you with a two year warranty for your new appliance. This can then be extended to a five year warranty, provided it is registered with Stovax. Please note, these warranties exclude certain consumable parts. Fires and stoves purchased outside of Stovax's Expert Retailer Network will carry a standard one year non-extendable warranty.

Important Safety Details

Please note that all parts of these fires, particularly the glass panel in the door, become extremely hot during operation and can result in serious injury and burns if touched. It is therefore recommended that a fireguard complying with BS 8423:2002 is used in the presence of young children, the elderly or infirm. In addition, by law all installations also require a Carbon Monoxide monitor (such as product code 3045 available from Stovax).

Professional XQ™ Chimney Systems and Enamelled Flue Pipe

Stovax also offers a comprehensive range of stove and fireplace chimney systems: the Stovax Professional XQ™ collection. Crafted from 304L grade stainless steel for a durable outer finish, the fully sealed components offer water tight protection for the insulation within.

With innovative decorative options, the ability to specify a colour for your system and with a host of technical advancements such as their Twist-Lock system, the Professional XQ™ range provides an attractive, versatile and reliable solution for your flue system. Furthermore, the Professional XQ™ range carries a 10 year conditional warranty offering complete peace of mind. For further information or to request a brochure, simply contact your local retailer or visit www.stovax.com/chimneysystems.

ENAMELLED FLUE PIPE PRODUCT CODES

Description	128mm (5") Diameter	153mm (6") Diameter
Matt Black Flue Pipe		
1' (305mm) straight without door	4500	4600
1' (305mm) straight with door	4504	4604
2' (610mm) straight without door	4501	4601
2' (610mm) straight with door	4505	4605
3' (915mm) straight without door	4502	4602
3' (915mm) straight with door	4506	4606
1'3" - 2'1" (380 - 635mm) telescopic without door	4542	4642
3'4" - 4'6" (1015 - 1370mm) telescopic without door	4540	4640
90° tee piece with end cap (for rear exit)	4516	4616
Gloss Black Flue Pipe		
1' (305mm) straight without door	4500GB	4600GB
2' (610mm) straight without door	4501GB	4601GB
3' (915mm) straight without door	4502GB	4602GB
90° tee piece with end cap (for rear exit)	4516GB	4616GB

Photography and Installation

Due to variations in studio lighting and printing inks, the finishes/colours of fires illustrated in this brochure may differ slightly from actual models. Before purchasing, please ask your retailer to show you finish/colour samples.

All of the flame pictures shown in this brochure are taken from real fires. Please note however that flame pictures will vary depending on the exact fuel used, flue conditions and surrounding geographical features. Given that building regulations are subject to constant change, some of the photography in this brochure may not comply with the requirements of the latest building regulations and you should always check your proposed installation arrangement with your HETAS trained installer before proceeding.

When designing your own installation, please also observe the minimum distance to combustible materials as stated in the installation instructions.

Stovax pursues a policy of continuous product improvement, therefore, whilst our products are correct at the time of the photography, we reserve the right to make alterations and amendments. Exact product details should be discussed with your retailer at the time of purchase.

The 'Nominal' heat output is to be used for calculating the ventilation provision as required by ADJ Building Regulations and for calculating its suitability for heating the size of room it will be fitted into. The heat output 'Range' is to be used as a guide only as the maximum and minimum performance will depend on local conditions such as flue pull, fuel quality and the way in which the product is used.

We are working with our recommended British Woodsure "Ready to Burn" fuel supplier Certainly Wood to encourage sustainable woodland creation. For every stove or fire registered for our Extended Warranty in the UK*, the Stovax Heating Group and Certainly Wood will jointly fund the planting of a tree as part of our #GreenBritain campaign. Our goal is to plant 10,000 new trees each year in Britain.

Find out more at **stovax.com/GreenBritain**

ELISE & STUDIO | CASSETTE FIRES & STOVES

Elise Glass 680 woodburning with Four Sided Edge+ Frame

Studio 2 Ecodesign Freestanding on Riva 120 Low Bench and Gloss Black Flue Pipe.

In addition to the exciting products shown throughout this brochure, Stovax offers various other models of woodburning and multi-fuel cassette and freestanding fires such as the Studio and Elise ranges. Many of these fires are Ecodesign Ready whilst their progressive designs and state-of-the-art combustion systems make them not only some of today's cleanest burning fires, but also compliant with tomorrow's 2022 Ecodesign regulations.

Available in a wide variety of sizes, styling options, along with wider format landscape models, Stovax's versatile portfolio of fires are designed to offer choice for a host of interior requirements.

Further information on the Stovax portfolio can be found in separate, dedicated brochures for each range which can be requested from your local retailer or viewed online at **stovax.com**

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Riva 50 with handle removed and standard 3 sided frame

Find Your Local Expert Retailer

You can find your nearest retailer by visiting:
www.stovax.com/find-a-retailer

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DRAINAGE REPORT
DUNCRIEVIE HOUSE, GLENFARG

Client: Mr B Burgess

Date: 10th March 2022
Revision A – 15th March 2022

Prepared by: G Donaldson

Checked by: E Henderson

Reference No: 2216

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INTRODUCTION

It is proposed to construct two new houses on the development site. The site is located on the East side of the town of Duncrievie, which is approximately half a mile South of Glenfarg. The site is located at National Grid reference NO 13751 09344 and is approximately 0.98 Hectares in size including the existing house and lands.

The site currently consists of an existing house and garden grounds within which two plots are to formed of 2175m² and 1141m².

Geology maps show the site conditions to be Till, Devensian - Diamicton overlaying Ochil Volcanic Formation - Andesite, pyroxene.

DRAINAGE REQUIREMENTS

The purpose of this drainage report is to provide information on the possibilities of a drainage solution for the client, which will include the private foul discharge and a SuDS solution in accordance with the local authorities requirements and planning guidelines. Perth and Kinross Council requirements states;

"*Proposal needs to comply with development plan Policy 53B - Foul Drainage. Policy 53C - Surface Water Drainage and Policy 53E – Water Supply. Policy 53 of the LDP requires proposals to include information with regard to drainage including foul and surface water drainage. Policy 53E requires provision of a satisfactory mains or private water supply.*"

"*Applications should incorporate Sustainable Drainage Systems (SUDS) as the preferred method of surface water disposal. Full details of all SUDS should be provided, including a report and supporting calculations to confirm that the proposed drainage system will be effective in all weather conditions, and not exacerbate flooding from watercourses or existing piped drainage systems. The report must be certified by a Chartered Civil Engineer, or similarly qualified person who is indemnified against professional risk. Infiltration test certificates will be required where surface water soakaways are proposed.*"

The surface water design will also be in accordance with BRE Digest 365 and the Scottish Environmental Protection Agency (SEPA). Proposals for developments shall comply with The Water Environment (Controlled Activities) (Scotland) Regulations 2011. General Binding Rule 10 of these regulations states that constructed sites must be served by a sustainable drainage system.

The foul drainage design will be carried out in accordance with Scottish Building Standards Technical Handbook 2019: Domestic 3.9.1.

SEPA Water Environment (Controlled Activities) (Scotland) Regulations or CAR, require that for organic effluents under 15 Population Equivalent a registration is required. This should be carried out once the drainage design has been finalised

FOUL DRAINAGE

There is no Scottish Water sewerage assets within the local area that would be feasible to connect to therefore the only option available to this site is to dispose of the foul effluent via soakaway systems.

The topographical survey found an existing septic tank serving the neighbouring property within what is to be the area for the new shared foul soakaway, assuming this tank also has a soakaway nearby this should be fully investigated prior to any works commencing.

Foul load assessment in accordance with Loadings data from British Water Code of Practice - Flows and Loads 4 - Sizing Criteria, Treatment Capacity for Sewage Treatment Systems:

	PE	Flow PP	Total flow	Organic PP	Total Organic	Ammonia PP	Total Ammonia
Plot		**L/day**	**L/day**	**gBOD5/day**	**gBOD5/day**	**gNH4-N/day**	**gNH4-N/day**
1	7	150	1050	60	420	8	56
2	5	150	750	60	300	8	40

To comply with the technical standards the available space on site to locate a foul soakaways system is limited and most free space is currently occupied by trees, therefore alternative ground should be used to site the foul soakaway system. We are proposing to site the new shared foul soakaway in the West area of land reserved for communal landscaping.

The combined PE for the two houses would be 12. Using soil infiltration rates from soil testing undertaken by MMEC the average equivalent VP for the location of the soakaway is 57s/mm, therefore the total soakaway area needed to serve the system would be VP x 0.25 x PE = 171m². The design is based upon the use of a standard septic tank however if a packaged treatment plant was used which provides secondary treatment, the area required for the soakaway can be reduced by 20%.

"3.8.4 Location of a treatment plant
Research has shown that there are no health issues that dictate a safe location of a treatment plant or septic tank relative to a dwelling. However damage to the foundations of a dwelling has been shown to occur where leakage from the tank has occurred. In the unlikely event of there being leakage, it is sensible to ensure that any water bearing strata directs any liquid away from the dwelling. To prevent any such damage therefore, every part of a private wastewater plant and septic tank should be located at least 5m from a dwelling.

Every part of a private wastewater plant and septic tank should be located at least 5m from a boundary in order that an adjoining plot is not inhibited from its full development potential."

Extract from Scottish Building Standards Technical Handbook 2019: Domestic

For the purposes of this report we have taken an average VP over the tests carried out in the area of the soakaway to give an indicative VP for the location which we have then used in the soakaway design, however further testing should be carried out in the proposed location of the soakaway to confirm these conditions.

SURFACE WATER DRAINAGE

The existing site consists of undeveloped greenfield garden grounds and therefore no current drainage systems serves these plots of land.

The SUDS design is required to not surcharge during a 1:30 year storm + 35% climate change with the flow route for a 1:200 year storm + 35% climate change demonstrated or fully attenuate this storm.

The system will therefore be designed to contain a 1:200 year storm event + 35% climate change + 10% urban creep, as overland flow paths show that the runoff could affect the properties adjacent. Therefore the drainage system will contain all of the predicted runoff and dispose of it via sub-surface soakaways.

Below is the volumes required to be retained within the soakaway systems;

Plot	Roof area	1:30	1:100	1:200
1	371m²	14.9m³	18.8m³	21.2m³
2	167m²	8.4m³	10.5m³	12.0m³

The infiltration rate used for each plot is an average of the tests carried out by MMEC in the nearby area.

It should be noted that we have proposed the soakaways to be a traditional gravel filled type which has a relatively low void ratio, other products such as underground storage crates can be used to form the surface water soakaways which have a much higher void ratio and therefore generally a significant reduction in required system volume to store the same amount of runoff, depending upon ground conditions.

There has been no allowance made in these systems for roads or driveways which should have their own method of discharge.

TREATMENT LEVELS

The land use type for roofs has been classified as 'Residential roofing' which has a VERY LOW pollution hazard level. The land use type for the parking and access road has been classified as ' Low traffic roads (e.g. residential roads and general access roads, < 300 traffic movements/day)' which has a LOW pollution level.

It is proposed to discharge the roof water into the sub-surface soakaway systems which will treat and attenuate the roof water before slowly discharging into the ground water environment. The surface water runoff from the roads and driveways on site should be discharged through porous surfaces which will store the runoff in the sub-base for treatment whilst discharging into the ground environment.

To comply with SEPA regulations and guidance provided by CIRIA C753 the treatment train has been assessed with use of the Simple Index Approach Tool which is summarised below;

Roofs

	TSS	Metals	Hydrocarbons
Hazard	0.2	0.2	0.05
Mitigation	0.4	0.4	0.5

Roads

	TSS	Metals	Hydrocarbons
Hazard	0.5	0.4	0.4
Mitigation	0.7	0.6	0.7

As the Combined Pollution Mitigation indices are greater than the Pollution Hazard Indices we can confirm that this system provides an acceptable level of mitigation in accordance with CIRIA C753 SUDS Manual.

MAINTENANCE

To maintain the working efficiency of the drainage system the porous paving surface should be inspected regularly during and after periods of heavy rainfall to ensure that the porous block paviours are allowing surface water runoff to drain through to the sub-base. CIRIA C753 SUDS Manual table 20.2 describes the maintenance required as "Brushing and suction sweeping of the surface, replacement of top 20mm of jointing material, herbicide application and weed removal programmes" to bring the surface back to full working condition.

Regular inspection and maintenance is important for the effective operation of pervious pavements. Maintenance responsibility for a pervious pavement and its surrounding area should be placed with an appropriate responsible organization. Before handing over the facility to the client, it should be inspected for clogging, litter, weeds and water ponding and all failures should be rectified. After handover the facility should be inspected regularly, preferably during and after heavy rainfall to check effective operation and to identify any areas of ponding.

Pervious surfaces need to be regularly cleaned of silt and other sediments to preserve their infiltration capability. Experience in the UK is limited but advice issued with permeable precast concrete paving has suggested a minimum of three surface sweepings per year. Manufacturers recommendations should always be followed.

A brush and suction cleaner, which can be a lorry mounted device or a smaller precinct sweeper, should be used and the sweeping regime should be as follows:

1. End of winter (April) – to collect winter debris
2. Mid summer (July/August) – to collect dust, flower and grass –type deposits.
3. After autumn leaf fall (November)

Care should be taken in adjusting vacuuming equipment and to avoid removal of jointing material. Any lost material should be replaced.

The Hydro-Brake Flow Control is fitted with a pivoting by-pass door, which allows the manhole chamber to be drained down should a blockage occur. It is recommended that the unit be inspected monthly for three months and thereafter at six monthly intervals with hose dose down if required.

Regular inspection and maintenance is required to ensure the effective long-term operation of the below ground modular storage system. If correct maintenance is not carried out and the flow control becomes blocked the storage system will overflow. Maintenance should be carried out in accordance with the manufacturer's guidance and recommendations. The attenuation system should be inspected annually and jetted when required in accordance with manufacturers instructions.

Pipework, manholes and inspection chambers to be inspected after 1 year of operation and annually thereafter.

SUMMARY

This report is an assessment of the drainage requirements and should provide an appropriate solution.

The site is located on the East side of the town of Duncrievie, which is approximately half a mile South of Glenfarg. The site is located at National Grid reference NO 13751 09344 and is approximately 0.98 Hectares in size including the existing house and lands.

There is no Scottish Water assets nearby therefore sub-surface soakaways should be used for this development.

CONCLUSION

The drainage system designed in accordance with CIRIA C753 SUDS Manual, SUDS for Roads, SEPA requirements and local authority guidance is designed to contain a 1:200 year storm event + 35% allowance for climate change and an additional 10% for urban creep within the site to prevent overland flows from events up to and including this severity.

It is proposed to store and discharge the runoff from roofs in sub-surface soakaways and roads in the sub-base of the porous paviour roads and driveways.

The use of the gravel based soakaways also provides the required treatment volumes and levels as required by the relevant guidelines.

As the foul system discharges to the ground water environment and the total combined population equivalent is less than 15 a registration is required by SEPA to register the discharge.

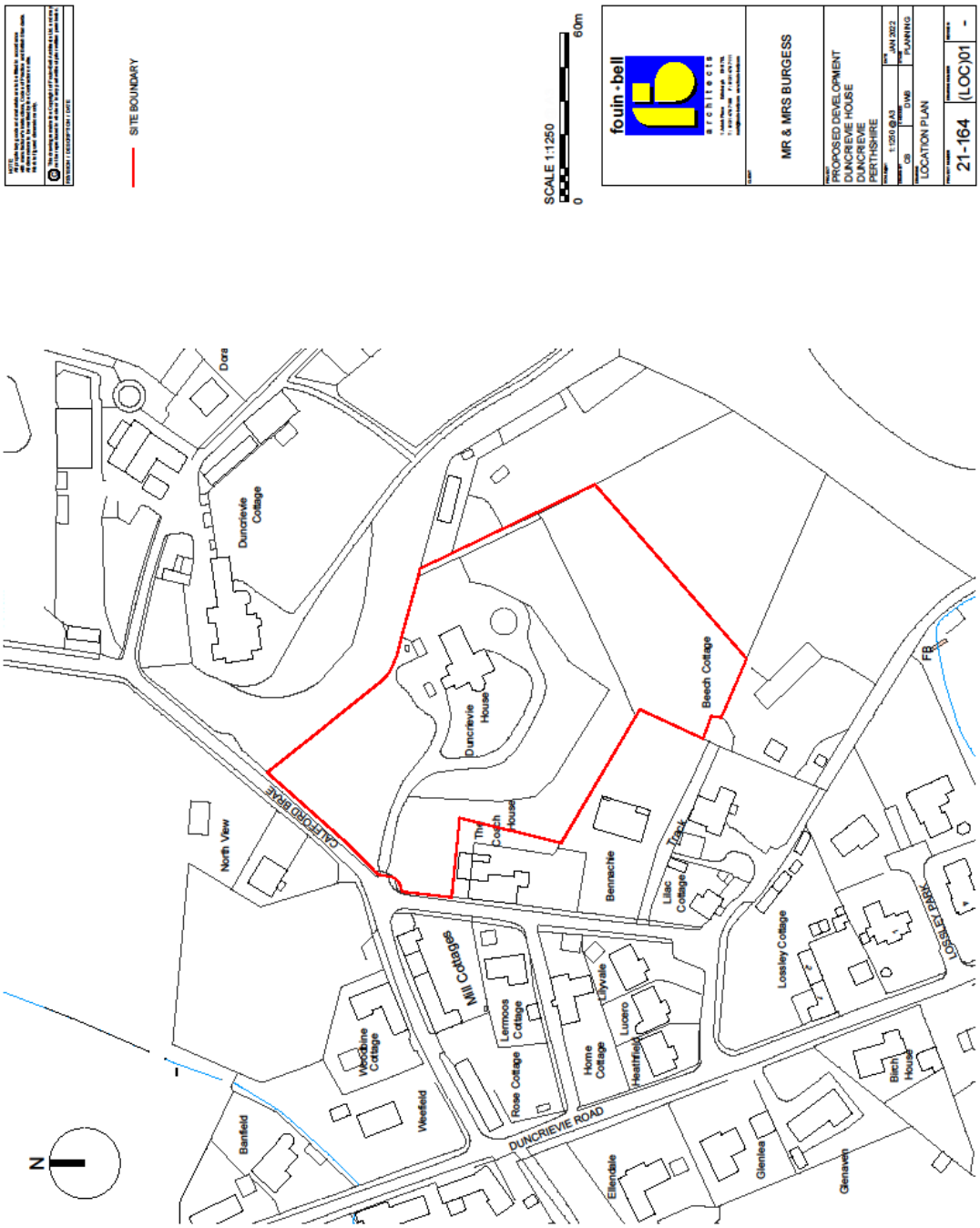
G Donaldson

Graeme Donaldson
L.N. Henderson & Associates,
Consulting Engineers, Dundee

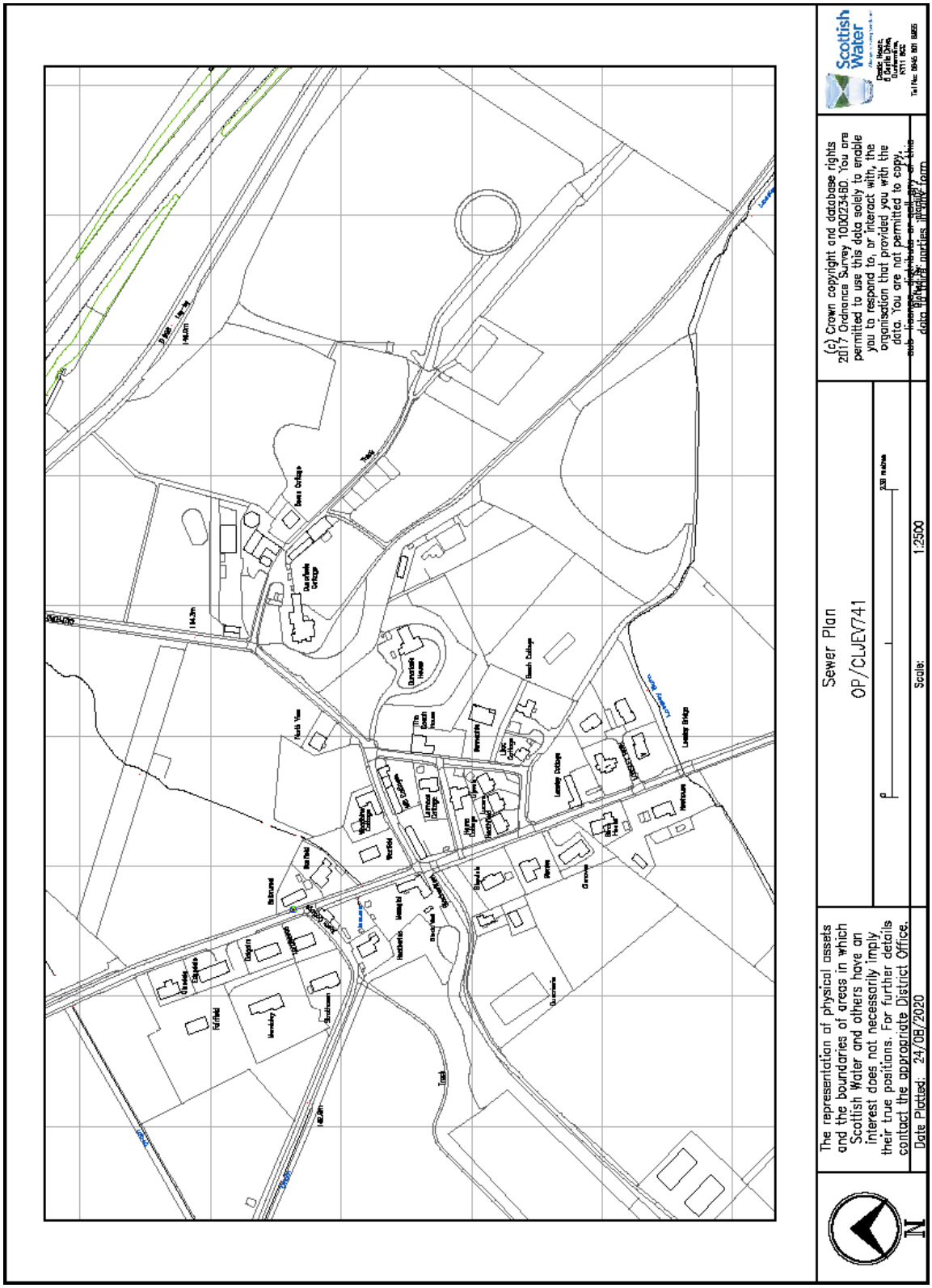
E L J Henderson

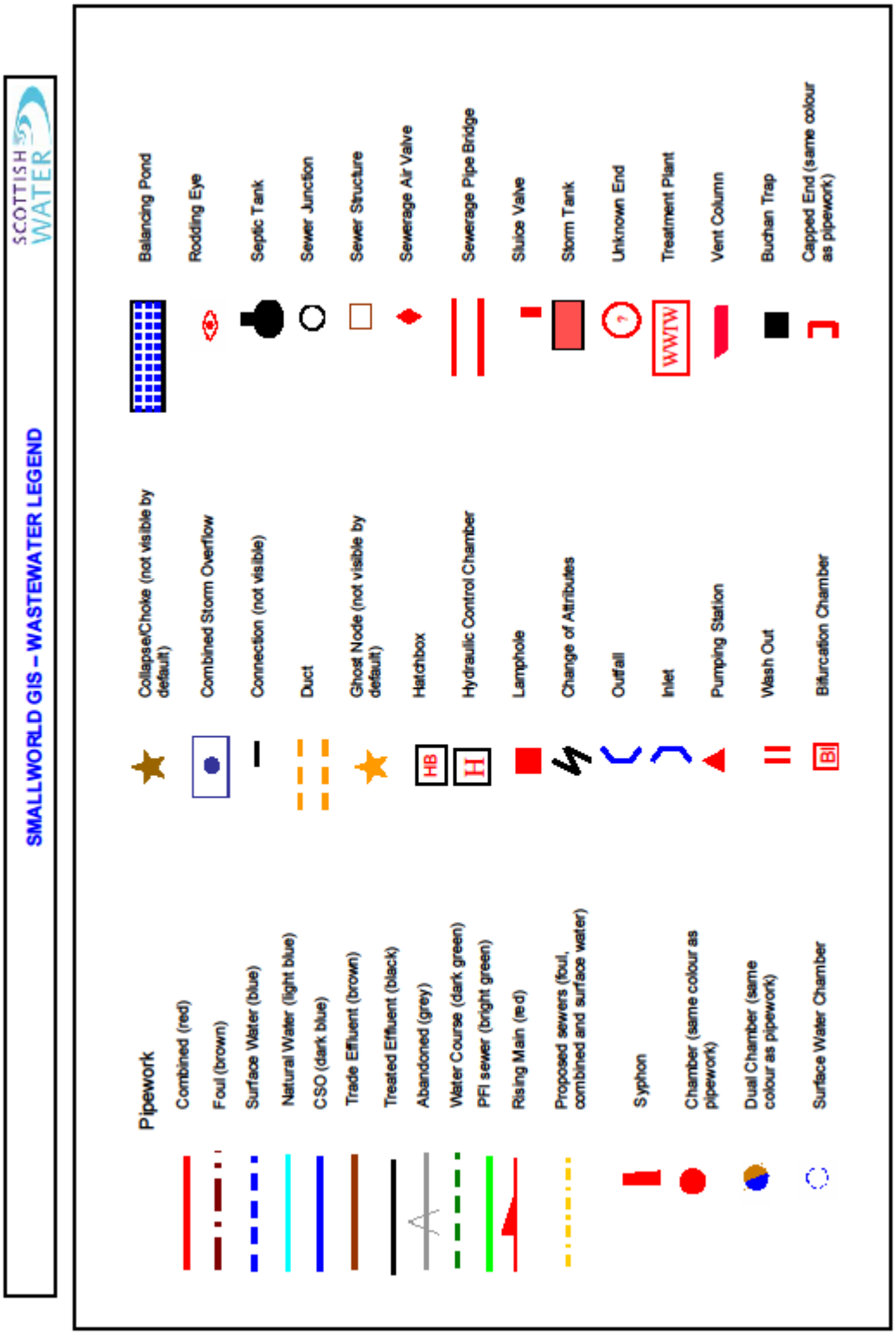
Ewan L J Henderson
L.N. Henderson & Associates,
Consulting Engineers, Dundee

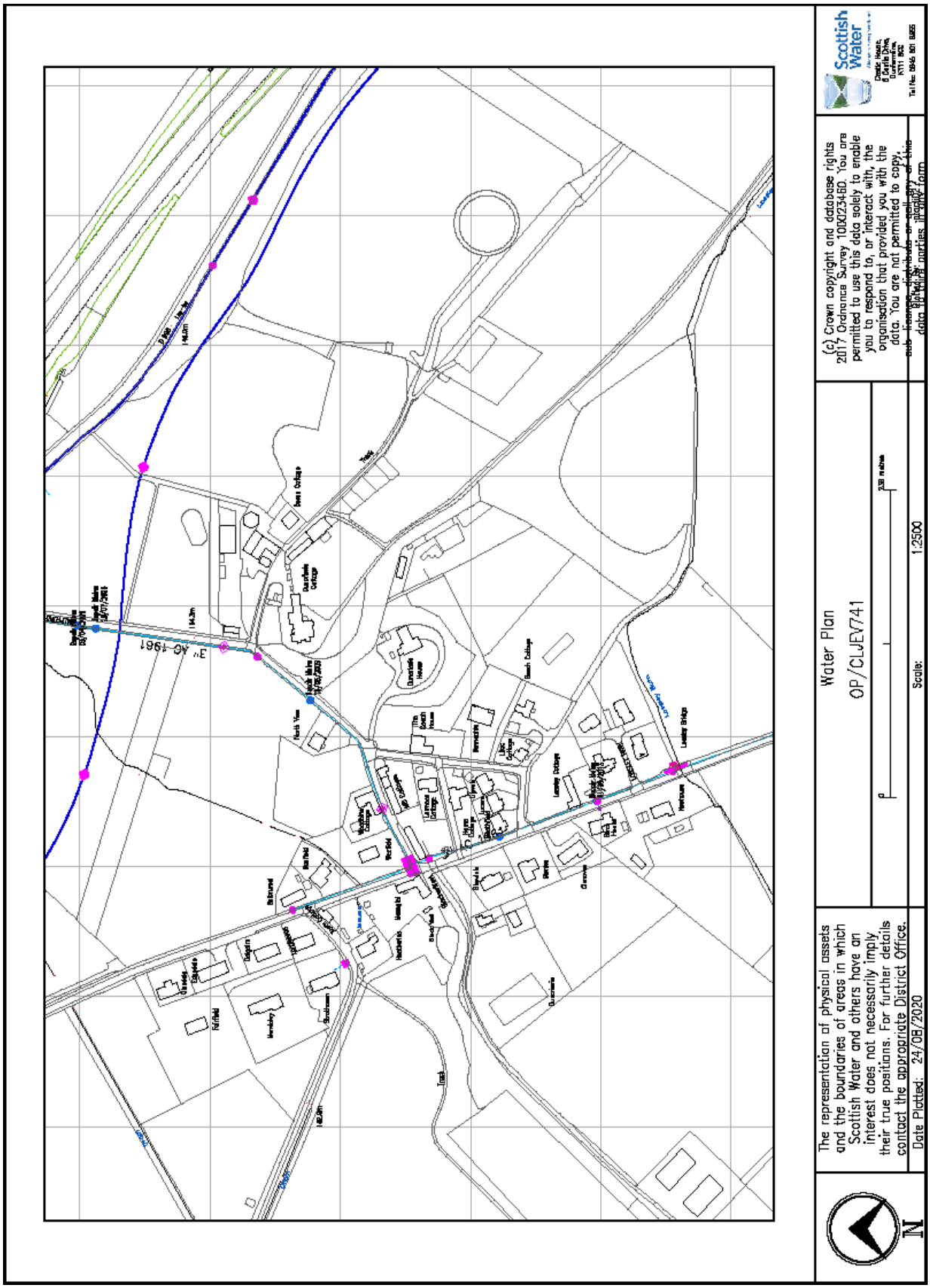
APPENDIX A - SITE LOCATION



APPENDIX B - SCOTTISH WATER PLANS




SCOTTISH WATER
SMALLWORLD GIS – WASTEWATER LEGEND
Pipework
Combined (red)
Foul (brown)
Surface Water (blue)
Natural Water (light blue)
CSO (dark blue)
Trade Effluent (brown)
Treated Effluent (black)
Abandoned (grey)
Water Course (dark green)
PFI sewer (bright green)
Rising Main (red)
Proposed sewers (foul, combined and surface water)
Syphon
Chamber (same colour as pipework)
Dual Chamber (same colour as pipework)
Surface Water Chamber
Collapse/Choke (not visible by default)
Combined Storm Overflow
Connection (not visible)
Duct
Ghost Node (not visible by default)
Hatchbox
HB
Hydraulic Control Chamber
H
Lamphole
Change of Attributes
Outfall
Inlet
Pumping Station
Wash Out
Bifurcation Chamber
BI
Balancing Pond
Rodding Eye
Septic Tank
Sewer Junction
Sewer Structure
Sewerage Air Valve
Sewerage Pipe Bridge
Sluice Valve
Storm Tank
Unknown End
Treatment Plant
WWTW
Vent Column
Buchan Trap
Capped End (same colour as pipework)


Water Plan
OP/CLUEV741
Scale:
1:2500
Scottish Water
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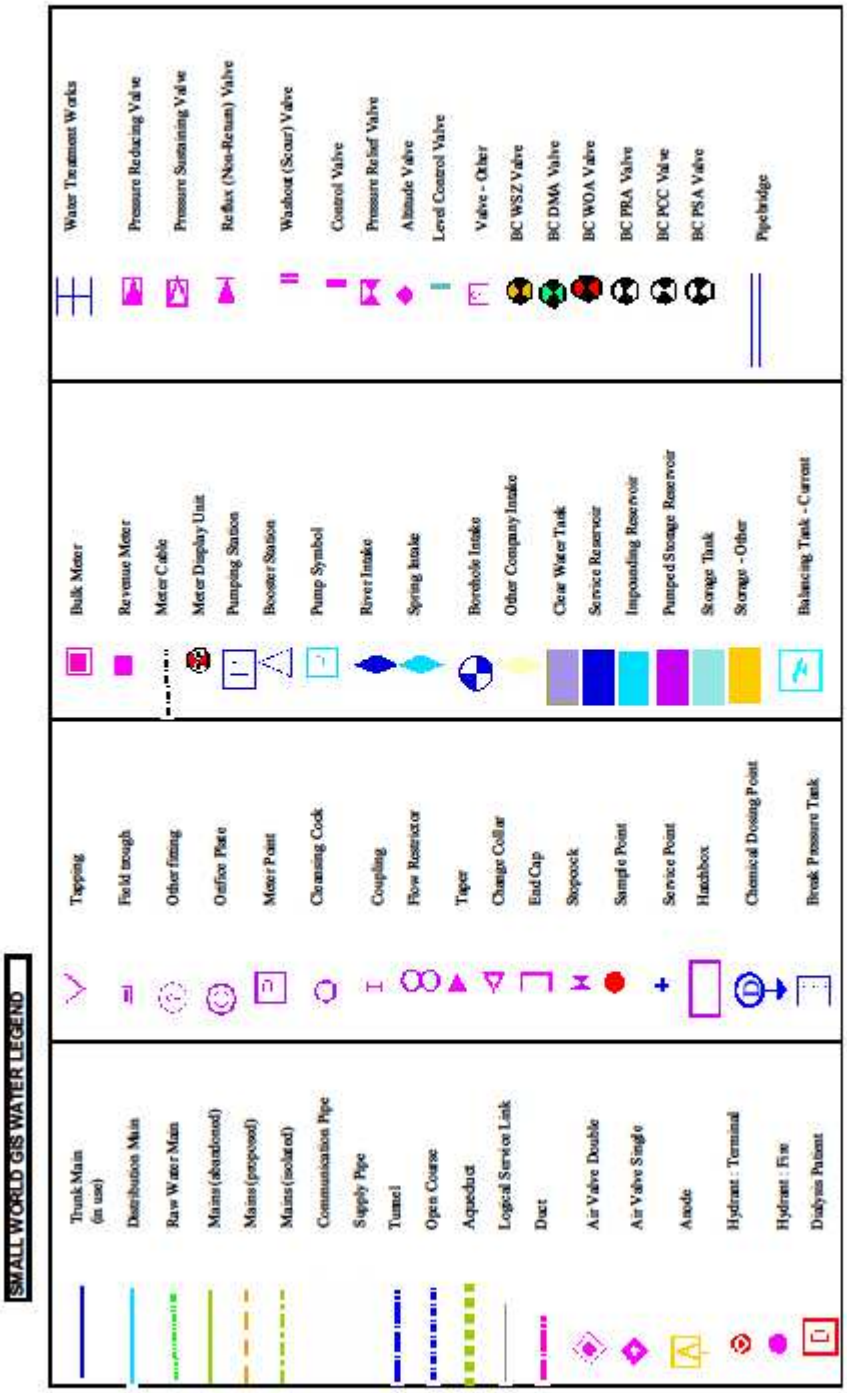
The representation of physical assets and the boundaries of areas in which Scottish Water and others have an interest does not necessarily imply their true positions. For further details contact the appropriate District Office.
Date Plotted: 24/08/2020
N


SMALL WORLD GIS WATER LEGEND
Trunk Main (in use)
Distribution Main
Raw Water Main
Mains (abandoned)
Mains (proposed)
Mains (isolated)
Communication Pipe
Supply Pipe
Tunnel
Open Course
Aqueduct
Logical Service Link
Duct
Air Valve Double
Air Valve Single
Anode
Hydrant : Terminal
Hydrant : Fire
Dialysis Patient
Tapping
Field trough
Other fitting
Orifice Plate
Meter Point
Cleansing Cock
Coupling
Flow Restrictor
Taper
Change Collar
End Cap
Stopcock
Sample Point
Service Point
Hatchbox
Chemical Dosing Point
Break Pressure Tank
Bulk Meter
Revenue Meter
Meter Cable
Meter Display Unit
Pumping Station
Booster Station
Pump Symbol
River Intake
Spring Intake
Borehole Intake
Other Company Intake
Clear Water Tank
Service Reservoir
Impounding Reservoir
Pumped Storage Reservoir
Storage Tank
Storage - Other
Balancing Tank - Current
Water Treatment Works
Pressure Reducing Valve
Pressure Sustaining Valve
Reflux (Non-Return) Valve
Washout (Scour) Valve
Control Valve
Pressure Relief Valve
Altitude Valve
Level Control Valve
Valve - Other
BC WSZ Valve
BC DMA Valve
BC WOA Valve
BC PRA Valve
BC PCC Valve
BC PSA Valve
Pipebridge

APPENDIX C - PROPOSED DRAINAGE LAYOUT

APPENDIX D - CALCULATIONS

L.N. Henderson & Associates 125 Nethergate Dundee DD1 4DW	File: 2216.pfd Network: Plot 1 Graeme Donaldson 11/03/2022	Page 1

Nodes

Name	Area (ha)	T of E (mins)	Cover Level (m)	Diameter (mm)	Easting (m)	Northing (m)	Depth (m)
IC1	0.037	5.00	174.300	450	313727.435	709317.430	0.750
IC2			173.800	450	313733.908	709313.392	0.379
Soakaway			174.200		313730.997	709308.725	0.872

Links

Name	US Node	DS Node	Length (m)	ks (mm) / n	US IL (m)	DS IL (m)	Fall (m)	Slope (1:X)	Dia (mm)	T of C (mins)	Rain (mm/hr)
1.000	IC1	IC2	7.629	0.600	173.550	173.421	0.129	59.1	150	5.10	50.0
1.001	IC2	Soakaway	5.500	0.600	173.421	173.328	0.093	59.1	150	5.17	50.0

Name	Vel (m/s)	Cap (l/s)	Flow (l/s)	US Depth (m)	DS Depth (m)	Σ Area (ha)	Σ Add Inflow (l/s)	Pro Depth (mm)	Pro Velocity (m/s)
1.000	1.310	23.2	7.3	0.600	0.229	0.037	0.0	58	1.162
1.001	1.310	23.2	7.3	0.229	0.722	0.037	0.0	58	1.162

Simulation Settings

Rainfall Methodology	FSR	Analysis Speed	Normal
FSR Region	Scotland and Ireland	Skip Steady State	x
M5-60 (mm)	16.500	Drain Down Time (mins)	240
Ratio-R	0.250	Additional Storage (m³/ha)	20.0
Summer CV	0.750	Check Discharge Rate(s)	x
Winter CV	0.840	Check Discharge Volume	x

Storm Durations

15	60	180	360	600	960	2160	4320	7200	10080
30	120	240	480	720	1440	2880	5760	8640	

Return Period (years)	Climate Change (CC %)	Additional Area (A %)	Additional Flow (Q %)
30	35	10	0
100	35	10	0
200	35	10	0

Node Soakaway Soakaway Storage Structure

BRE-365: Volume (m³)	0.208	Side Inf Coefficient (m/hr)	0.09287	Pit Width (m)	3.000
BRE-365: Area (m²)	1.880	Safety Factor	1.5	Pit Length (m)	17.000
BRE-365: Time (hrs)	0.750	Porosity	0.28	Depth (m)	1.500
BRE-365: Inf Coef (m/hr)	0.14752	Invert Level (m)	171.950	Inf Depth (m)	
Base Inf Coefficient (m/hr)	0.00000	Time to half empty (mins)	346	Number Required	1

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L.N. Henderson & Associates 125 Nethergate Dundee DD1 4DW	File: 2216.pfd Network: Plot 1 Graeme Donaldson 11/03/2022	Page 2

Results for 30 year +35% CC +10% A Critical Storm Duration. Lowest mass balance: 100.00%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
15 minute winter	IC1	10	173.641	0.091	13.5	0.1132	0.0000	OK
15 minute winter	IC2	10	173.508	0.087	13.4	0.0138	0.0000	OK
600 minute winter	Soakaway	420	172.993	-0.335	1.8	14.8971	0.0000	OK

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)
15 minute winter	IC1	1.000	IC2	13.4	1.231	0.578	0.0830
15 minute winter	IC2	1.001	Soakaway	13.3	1.305	0.572	0.0558
600 minute winter	Soakaway	Infiltration		0.7			

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Results for 100 year +35% CC +10% A Critical Storm Duration. Lowest mass balance: 100.00%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
15 minute winter	IC1	10	173.660	0.110	17.4	0.1367	0.0000	OK
15 minute winter	IC2	10	173.525	0.103	17.2	0.0164	0.0000	OK
480 minute winter	Soakaway	344	173.264	-0.064	2.6	18.7611	0.0000	OK

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)
15 minute winter	IC1	1.000	IC2	17.2	1.288	0.745	0.1022
15 minute winter	IC2	1.001	Soakaway	17.1	1.377	0.738	0.0682
480 minute winter	Soakaway	Infiltration		0.9			

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Results for 200 year +35% CC +10% A Critical Storm Duration. Lowest mass balance: 100.00%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
15 minute winter	IC1	10	173.676	0.126	20.2	0.1565	0.0000	OK
15 minute winter	IC2	10	173.537	0.116	20.0	0.0185	0.0000	OK
480 minute winter	Soakaway	344	173.436	0.108	3.0	21.2175	0.0000	OK

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)
15 minute winter	IC1	1.000	IC2	20.0	1.313	0.863	0.1160
15 minute winter	IC2	1.001	Soakaway	19.8	1.412	0.854	0.0770
480 minute winter	Soakaway	Infiltration		1.0			

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Nodes

Name	Area (ha)	T of E (mins)	Cover Level (m)	Diameter (mm)	Easting (m)	Northing (m)	Depth (m)
IC	0.017	5.00	175.200	450	313738.064	709374.132	0.750
Soakaway			174.500		313733.935	709381.808	0.950

Links

Name	US Node	DS Node	Length (m)	ks (mm) / n	US IL (m)	DS IL (m)	Fall (m)	Slope (1:X)	Dia (mm)	T of C (mins)	Rain (mm/hr)
1.000	IC	Soakaway	8.716	0.600	174.450	173.550	0.900	9.7	100	5.06	50.0

Name	Vel (m/s)	Cap (l/s)	Flow (l/s)	US Depth (m)	DS Depth (m)	Σ Area (ha)	Σ Add Inflow (l/s)	Pro Depth (mm)	Pro Velocity (m/s)
1.000	2.498	19.6	3.3	0.650	0.850	0.017	0.0	28	1.857

Simulation Settings

Rainfall Methodology	FSR	Analysis Speed	Normal
FSR Region	Scotland and Ireland	Skip Steady State	x
M5-60 (mm)	16.500	Drain Down Time (mins)	240
Ratio-R	0.250	Additional Storage (m³/ha)	20.0
Summer CV	0.750	Check Discharge Rate(s)	x
Winter CV	0.840	Check Discharge Volume	x

Storm Durations

15	60	180	360	600	960	2160	4320	7200	10080
30	120	240	480	720	1440	2880	5760	8640	

Return Period (years)	Climate Change (CC %)	Additional Area (A %)	Additional Flow (Q %)
30	35	10	0
100	35	10	0
200	35	10	0

Node Soakaway Soakaway Storage Structure

Base Inf Coefficient (m/hr)	0.00000	Invert Level (m)	172.250	Depth (m)	1.500
Side Inf Coefficient (m/hr)	0.03482	Time to half empty (mins)	639	Inf Depth (m)	
Safety Factor	1.5	Pit Width (m)	15.000	Number Required	1
Porosity	0.28	Pit Length (m)	2.000		

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Results for 30 year +35% CC +10% A Critical Storm Duration. Lowest mass balance: 100.00%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
15 minute winter	IC	10	174.490	0.040	6.2	0.0260	0.0000	OK
960 minute winter	Soakaway	675	173.244	-0.306	0.6	8.3455	0.0000	OK

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)
15 minute winter	IC	1.000	Soakaway	6.2	2.174	0.314	0.0247
960 minute winter	Soakaway	Infiltration		0.2			

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Results for 100 year +35% CC +10% A Critical Storm Duration. Lowest mass balance: 100.00%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
15 minute winter	IC	10	174.496	0.046	8.0	0.0301	0.0000	OK
960 minute winter	Soakaway	690	173.493	-0.057	0.8	10.4404	0.0000	OK

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)
15 minute winter	IC	1.000	Soakaway	7.9	2.322	0.405	0.0298
960 minute winter	Soakaway	Infiltration		0.3			

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Results for 200 year +35% CC +10% A Critical Storm Duration. Lowest mass balance: 100.00%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
15 minute winter	IC	10	174.500	0.050	9.3	0.0329	0.0000	OK
960 minute winter	Soakaway	675	173.682	0.132	0.9	12.0259	0.0000	OK

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)
15 minute winter	IC	1.000	Soakaway	9.3	2.411	0.472	0.0334
960 minute winter	Soakaway	Infiltration		0.3			

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APPENDIX E - SUPPORTING DOCUMENTS
MMEC PERCOLATION TESTING

Field Soakaway Test

Project	Duncrievie House
Project No	MM12339
Date	04/08/2020
Test Location	TP01-Test 1

Time	Elapsed Time (s)	Depth to Water	Depth of Water
	0	1.02	0.38
	120	1.06	0.34
	240	1.11	0.29
	600	1.15	0.25
	1260	1.2	0.2
	2460	1.29	0.11
	2940	1.3	0.1
			1.4
			1.4
	Conjectured values in red		

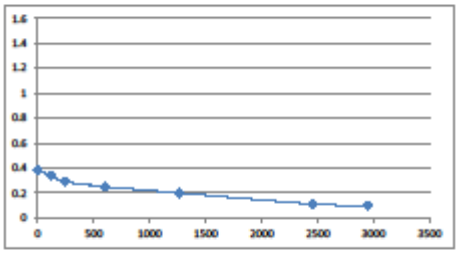
Results

Pit Dimensions (m)	
Total depth	1.4
Response Zone	1.0 to 1.40m
Pit Size	1.30m long, 0.80m wide, 1.40m deep
Maximum Effective Depth	1.00m
75% (Full)	1.10m
50% (Full)	1.20m
25% (Full)	1.30m

Summary

Vp (100-50) in m3 (Volume outflowing between 100% and 50%) 0.208
(1.3 x 0.80 x0.2 = 0.208m3)
Ap50 in m2 = 1.88m2 1.88
Tp (75-25) in seconds = 2700 2700

Soil Infiltration Rate (f) in m/s 4.09771E-05



Field Soakaway Test

Project Duncrievie House
Project No MM12339
Date 04/08/2020
Test Location TP01-Test 2

Time	Elapsed Time (s)	Depth to Water	Depth of Water
	0	0.99	0.41
	2580	1.12	0.28
	3600	1.14	0.26
	6720	1.17	0.23
	8460	1.22	0.18
	13000	1.3	0.1
			1.4
			1.4
			1.4

Conjectured values in red

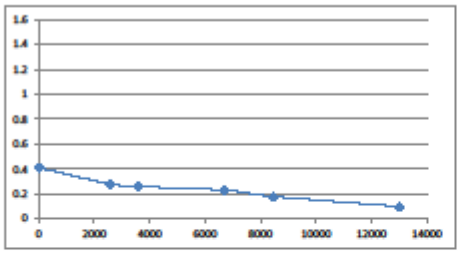
Results

Pit Dimensions (m)	
Total depth	1.4
Response Zone	1.0 to 1.40m
Pit Size	1.30m long, 0.80m wide, 1.40m deep
Maximum Effective Depth	1.00m
75% (Full)	1.10m
50% (Full)	1.20m
25% (Full)	1.30m

Summary

Vp (100-50) in m3 (Volume outflowing between 100% and 50%) 0.208
(1.3 x 0.80 x0.2 = 0.208m3)
Ap50 in m2 = 1.88m2 1.88
Tp (75-25) in seconds = 10420 10420

Soil Infiltration Rate (f) in m/s 1.06179E-05



Field Soakaway Test

Project	Duncrievie House
Project No	MM12339
Date	04/08/2020
Test Location	TP01-Test 3

Time	Elapsed Time	Depth to Water	Depth of Water
	0	0.93	0.47
	1320	1.01	0.39
	3240	1.04	0.36
	5520	1.05	0.35
	7800	1.16	0.24
	9600	1.2	0.2
	14000	1.3	0.1
			1.4
			1.4

Results

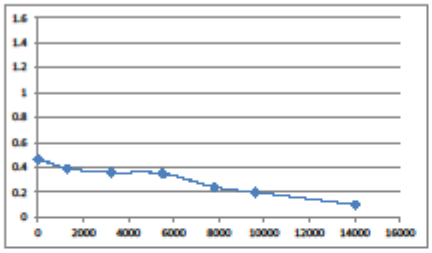
Pit Dimensions (m)	
Total depth	1.4
Response Zone	1.0 to 1.40m
Pit Size	1.30m long, 0.80m wide, 1.40m deep
Maximum Effective Depth	1.00m
75% (Full)	1.10m
50% (Full)	1.20m
25% (Full)	1.30m

Summary

Vp (100-50) in m3 (Volume outflowing between 100% and 50%) 0.208
(1.3 x 0.80 x0.2 = 0.208m3)
Ap50 in m2 = 1.88m2 1.88
Tp (75-25) in seconds = 8000 8000

Conjectured values in red

Soil Infiltration Rate (f) in m/s 1.38E-05



Field Soakaway Test

Project	Duncrievie House
Project No	MM12339
Date	04/08/2020
Test Location	TP02-Test 1

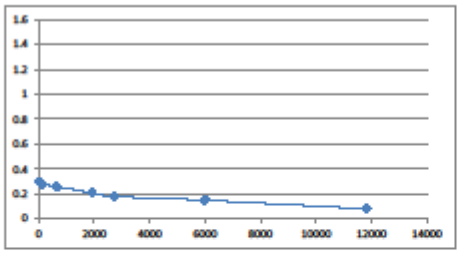
Time	Elapsed Time (s)	Depth to Water	Depth of Water
	0	1.1	0.3
	120	1.12	0.28
	660	1.14	0.26
	1920	1.19	0.21
	2700	1.22	0.18
	6000	1.25	0.15
	11820	1.32	0.08
			1.4
			1.4
	Conjectured values in red		

Results

Pit Dimensions (m)	
Total depth	1.4
Response Zone	1.0 to 1.40m
Pit Size	1.50m long, 0.80m wide, 1.50m deep
Maximum Effective Depth	1.00m
75% (Full)	1.10m
50% (Full)	1.20m
25% (Full)	1.30m

Summary

Vp (100-50) in m3 (Volume outflowing between 100% and 50%) (1.5 x 0.80 x0.2 = 0.24m3)	0.24
Ap50 in m2 = 1.92m2	1.92
Tp (75-25) in seconds = 11820	11820
Soil Infiltration Rate (f) in m/s	1.05753E-05



Field Soakaway Test

Project	Duncrievie House
Project No	MM12339
Date	04/08/2020
Test Location	TP02-Test 2

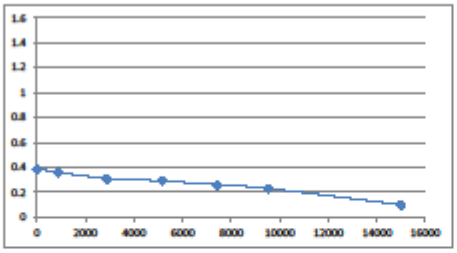
Time	Elapsed Time (s)	Depth to Water	Depth of Water
	0	1.01	0.39
	840	1.04	0.36
	2880	1.09	0.31
	5160	1.11	0.29
	7440	1.14	0.26
	9540	1.17	0.23
	15000	1.3	0.1
			1.4
			1.4
	Conjectured values in red		

Results

Pit Dimensions (m)	
Total depth	1.4
Response Zone	1.0 to 1.40m
Pit Size	1.50m long, 0.80m wide, 1.40m deep
Maximum Effective Depth	1.00m
75% (Full)	1.10m
50% (Full)	1.20m
25% (Full)	1.30m

Summary

Vp (100-50) in m3 (Volume outflowing between 100% and 50%) (1.5 x 0.80 x0.2 = 0.24m3)	0.24
Ap50 in m2 = 1.92m2	1.92
Tp (75-25) in seconds =12120	12120
Soil Infiltration Rate (f) in m/s	1.03135E-05



Field Soakaway Test

Project	Duncrievie House
Project No	MM12339
Date	04/08/2020
Test Location	TP03-Test 1

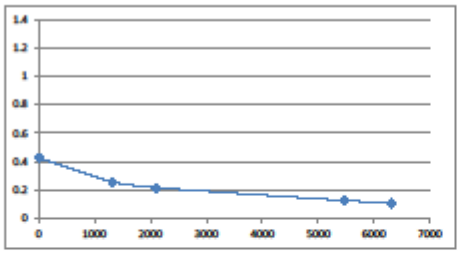
Time	Elapsed Time (s)	Depth to Water	Depth of Water
	0	0.87	0.43
	1320	1.04	0.26
	2100	1.08	0.22
	5460	1.17	0.13
	6300	1.19	0.11
			1.3
			1.3
			1.3
			1.3
	Conjectured values in red		

Results

Pit Dimensions (m)	
Total depth	1.3
Response Zone	0.90 to 1.30m
Pit Size	1.80m long, 0.80m wide, 1.30m deep
Maximum Effective Depth	0.90m
75% (Full)	1.00m
50% (Full)	1.10m
25% (Full)	1.20m

Summary

Vp (100-50) in m3 (Volume outflowing between 100% and 50%) (1.8 x 0.80 x0.2 = 0.288m3)	0.288
Ap50 in m2 = 2.48m2	2.48
Tp (75-25) in seconds =5100	5100
Soil Infiltration Rate (f) in m/s	2.27704E-05



Field Soakaway Test

Project	Duncrievie House
Project No	MM12339
Date	04/08/2020
Test Location	TP03-Test 2

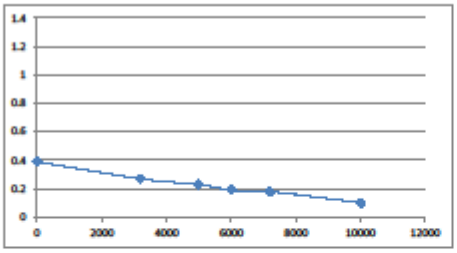
Time	Elapsed Time (s)	Depth to Water	Depth of Water
	0	0.91	0.39
	3180	1.03	0.27
	4980	1.07	0.23
	6000	1.11	0.19
	7200	1.12	0.18
	10000	1.2	0.1
			1.3
			1.3
			1.3
	Conjectured values in red		

Results

Pit Dimensions (m)	
Total depth	1.3
Response Zone	0.90 to 1.30m
Pit Size	1.80m long, 0.80m wide, 1.30m deep
Maximum Effective Depth	0.90m
75% (Full)	1.00m
50% (Full)	1.10m
25% (Full)	1.20m

Summary

Vp (100-50) in m3 (Volume outflowing between 100% and 50%)	0.288
(1.8 x 0.80 x0.2 = 0.288m3)	
Ap50 in m2 = 2.48m2	2.48
Tp (75-25) in seconds =7000	7000
Soil Infiltration Rate (f) in m/s	1.65899E-05



Field Soakaway Test

Project	Duncrievie House
Project No	MM12339
Date	04/08/2020
Test Location	TP03-Test 3

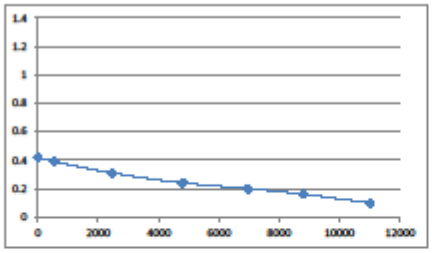
Time	Elapsed Time	Depth to Water	Depth of Water
	0	0.88	0.42
	540	0.91	0.39
	2460	0.99	0.31
	4800	1.06	0.24
	6960	1.1	0.2
	8820	1.14	0.16
	11000	1.2	0.1
			1.3
			1.3
	Conjectured values in red		

Results

Pit Dimensions (m)	
Total depth	1.3
Response Zone	0.90 to 1.30m
Pit Size	1.80m long, 0.80m wide, 1.30m deep
Maximum Effective Depth	0.90m
75% (Full)	1.00m
50% (Full)	1.10m
25% (Full)	1.20m

Summary

Vp (100-50) in m3 (Volume outflowing between 100% and 50%) (1.8 x 0.80 x0.2 = 0.288m3)	0.288
Ap50 in m2 = 2.48m2	2.48
Tp (75-25) in seconds =8540	8540
Soil Infiltration Rate (f) in m/s	1.36E-05



Field Soakaway Test

Project Duncrievie House
Project No MM12339
Date 04/08/2020
Test Location TP04-Test 1

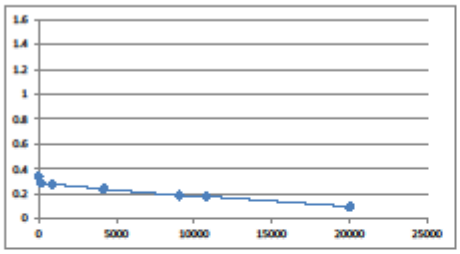
Time	Elapsed Time (s)	Depth to Water	Depth of Water
	0	1.16	0.34
	120	1.21	0.29
	900	1.22	0.28
	4200	1.26	0.24
	9000	1.31	0.19
	10800	1.32	0.18
	20000	1.4	0.1
			1.5
			1.5
	Conjectured values in red		

Results

Pit Dimensions (m)	
Total depth	1.5
Response Zone	1.10 to 1.50m
Pit Size	1.50m long, 0.80m wide, 1.50m deep
Maximum Effective Depth	1.10m
75% (Full)	1.20m
50% (Full)	1.30m
25% (Full)	1.40m

Summary

Vp (100-50) in m3 (Volume outflowing between 100% and 50%) (1.5 x 0.80 x0.2 = 0.24m3)	0.24
Ap50 in m2 = 1.92m2	1.92
Tp (75-25) in seconds = 20000	20000
Soil Infiltration Rate (f) in m/s	0.00000625



Field Soakaway Test

Project	Duncrievie House
Project No	MM12339
Date	04/08/2020
Test Location	TP04-Test 2

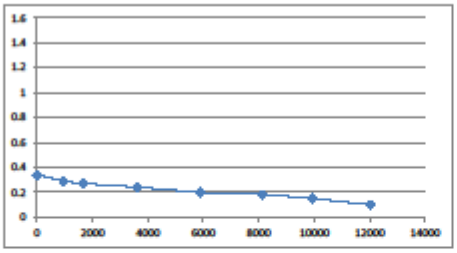
Time	Elapsed Time (s)	Depth to Water	Depth of Water
	0	1.16	0.34
	960	1.21	0.29
	1680	1.23	0.27
	3600	1.26	0.24
	5880	1.3	0.2
	8100	1.32	0.18
	9900	1.35	0.15
	12000	1.4	0.1
			1.5
	Conjectured values in red		

Results

Pit Dimensions (m)	
Total depth	1.5
Response Zone	1.10 to 1.50m
Pit Size	1.50m long, 0.80m wide, 1.50m deep
Maximum Effective Depth	1.10m
75% (Full)	1.20m
50% (Full)	1.30m
25% (Full)	1.40m

Summary

Vp (100-50) in m3 (Volume outflowing between 100% and 50%) (1.5 x 0.80 x0.2 = 0.24m3)	0.24
Ap50 in m2 = 1.92m2	1.92
Tp (75-25) in seconds = 11000	11000
Soil Infiltration Rate (f) in m/s	1.13636E-05



Field Soakaway Test

Project	Duncrievie House
Project No	MM12339
Date	04/08/2020
Test Location	TP04-Test 3

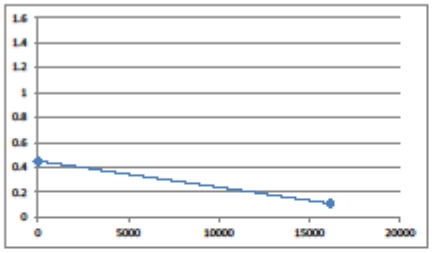
Time	Elapsed Time	Depth to Water	Depth of Water
	0	1.05	0.45
	16140	1.39	0.11
			1.5
			1.5
			1.5
			1.5
			1.5
			1.5
			1.5
			1.5
	Conjectured values in red		

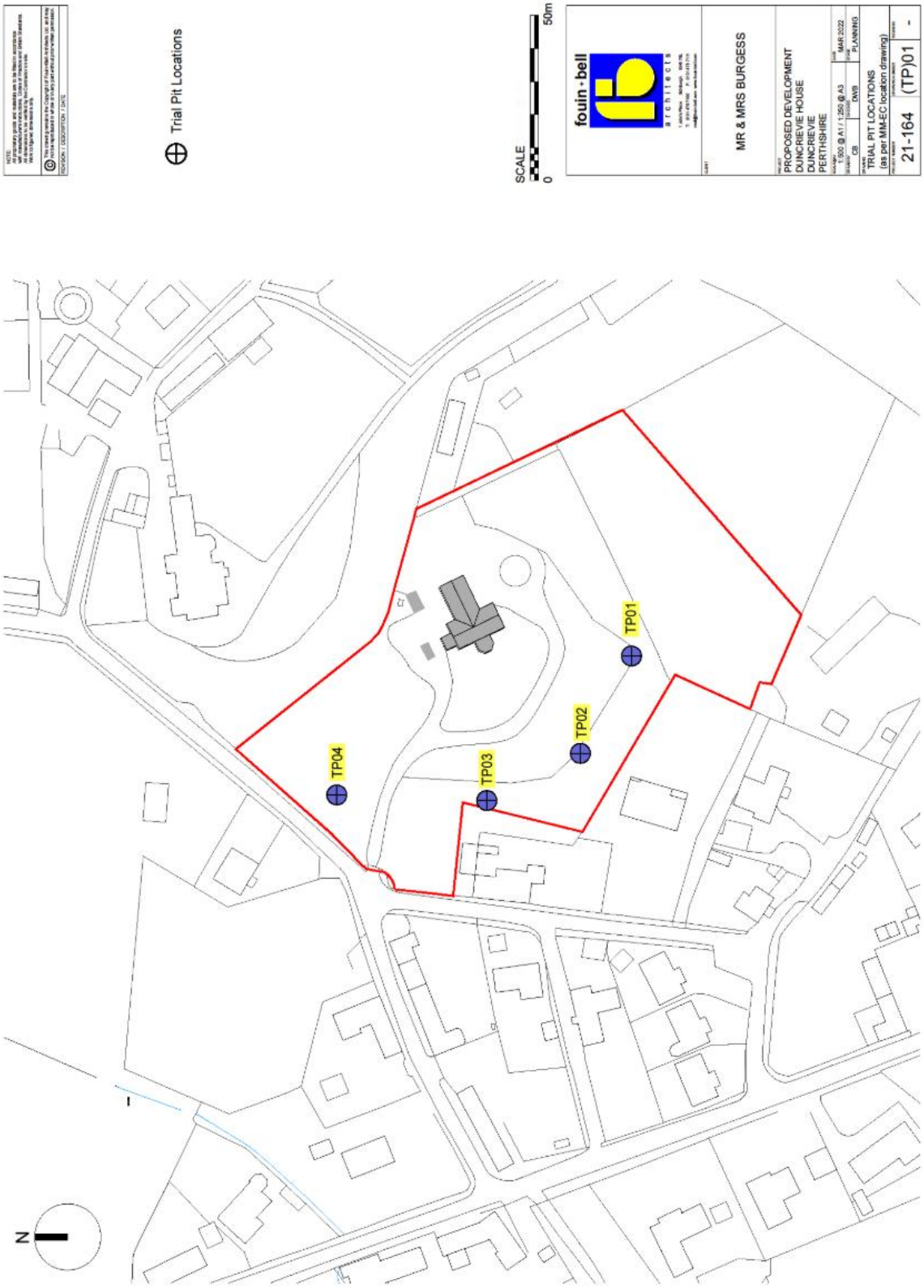
Results

Pit Dimensions (m)	
Total depth	1.5
Response Zone	1.10 to 1.50m
Pit Size	1.50m long, 0.80m wide, 1.50m deep
Maximum Effective Depth	1.10m
75% (Full)	1.20m
50% (Full)	1.30m
25% (Full)	1.40m

Summary

Vp (100-50) in m3 (Volume outflowing between 100% and 50%) (1.5 x 0.80 x0.2 = 0.24m3)	0.24
Ap50 in m2 = 1.92m2	1.92
Tp (75-25) in seconds = 11000	11000
Soil Infiltration Rate (f) in m/s	1.14E-05




NOTES
All dimensions shown are in millimetres unless otherwise specified.
All dimensions to be verified by the contractor before commencement of any work or shop drawing production.
Do not scale drawings.
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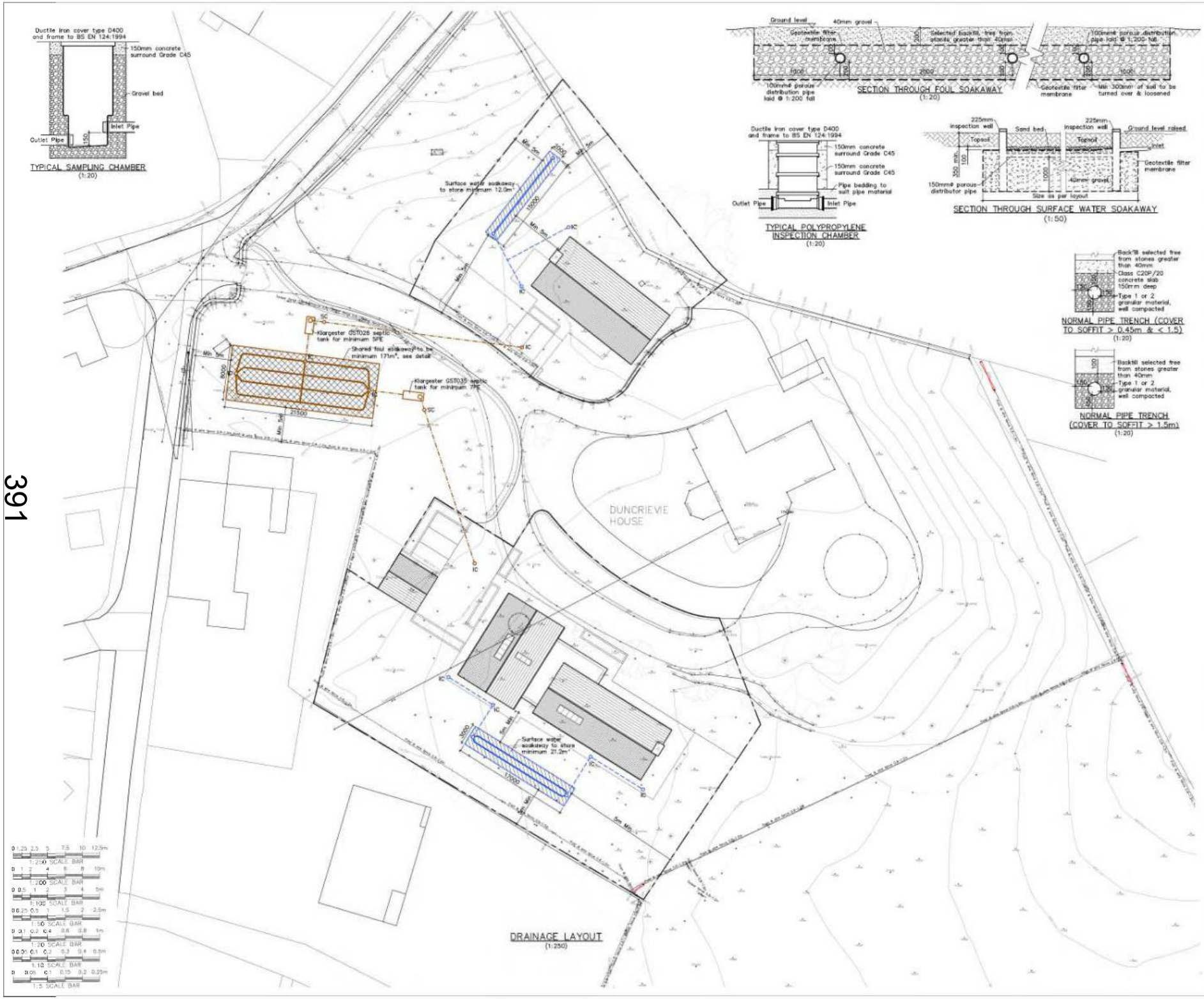
REVISION | DESCRIPTION | DATE
Trial Pit Locations
SCALE
0
50m
fouin+bell
architects
CLIENT
MR & MRS BURGESS
PROJECT
PROPOSED DEVELOPMENT
DUNCRIEVIE HOUSE
DUNCRIEVIE
PERTHSHIRE
SCALE@A1
1:500 @ A1 / 1:250 @ A3
DATE
MAR 2022
DRAWN BY
CB
CHECKED BY
DWB
STATUS
PLANNING
DRAWING
TRIAL PIT LOCATIONS
(as per MM-EC location drawing)
PROJECT NUMBER
21-164
DRAWING NUMBER
(TP)01
REVISION
-
TP01
TP02
TP03
TP04
N



notes

All pipes to be 100mmØ UPVC, unless otherwise stated, laid at a gradient of between 1:10 and 1:80.

All RWP (rainwater downpipes) are to be trapped and RE (rodding eyes) are to be sealed.

Every part of a soakaway should be located at least 5m from a building and from a boundary in order that an adjoining plot is not inhibited from its full development potential.

Every part of a private wastewater plant and septic tank should be located at least 5m from a dwelling.

A private wastewater treatment plant and septic tank should be provided with an access for desludging. The desludging tanker should be provided with access to a working area that:
will provide a clear route for the suction hose from the tanker to the tank, and
is not more than 25m from the tank where it is not more than 4m higher than the invert level of the tank, and
is sufficient to support a vehicle axle load of 14 tonnes.

Every dwelling with a drainage system discharging to a private wastewater treatment plant or septic tank should be provided with a label to alert the occupiers to such an arrangement. The label should describe the recommended maintenance necessary for the system and should include the following: The drainage system from this property discharges to a wastewater treatment plant (or septic tank, as appropriate). The owner is legally responsible for routine maintenance and to ensure that the system complies with any discharge consent issued by SEPA and that it does not present a health hazard or a nuisance. The label should be located adjacent to the gas or electricity consumer unit or the water stopcock.

SEPA will require an authorisation, under the terms of the Water Environment (Controlled Activities) (Scotland) Regulations 2005 to be applied for all discharges of sewage effluent whether to ground via an infiltration system or to a watercourse.

rev	date	description

L.N. HENDERSON + ASSOCIATES CONSULTING ENGINEERS
125 RETHERGATE, DUNDEE DD1 4DW TEL. 01382 - 221607
email - mail@lnhendrse.co.uk

project
Duncrievie House,
Glenfarg

drawing
Drainage layout and details

drawn	checked	office	date
GD	--	--	10/03/22

scales	paper
Shown	A1

drawing number	rev
2216–D1	-

DUNCRIEVIE HOUSE
TREE SURVEY AND INITIAL APPRAISAL

Stuart McAleese

McAleese & Associates (UK) Ltd

Environment and EIA Consultants

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MARCH 2022

MCALEESE & ASSOCIATES LTD

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SUMMARY

McAleese & Associates (UK) Ltd was commissioned by Mr Ben Burgess to undertake a tree condition survey in order to order to accompany a planning application for two buildings within the grounds of Duncreavie House. Guidance was also provided on the constraints posed by trees on the site. An initial Arboricultural Impact Assessment examine what impact the proposals may have on the trees within the site.

The land is generally flat with a slight crown on the house and falls away gently in all directions. The site is fringed by mature woodland with a closed canopy made up of native and exotic species. Ground flora is predominantly ivy and bramble.

The survey recorded 74 trees within the survey boundary shown. There was a mix of species, ages and conditions. However, there was a good representation of Class A trees. Root Protection Areas (RPA) were mapped.

This assessment found that there is scope for the erection of the proposed structures, and this could be accommodated within existing constraints.

1 INTRODUCTION

This report has commissioned by Mr Ben Burgess in respect of a proposed development of three dwellings with private parking and amenity space in the grounds of Duncrievie House, Glenfarg, PH2 9PD (the Site) (NO137093). This is shown in Figure 1.

The land is generally flat with a slight crown at the principle house and it then falls away gently in all directions. The site comprises of a private residence, a number of outbuildings and areas of amenity grassland. The site is fringed by mature woodland with a closed canopy made up of native and exotic species. Ground flora is predominantly ivy and bramble. The site is ringed by a wall on the north west edge of the site and the rest of the perimeter by a post and wire fence. The site location is shown in Figure 1 and the site boundary / survey area is shown in Figure 2.

This report relates to 74 trees within the survey boundary shown in Figure 3. The report describes the extent and condition of tree cover within the site and highlights the above and below ground constraints presented by existing tree cover. The extent of Root Protection Areas (RPA) is shown in Figure 4.

The survey has been carried out in accordance with BS5837:2012 "*Trees in relation to design, demolition and construction – Recommendations*." Small trees of less than 10cm stem diameter, and areas of undergrowth are described in general terms but are not recorded in detail, except where their condition or presence merits particular attention. Within larger groups and woodlands, trees are described collectively except where dominant specimens merit individual recording.

Background of Surveyor

The survey was undertaken by Stuart McAleese. Stuart is a professional with over 20 years of experience in tree and ecological survey and assessment as well as Environmental Impact Assessment (EIA). He is a Chartered Environmentalist (CEnv) and a Full Member of the Institution of Environmental Science (MIESc). He is also a past Full Member of the Chartered Institute of Ecology and Environmental Management (CIEEM) where he was a member of the Professional Affairs Committee (PAC). He has a degree in Geography where his dissertation looked at the ecological factors affecting Scots Pine recolonisation in the Cairngorm Mountains. Since then, he has completed a significant number of Ecological Impact Assessments (EcIA) and tree condition surveys supporting planning applications for onshore renewable energy developments, large scale residential developments, infrastructure projects and offshore energy projects. He has worked in the UK, Asia, Africa and the US.

2 GENERAL CONDITIONS RELATING TO TREE SURVEY

Tree surveys are undertaken from ground level using established visual assessment methodology. This is primarily a survey to assess the general health, condition, value and life expectancy of existing trees as part of the planning and design process. The report should not be read as a detailed tree safety or risk assessment.

Where obvious defects are noted and further investigation is required, either by climbing or the use of specialised decay detection equipment, this will be identified in the report.

The findings and recommendations contained within this report are valid for a period of twelve months. Trees are living organisms subject to change - it is strongly recommended that they are inspected at regular intervals for reasons of safety.

Whilst every effort has been made to detect defects within the trees inspected, no guarantee can be given as to the absolute safety or otherwise of any individual tree. Extreme climatic conditions can cause damage to apparently healthy trees.

The findings and recommendations contained within this report are based on the current site conditions. The construction of roads, buildings, service wayleaves, removal of shelter, and alterations to established soil moisture conditions can all have a detrimental effect on the health and stability of retained trees. Accordingly, a reinspection of retained trees is recommended on completion of any development operations.

This report has been prepared for the sole use of Mr Ben Burgess and any appointed agents. Any third party referring to this report or relying on information contained within it does so entirely at their own risk.

The purpose of this specific report is to accompany an application for planning permission.

3 TREE SURVEY AND ANALYSIS

The trees within the site are not subject to any statutory protection.

Visual assessment has been carried out from the ground level of 74 trees surveyed within the site. The location of the trees is plotted on the attached Tree Survey Plan in Figure 3. Their condition and any recommended remedial works are recorded in detail in Appendix B attached at the end of this document. This records relevant details in accordance with the recommendations contained in BS 5837:2012, and includes:

- Tree number (plan reference number);
- Tree species (common name);
- Stem diameter at breast height (1.5m above ground level);
- Canopy spread in metres towards the 4 cardinal points (average);
- Tree height (estimate in metres);
- Tree Condition Category;
- General condition (good, fair, poor, dead);
- Age (Young, Early-mature, middle-aged, mature, over-mature, veteran);
- Whether single or multi-stemmed;
- Estimated Remaining Contribution in years;
- Comments and observations on the overall health and condition of the tree, highlighting any problems or defects;
- Recommended remedial works, where necessary; and
- Impacts of any development proposals.

Where appropriate, recommendations have been made on necessary remedial action such as tree surgery or felling. This is specified where there is likely to be significant risk to safety or tree health, or to abate a nuisance. The recommendations are general in nature and do not constitute a detailed work specification. Specifications, where required, can be provided to accord with the guidance and recommendations contained in BS3998:2010, "*Tree work – Recommendations*." Any recommendations are made on the basis that they are undertaken by a suitably qualified arboricultural contractor.

The trees within the site have been tagged with round 3-digit tags ranging from 001-074. Trees in adjoining land are not tagged. Those trees within the private gardens of the residence are not surveyed or recorded. Closely-grouped trees of similar character may be referred to collectively as a group with a single tag number.

Trees have been categorised in accordance with the guidelines contained in BS 5837 as follows:
31 Category A;
30 Category B;
11 Category C; and
2 Category U.

For details of the tree categorisation, refer to Appendix A.

The purpose of the tree categorisation method is to identify the quality and value of the existing tree stock, allowing informed decisions to be made concerning which trees should be removed or retained in the event of development occurring. The presence of trees and their quality is only one factor in the design and planning process, and the retention of good quality, healthy trees may be inappropriate in the context of wider planning and development considerations.

Young trees of <15cm stem diameter, and trees in Category C with limited safe life or poor health and/or structure, are not normally considered to be a significant constraint on development.

4 CONSTRAINTS POSED BY EXISTING TREES

In order to minimise the risk of long-term damage to trees from construction operations, particular care is required to protect them from physical damage. Significant damage can be caused to root systems by ground level changes; soil compaction; contamination from oils and cement; and changes in soil moisture content. For these reasons, BS 5837:2012 '*Trees in relation to design, demolition and construction – Recommendations*' sets out a RPA in m^2 based on the stem diameter of the tree. The RPA represents the anticipated below-ground constraints presented by trees within the proposed development area.

Tree roots rarely follow expected patterns, and the RPA should be taken as a guide. It may be adjusted where restrictions to normal rooting patterns suggest that root growth will be minimal (*e.g.* adjacent to walls, sealed surfaces, watercourses, or existing utility trenches). In addition, soil type, tree species, age, vigour, canopy volume and microclimate will all impact on root growth and the ability of individual trees to tolerate changes in rooting environment.

Above-ground constraints include ultimate tree height and canopy spread which will affect both physical presence and daylight availability to any proposed structures. Species characteristics, such as evergreen or dense foliage, potential for branch drop, fruit fall, *etc*, will all have an influence on the potential for development of the site.

Where it is determined that trees should be retained because of their quality and amenity importance, the impact of proposed designs must be assessed against the requirements of the tree, taking into account the RPA and all other relevant factors. Whilst the RPA should generally be protected where possible, any proposed incursion into the RPA should comply with the recommendations of BS5837.

This recommendation is for a radius of 12x the diameter of the tree at 1m above the ground. Consequently, the RPA was mapped to peripheral trees in the vicinity of the proposed development. This is shown in Figure 4 with dimension presented below:

Tree No	Trunk Diameter (m)	RPA Radius (m)
025	0.75	9
046	0.5	6
047	0.5	6
048	0.75	9
058	0.75	9
059	0.5	6
060	0.5	6
062	0.5	6
063	0.5	6
064	0.5	6
065	0.5	6
066	0.5	6
067	0.75	9
068	0.75	9
069	0.75	9
070	0.5	6
071	0.5	6
072	0.5	

5 ARBOCULTURAL IMPACT ASSESSMENT

The purpose of this report is to assess the condition and quality of trees within and adjacent to the site as part of the planning consent process. The detailed recording of trees allows appropriate exclusion zones to be defined on the basis of tree quality, and the constraints as noted above.

The proposals are for two plots to be erected generally in the north and west of Duncrievie House gardens. The proposed lots have been overlaid onto the RPA figure to provide an assessment on root structures. This is shown in Figure 5.

5.1 Plot 1 Impacts

As can be seen in Figure 5, Plot 1 is out with the RPA for the trees western edge of the Site.

Therefore, there is **no impact** associated with Plot 1.

5.2 Plot 2 Impacts

It can be seen from Figure 5 that Plot 2 will have impacts on the RPA of the following trees:

Number	Species	BS Cat
025	Sycamore	C3
028	Beech	C3
045	Beech	B1
046	Beech	B2
047	Beech	B2
048	Beech	B2

This is shown in Figure 6.

It is proposed that these trees be felled.

As can be seen, none of the trees are in good condition as all have been designed as either Condition B or Condition C.

The number of trees and distribution pre and post felling is presented below:

Category	Pre Felling	Post Felling
A	31	31
B	30	26
C	11	9
U	2	0

It is also proposed to fell Tree 040 and Tree 061 due to their condition and concerns over safety.

In summary, the majority of trees on the site would not be impacted in any way. **Therefore, there will be no significant impact on trees on the Site.**

APPENDIX A: TREE CATAGORISATION

TABLE 1 BS 5837:2012 TREE CATEGORISATION				
Category and definition	**Criteria**			**Identification on plan**
Category U Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years	- Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse, including those that will become unviable after removal of other U Category trees (e.g. where, for whatever reason, the loss of companion shelter cannot be mitigated by pruning) - Trees that are dead or are showing signs of significant, immediate, and irreversible overall decline - Trees infected with pathogens of significance to the health and/or safety of other trees nearby, or very low quality trees suppressing adjacent trees of better quality NOTE : *Category U trees can have existing or potential conservation value which it might be desirable to preserve.*			**Red**
TREES TO BE CONSIDERED FOR RETENTION				
Category and definition	**Criteria – Subcategories**			**Identification on plan**
	1 Mainly arboricultural values	**2 Mainly landscape values**	**3 Mainly cultural values, including conservation**	
Category A **Trees of high quality** with an estimated remaining life expectancy of 40 years	Trees that are particularly good examples of their species, especially if rare or unusual, or essential components of groups, or of formal or semi-formal arboricultural features (e.g. the dominant and/or principal trees within an avenue)	Trees, groups or woodlands of particular visual importance as arboricultural features and/or landscape features.	Trees, groups or woodlands of significant conservation, historical, commemorative or other value (e.g. veteran trees or wood-pasture)	**Green**
Category B **Trees of moderate quality** with an estimated remaining life expectancy of at least 20 years	Trees that might be included in Category A, but are downgraded because of impaired condition (*e.g.* presence of significant though remediable defects including unsympathetic past management and storm damage), such that they are unlikely to be suitable for retention beyond 40 years; or trees lacking the special quality necessary to merit the Category A designation	Trees present in numbers, usually as groups or woodlands, such that they attract a higher collective rating than they might as individuals; or trees occurring as collectives but situated so as to make little visual contribution to the wider locality.	Trees with material conservation or other cultural value	**Blue**
Category C **Trees of low quality** with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150mm	Unremarkable trees of very limited merit or such impaired condition that they do not qualify in higher categories	Trees present in groups or woodlands, but without this conferring on them a greater collective landscape value; and/or trees offering low or only temporary/transient landscape benefits	Trees with no material conservation or other cultural value	**Grey**

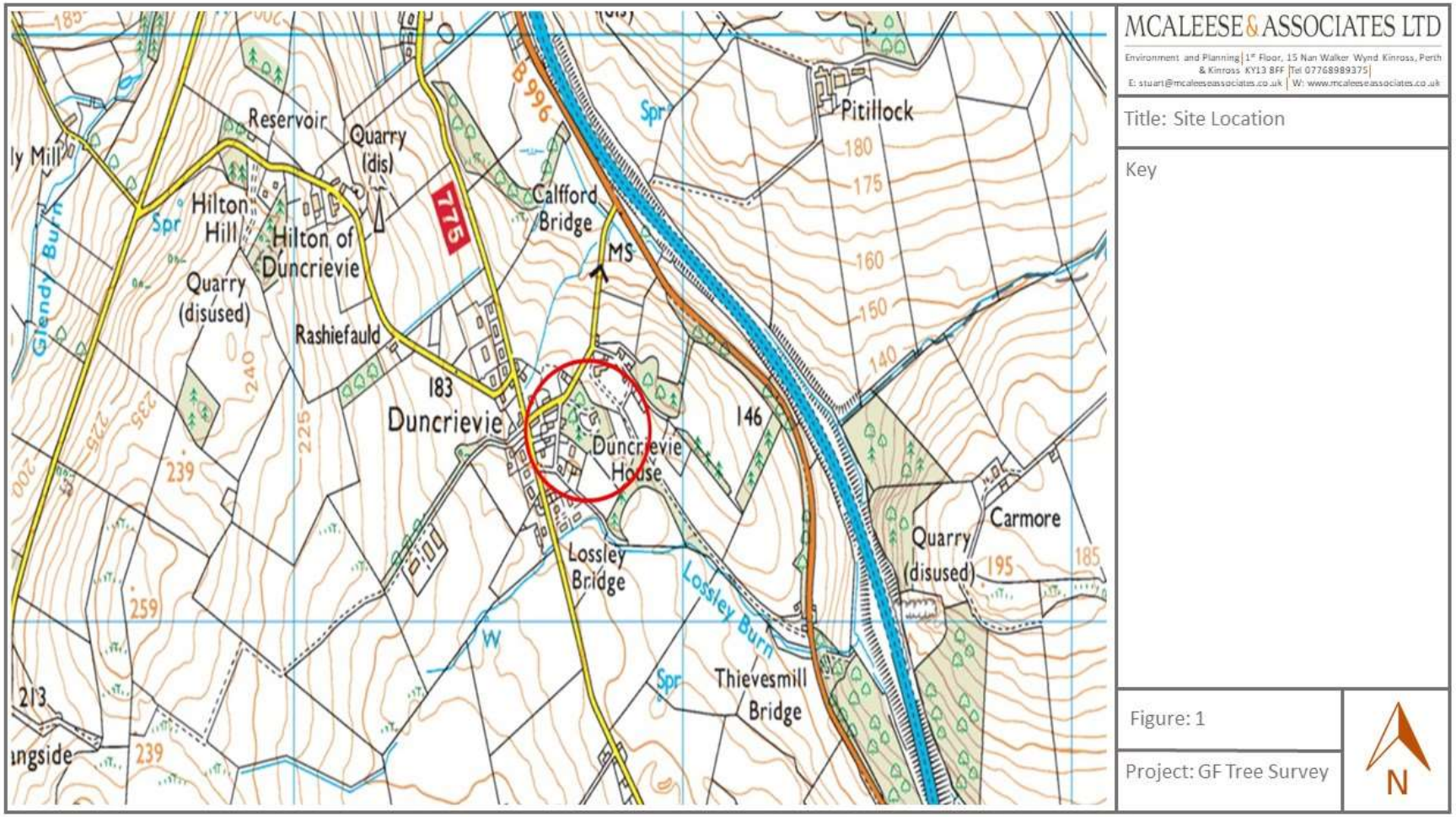
APPENDIX B: TREE SURVEY SCHEDULE

Number	Species	DBH	N	S	E	W	Ht	BS Cat	Condition	Age	Stems	ERC	Comments
001	Horse Chestnut	1.5	4.0	4.0	4.0	4.0	8.0	A1	Good	M	1	40	
002	Horse Chestnut	2.0	4.0	4.0	4.0	4.0	8.0	A1	Good	M	3	40	
003	Ash	0.1	0.5	1.0	1.0	1.0	4.0	B1	Fair	M	3	20	
004	Beech	0.5	2.0	2.0	2.0	2.0	4.0	A1	Fair	M	4	20	
005	Oak	0.5	1.5	2.0	2.0	2.0	5.0	A1	Good	EM	1	40	
006	Birch	0.25	0.5	0.5	0.5	0.5	5.0	A1	Good	EM	1	40	
007	Elder	0.12	0.2	0.2	0.2	0.2	3.5	B1	Fair	EM	3	40	
008	Birch	0.5	4.0	2.0	2.0	2.0	6.0	B1	Fair	M	1	40	
009	Sycamore	0.2	1.0	1.0	1.0	1.0	4.0	B1	Fair	EM	1	40	
010	Ash	0.2	1.0	1.0	1.0	1.0	4.0	B1	Fair	EM	1	40	
011	Sycamore	0.5	3.0	3.0	3.0	3.0	8.0	A2	Good	M	1	40	
012	Beech	0.75	3.0	3.0	3.0	3.0	8.0	A2	Good	M	1	40	
013	Beech	0.75	2.0	2.0	2.0	2.0	8.0	A2	Good	M	1	40	
014	Beech	1.25	2.0	2.0	2.0	2.0	8.0	A2	Good	M	3	40	
015	Beech	1.0	3.0	3.0	3.0	3.0	8.0	A2	Good	M	1	40	
016	Beech	0.75	3.0	3.0	3.0	3.0	10.0	A1	Good	M	1	40	
017	Elder	0.75	1.0	1.0	1.0	1.0	4.0	B2	Good	M	3	40	
018	Sycamore	0.25	0.5	0.5	0.5	0.5	4.0	B2	Good	EM	3	40	
019	Plum	0.25	0.2	0.25	0.25	0.25	4.0	B1	Good	EM	2	40	
020	Sycamore	2.0	3.0	3.0	3.0	3.0	8.0	A1	Fair	M	4	20	
021	Yew	0.5	1.0	1.0	1.0	1.0	5.0	A1	Good	M	2	40	
022	Sycamore	0.5	0.1	3.0	0.1	3.0	5.0	C3	Poor	M	2	10	Lots pruning evident
023	Sycamore	0.25	3.0	1.0	2.0	2.0	5.0	C3	Poor	M	1	10	Significant ivy growth on trunk and branches
024	Sycamore	0.25	2.0	1.0	1.0	2.0	8.0	B2	Fair	M	1	20	
025	Sycamore	0.75	1.0	1.0	3.0	2.0	8.0	C3	Poor	M	2	10	1 stem removed
026	Sycamore	0.25	1.0	1.0	1.0	1.0	6.0	C3	Poor	EM	1	10	Choked with ivy and overshadowed by adjacent trees
027	Beech	0.25	3.0	3.0	3.0	3.0	8.0	B2	Fair	M	1	20	

Number	Species	DBH	N	S	E	W	Ht	BS Cat	Condition	Age	Stems	ERC	Comments
028	Beech	0.25	1.0	1.0	1.0	1.0	6.0	C3	Poor	M	1	10	Choked with ivy. Broken branch supported by adjacent tree
029	Beech	0.25	2.0	2.0	2.0	2.0	6.0	B2	Fair	M	1	20	
030	Sycamore	0.25	3.0	3.0	3.0	3.0	9.0	B1	Fair	M	2	20	Choked with ivy, especially at the top of the tree
031	Beech	1.0	3.0	3.0	3.0	3.0	9.0	C3	Poor	M	3	10	Choked with ivy, evidence of decay and broken branches
032	Sycamore	1.0	3.0	2.0	2.0	2.0	9.0	B2	Fair	M	3	20	Evidence of decay in dead branches
033	Ash	0.5	0.5	0.5	0.5	0.5	5.0	C3	Poor	M	2	10	Choked with ivy. Evidence of decay in broken and dead branches
034	Beech	1.0	2.0	2.0	2.0	2.0	9.0	C3	Poor	M	1	10	
035	Sycamore	0.5	1.0	3.0	2.0	2.0	9.0	B2	Fair	M	1	20	
036	Sycamore	0.25	1.0	1.0	1.0	1.0	8.0	C3	Poor	M	1	10	Some evidence of decay.
037	Spruce	0.5	2.0	2.0	2.0	2.0	12.0	B1	Fair	M	1	40	
038	Sycamore	0.75	3.0	3.0	3.0	3.0	9.0	C3	Poor	M	2	20	Choked with ivy. Evidence of decay and dead branches
039	Sycamore	0.5	3.0	2.0	2.0	1.0	7.0	B2	Fair	M	1	20	
040	Beech	1.0	0.25	0.25	0.25	0.25	4.0	U	Poor	M	2	0	Dead
041	Sycamore	0.5	1.5	1.5	3.0	2.0	8.0	B2	Fair	M	2	20	
042	Sycamore	0.75	3.0	3.0	3.0	3.0	8.0	B2	Fair	M	3	20	Signs of decay – dead branches with signs of rot
043	Sycamore	0.5	1.0	1.0	1.0	1.0	9.0	C2	Poor	M	1	10	Signs of decay. Choked with ivy at base
044	Beech	0.75	2.0	2.0	2.0	2.0	9.0	B1	Fair	M	2	20	
045	Beech	0.75	1.0	1.0	1.0	1.0	9.0	B1	Poor	M	1	20	Ivy choking. Dead branches
046	Sycamore	0.5	2.0	2.0	2.0	2.0	8.0	B2	Poor	M	3	20	Signs of pruning and early stages of decay

Number	Species	DBH	N	S	E	W	Ht	BS Cat	Condition	Age	Stems	ERC	Comments
047	Beech	0.5	3.0	3.0	2.0	2.0	9.0	B2	Poor	M	1	20	
048	Beech	0.75	3.0	3.0	3.0	3.0	10.0	B2	Poor	M	1	40	
049	Sycamore	0.75	1.5	1.5	1.0	1.0	7.0	B2	Poor	M	2	20	Dead branches. No spread in crown
050	Beech	0.5	3.0	3.0	3.0	3.0	7.0	B1	Fair	M	1	20	
051	Beech	0.5	3.0	3.0	.0	3.0	9.0	A2	Poor	M	1	40	
052	Horse Chestnut	0.75	3.0	3.0	2.0	2.0	7.0	B2	Fair	M	1	20	
053	Beech	0.75	2.0	2.0	4.0	1.0	7.0	A2	Poor	M	1	40	
054	Sycamore	0.5	2.0	2.0	4.0	2.0	6.0	B1	Fair	M	2	20	
055	Spruce	0.25	2.0	2.0	1.0	1.0	.0	A2	Poor	M	1	40	Cluster of 3 spruce each with ivy growth at base
056	Sycamore	0.25	2.0	2.0	1.0	1.0	6.0	B2	Fair	EM	1	20	Decay and dead branches
057	Sycamore	0.75	3.0	2.0	2.0	2.0	8.0	A2	Poor	M	1	20	Some decay in lower branches
058	Beech	0.75	3.0	3.0	3.0	3.0	8.0	B2	Fair	M	1	20	Decaying upright central stem
059	Box Tree	0.5	1.0	1.0	1.0	1.0	5.0	A2	Poor	M	1	10	
060	Beech	0.5	4.0	4.0	4.0	4.0	8.0	A2	Fair	M	1	20	
061	Sycamore	0.25	3.0	3.0	3.0	3.0	6.0	U	Poor	M	1	10	Very poor. Decay evident throughout
062	Horse Chestnut	0.5	3.0	3.0	3.0	3.0	8.0	A2	Fair	M	1	20	
063	Beech	0.5	3.0	3.0	3.0	3.0	8.0	A2	Fair	M	1	20	
064	Spruce	0.5	1.0	1.0	1.0	1.0	12.0	A2	Good	M	1	40	
065	Spruce	0.5	1.0	1.0	1.0	1.0	12.0	A2	Good	M	1	40	
066	Spruce	0.5	1.0	1.0	1.0	1.0	12.0	A2	Good	M	1	40	
067	Western Hemlock	0.75	3.0	3.0	2.0	2.0	7.0	A2	Good	M	1	40	
068	Western Hemlock	0.75	3.0	3.0	2.0	2.0	7.0	A2	Good	M	1	40	
069	Western Hemlock	0.75	3.0	3.0	2.0	2.0	7.0	A2	Good	M	1	40	
070	Lawson cypress	0.5	1.0	1.0	1.0	1.0	7.0	A2	Good	M	1	40	
071	Lawson cypress	0.5	1.0	1.0	1.0	1.0	7.0	A2	Good	M	1	40	

Number	Species	DBH	N	S	E	W	Ht	BS Cat	Condition	Age	Stems	ERC	Comments
072	Spruce	0.5	1.0	1.0	1.0	1.0	7.0	A2	Good	M	1	40	
073	Beech	0.25	2.0	2.0	2.0	2.0	7.0	B2	Good	M	1	40	
074	Horse Chestnut	0.25	3.0	3.0	3.0	3.0	9.0	B2	Good	M	1	40	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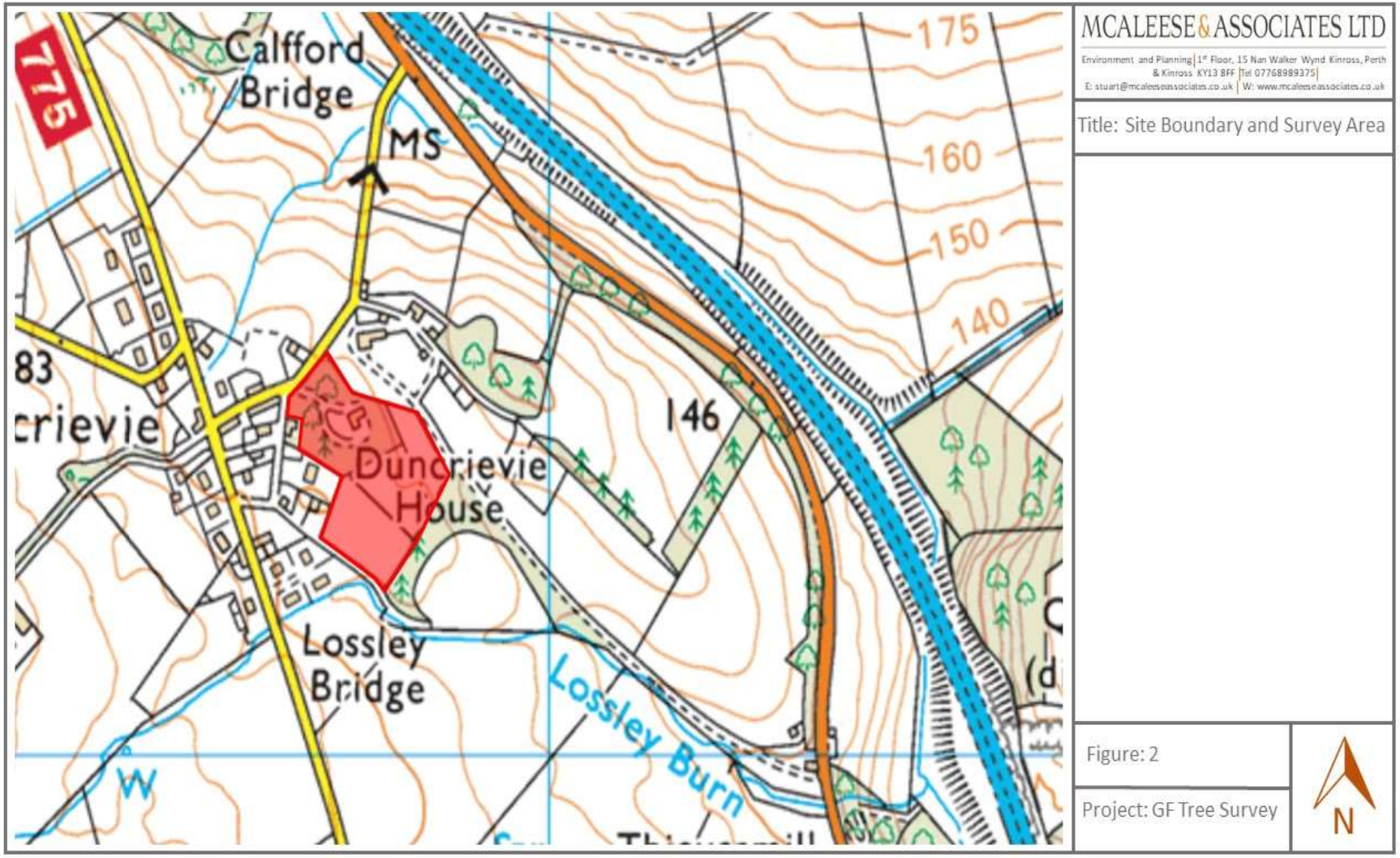
E: stuart@mcaleeseassociates.co.uk | W: www.mcaleeseassociates.co.uk
Title: Site Location
Key
Figure: 1
Project: GF Tree Survey
N
Reservoir
Quarry (dis)
Hilton Hill
Hilton of Duncrievie
Quarry (disused)
Rashiefauld
Glendy Burn
Spr
775
B996
Calfford Bridge
MS
183
Duncrievie
Duncrievie House
146
Lossley Bridge
Lossley Burn
Thievesmill Bridge
Pitillock
Carmore
Quarry (disused)
213
ngside
180
175
160
150
140
195
185
239
259
225
240
235
295
200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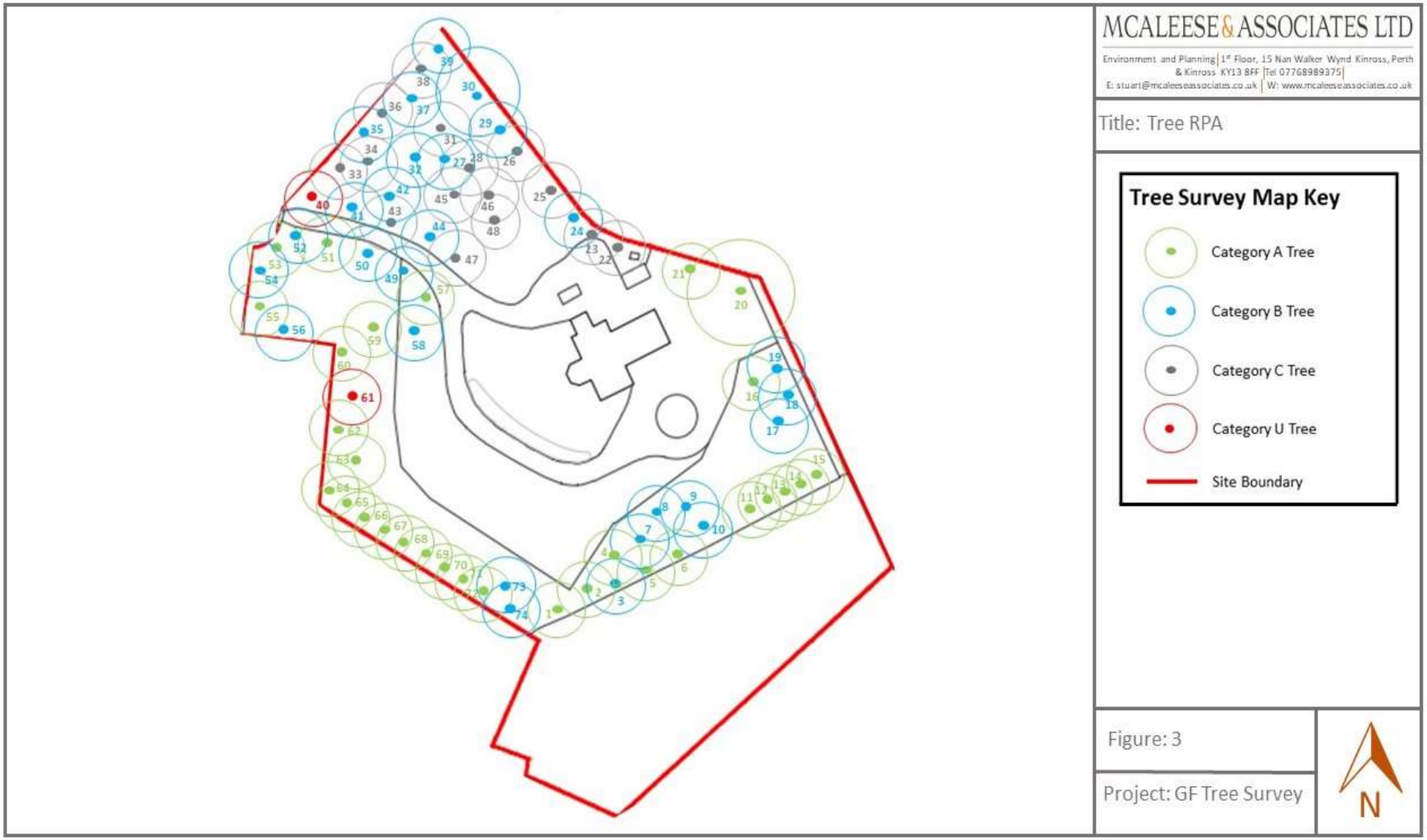
Environment and Planning & Kinross KY13 8FF
1st Floor, 15 Nan Walker Wynd Kinross, Perth
Tel 07768989375
E: stuart@mcaleeseassociates.co.uk
W: www.mcaleeseassociates.co.uk
Title: Site Boundary and Survey Area
Figure: 2
Project: GF Tree Survey
N
Calfford Bridge
MS
775
175
160
150
140
83
crievie
146
Duncrievie House
Lossley Bridge
Lossley Burn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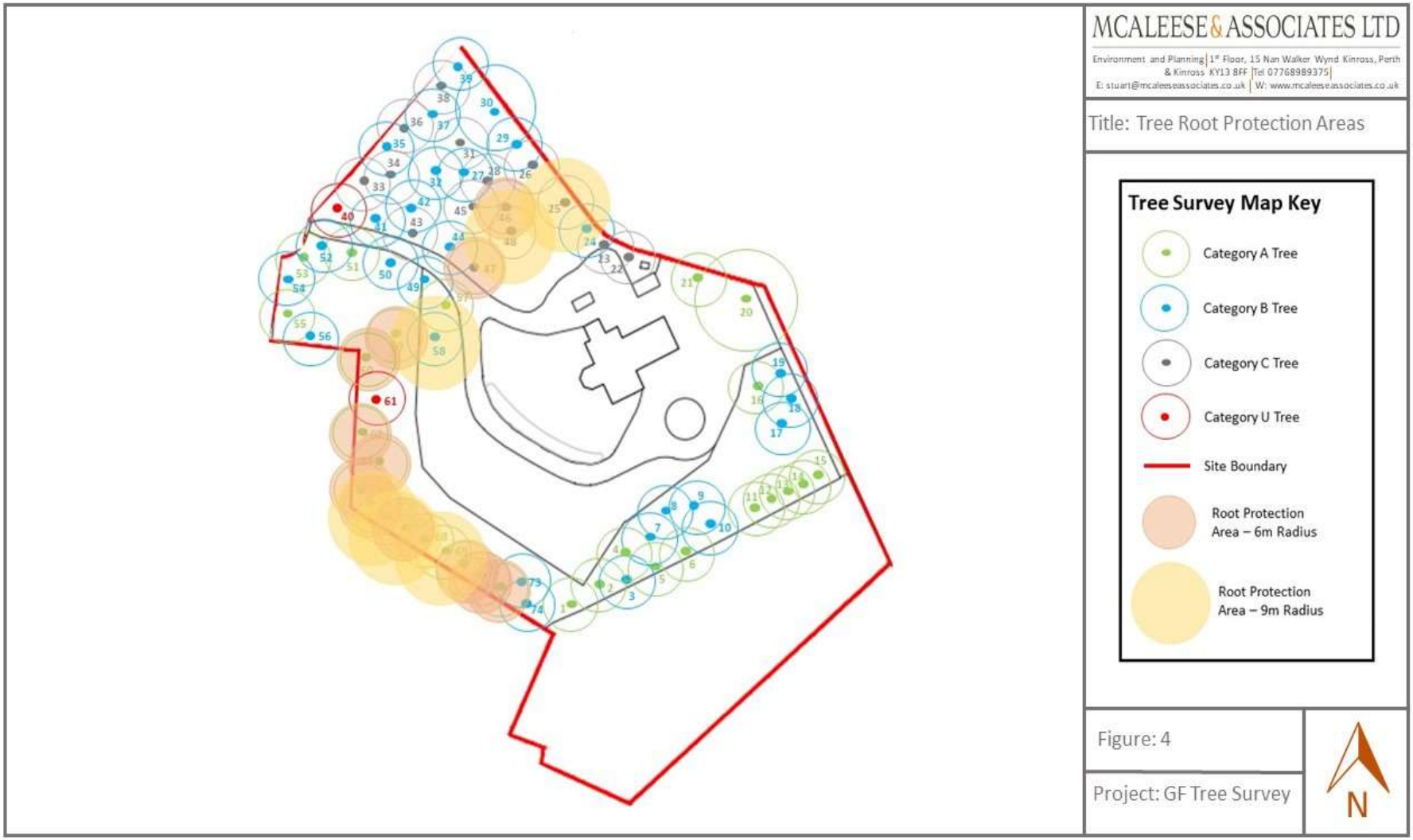
E: stuart@mcaleeseassociates.co.uk | W: www.mcaleeseassociates.co.uk
Title: Tree RPA
Tree Survey Map Key
Category A Tree
Category B Tree
Category C Tree
Category U Tree
Site Boundary
Figure: 3
Project: GF Tree Survey
N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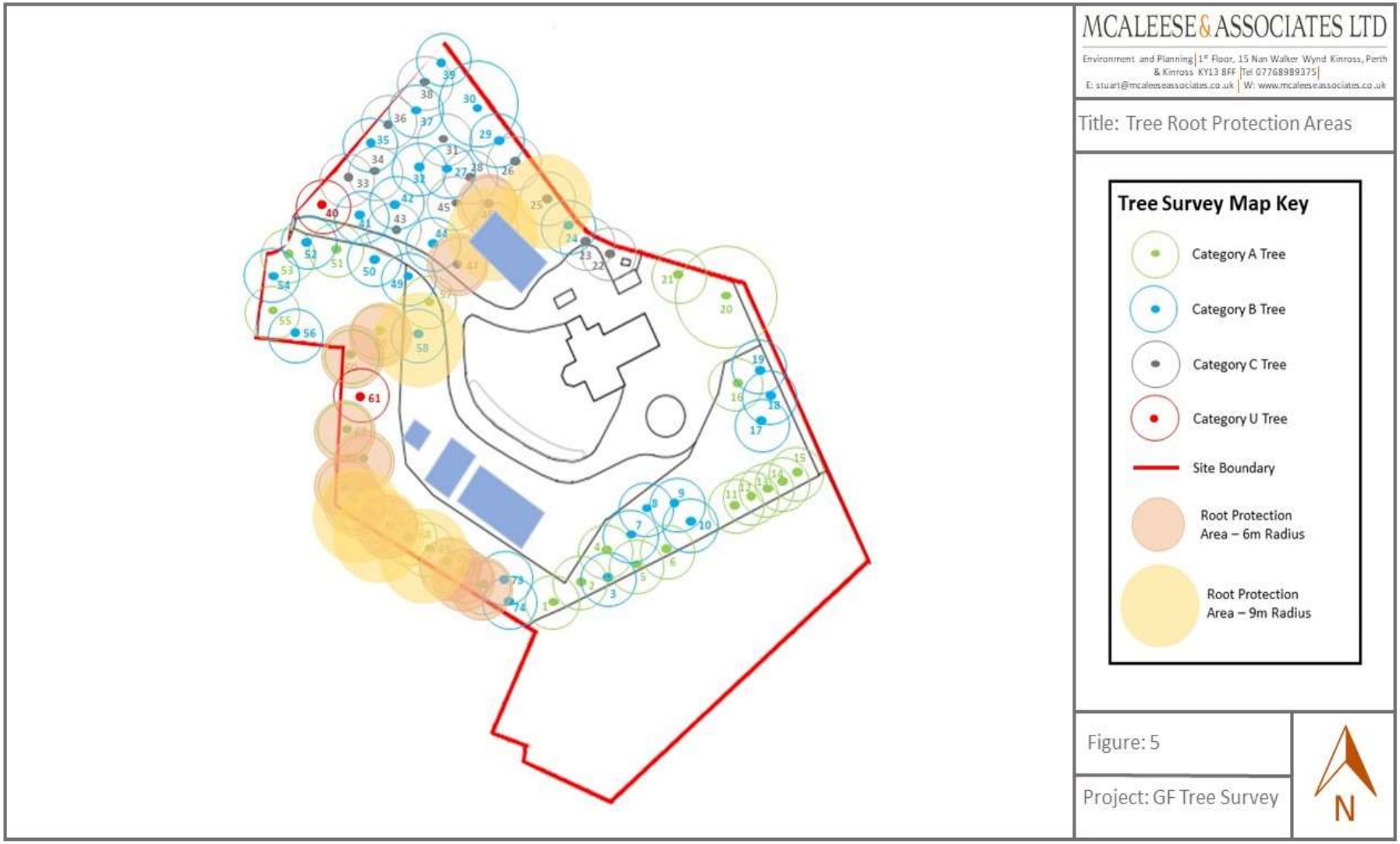
E: stuart@mcaleeseassociates.co.uk | W: www.mcaleeseassociates.co.uk
Title: Tree Root Protection Areas
Tree Survey Map Key
Category A Tree
Category B Tree
Category C Tree
Category U Tree
Site Boundary
Root Protection Area – 6m Radius
Root Protection Area – 9m Radius
Figure: 4
Project: GF Tree Survey
N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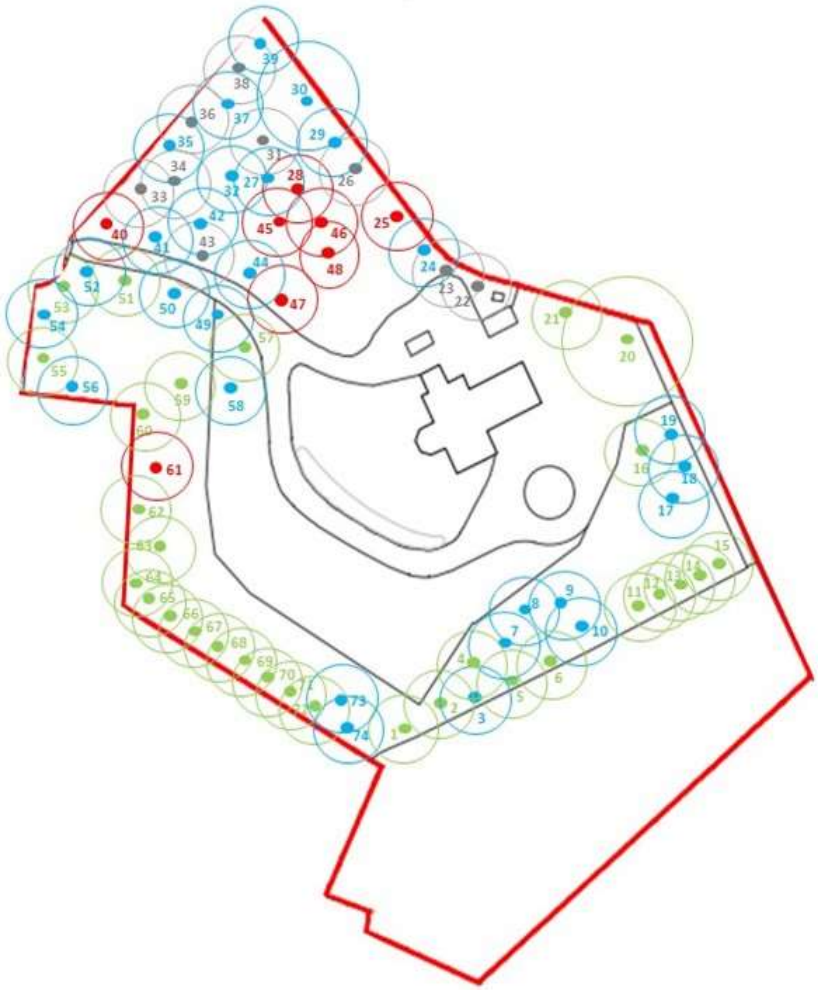
E: stuart@mcaleeseassociates.co.uk | W: www.mcaleeseassociates.co.uk
Title: Tree Root Protection Areas
Tree Survey Map Key
Category A Tree
Category B Tree
Category C Tree
Category U Tree
Site Boundary
Root Protection Area – 6m Radius
Root Protection Area – 9m Radius
Figure: 5
Project: GF Tree Survey
N



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Title: Tree Removal Plan

Tree Removal Map Key

- Category A Tree
- Category B Tree
- Category C Tree
- Tree to be Removed
- Site Boundary

Figure: 6

Project: GF Tree Survey

N

DUNCRIEVIE HOUSE
PRELIMINARY ECOLOGICAL APPRAISAL

Stuart McAleese

McAleese & Associates (UK) Ltd

Environment and EIA Consultants

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Perth & Kinross

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MARCH 2022

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SUMMARY

McAleese & Associates (UK) Ltd was commissioned by Mr Ben Burgess to undertake an ecological appraisal to include a Phase 1 Habitat Survey as well as surveying for signs of any European Protected Species (EPS) which may use, or be present on, the site.

Desk study was undertaken, and existing biological records were examined. There were no records of designated sites within a 2.5km radius.

An initial site survey was undertaken in October 2020 with a follow up survey in February 2022.

The Phase 1 Habitat survey revealed limited habitat diversity. The site comprises of a private residence, a number of outbuildings and areas of amenity grassland. The site is fringed by mature woodland with a closed canopy made up of native and exotic species. Ground flora is predominantly ivy and bramble. The site is ringed by a wall on the northwest edge of the site and the rest of the perimeter by a post and wire fence.

No evidence was found of use by badger, bat or red squirrel. There was no suitable habitat for great crested newt.

The proposed development will see activity in all areas of low habitat value.

In conclusion, the development is unlikely to have any significant effects on either habitats or species.

1 INTRODUCTION

This report has commissioned by Mr Ben Burgess in respect of a proposed development of three dwellings with private parking and amenity space in the grounds of Duncrievie House, Glenfarg, PH2 9PD (the Site) (NO137093). This is shown in Figure 1.

The land is generally flat with a slight crown on which the principle house is located. The ground then falls away gently in all directions. The site comprises of a private residence, a number of outbuildings and areas of amenity grassland. The site is fringed by mature woodland with a closed canopy made up of native and exotic species. Ground flora is predominantly ivy and bramble. The site is ringed by a wall on the northwest edge of the site and the rest of the perimeter by a post and wire fence.

There are no international, UK or locally designated ecological sites within 2.5km of the Site.

The purpose of the survey is to ensure the wellbeing of protected species is safeguarded during construction and operation of the development and to ensure there is no adverse effect of development on designated sites or sites of ecological value.

The report is intended to:

- identify ecological constraints facing proposed development of the land;
- identify potential impacts of development;
- identify the need for further surveys where applicable; and
- inform mitigation proposals and recommendations to be made.

The report will set out the survey methods, the findings of the survey, an assessment of the impact of development and recommendations for any further survey or assessment.

Background of Surveyor

The survey was undertaken by Stuart McAleese. Stuart is a professional with over 20 years of experience in ecological survey and assessment and Environmental Impact Assessment (EIA). He is a Chartered Environmentalist (CEnv) and a Full Member of the Institution of Environmental Science (MIESc). He is also a past Full Member of the Chartered Institute of Ecology and Environmental Management (CIEEM) where he was a member of the Professional Affairs Committee (PAC). He has a degree in Geography where his dissertation looked at the ecological factors affecting Scots Pine recolonisation in the Cairngorm Mountains. Since then, he has completed a significant number of Ecological Impact Assessments (EcIA) supporting planning applications for onshore renewable energy developments, large scale residential developments, infrastructure projects and offshore energy projects. He has worked in the UK, Asia, Africa and the US.

2 LEGISLATION AND POLICY

2.1 Introduction

The following legislation and policies are relevant to the current assessment:

- The Wildlife & Countryside Act 1981 as amended;
- The Wildlife and Natural Environment (Scotland) Act 2011;
- The Conservation (Natural Habitats &c) Regulations 1994
- The Nature Conservation Scotland Act 2004;
- The Protection of Badgers Act 1992;
- Scottish Planning Policy 2014;
- TAYPLAN Strategic Development Plan 2016 – 2036;
- Perth & Kinross Adopted Local Development Plan 2019; and
- Tayside Local Biodiversity Action Plan 2016 – 2026.

2.2 The Wildlife & Countryside Act 1981 (as amended)

The Act consolidated and amended existing national legislation to implement the Convention on the Conservation of European Wildlife and Natural Habitats (Bern Convention) and Council Directive 79/409/EEC on the conservation of wild birds (Birds Directive) in Great Britain, Council Directive 79/409/EEC which was updated by Directive 2009/147/EC.

The Act is one of the most important pieces of environmental legislation in Britain. The Act provides for the protection of wild animals, birds and plants as well as the protection of areas of natural heritage value and the designation of protected areas including, Sites of Special Scientific Interest (SSSIs), National Nature Reserves, (NNRs) and Marine Nature Reserves (MNRs).

The Act has been variously amended over the years by legislation including the Nature Conservation (Scotland) Act 2004 and the Wildlife and Natural Environment Act 2011.

2.3 The Wildlife & Natural Environment (Scotland) Act 2011

The Act makes changes to existing legislation covering deer management, game management, species licensing, muirburn, snaring, badgers, invasive non-native species and protected areas: SSSIs and ASPs.

2.4 The Conservation (Natural Habitats) Regulations 1994

The Regulations transposed Council Directive 92/43/EEC on the conservation of natural habitats and wild fauna and flora (The Habitats Directive) into national law. The Regulations have been amended several times in Scotland, the most recent of which was 2012. Irrespective of the amendments, the purpose of the Regulations has remained the same; containing five Parts and four Schedules, the Regulations provide for the designation and protection of 'European sites', the protection of 'European protected species', and the adaptation of planning and other controls for the protection of European Sites.

2.5 The Nature Conservation (Scotland) Act 2004

The Act imposes a wide-ranging duty on the Scotland's public sector to conserve biodiversity and protect the nations natural heritage. The Act strengthens protection of SSSIs and increases maximum fines for deliberate or reckless damage to Scotland's important natural land and wildlife habitat from £5,000 to £40,000.

2.6 The Protection of Badgers Act 1992

The Act protects badgers by making it an offence to:

- wilfully kill, injure, take or attempt to kill a badger;
- possess a dead badger or any part of a dead badger;
- cruelly ill-treat a badger;
- use badger tongs in the course of killing, taking or attempting to kill a badger;
- dig for a badger;
- possess, sell or offer for sale any live badger; and / or
- mark, tag or ring a badger.

It is also a crime to interfere with a badger sett by intentionally or recklessly causing or allowing:

- damage to a sett or any part of it; destruction of it;
- sett access to be obstructed, or any entrance of it; a dog to enter it; and / or
- disturbance to a badger when it is occupying it.

There is provision in the Act for licensing any otherwise illegal activity if it can be demonstrated this is in pursuit of a legitimate purpose.

2.7 Scottish Planning Policy 2014

SPP sets out its principles for safeguard of Scotland's Natural Heritage. They are:

- facilitate positive change while maintaining and enhancing distinctive landscape character;
- conserve and enhance protected sites and species, taking account of the need to maintain healthy ecosystems and work with the natural processes which provide important services to communities;
- promote protection and improvement of the water environment, including rivers, lochs, estuaries, wetlands, coastal waters and groundwater, in a sustainable and coordinated way;
- seek to protect soils from damage such as erosion or compaction;
- protect and enhance ancient semi-natural woodland as an important and irreplaceable resource, together with other native or long-established woods, hedgerows and individual trees with high nature conservation or landscape value;
- seek benefits for biodiversity from new development where possible, including the restoration of degraded habitats and the avoidance of further fragmentation or isolation of habitats; and
- support opportunities for enjoying and learning about the natural environment.

Planning authorities are required to adhere to the principles by preparing Development Plans and Development Management Plans, The Development plans should identify International, national and locally designated sites and afford them protection appropriate to their level of designation.

2.8 TAYPLAN Strategic Development Plan 2016 – 2036

Policy 8B commits local authorities within the TAYPLAN area to enhancing habitat networks and green spaces.

Policy 9C seeks to safeguard the integrity of natural assets including habitats and species and allowing development only where it doesn't adversely impact these areas.

2.9 Perth & Kinross Adopted Local Development Plan 2019

Policy 41 seeks to protect and enhance wildlife and wildlife habitats and to take account of the Local Biodiversity Action Plan.

2.10 Tayside Local Biodiversity Action Plan 2016 – 2026

The Tayside Local Biodiversity Action Plan (TLBAP) was first published in 2002 to focus attention on the conservation and enhancement of the region's natural heritage and to address its decline. The TLBAP identifies key species such as red squirrel and key habitats such as native woodlands.

3 THE SURVEY

3.1 Desk Study

The desk study comprised:

- inspection of data from the National Biodiversity Network Atlas (NBN Atlas);
- acquisition of information on designated sites within 2.5km of the site from Scottish Natural Heritage (Sitelink); and
- consultation of historical maps of the land and its surroundings.

3.2 Field Survey

The survey area is shown in Figure 2.

An initial survey was undertaken by Stuart McAleese on October 12th 2020. The weather was overcast with light to moderate rain.

A follow up survey was undertaken in February 2022 to ensure the baseline within the site had not changed significantly and to update the mapping of the site. The weather was overcast and dry.

The survey comprised a walkover of the land consistent with Phase 1 Habitats Survey Methodology (JNCC 2010). This noted habitat structure and component plant species. The survey also assessed the potential for use by any protected species as well as inspecting for signs of presence of these species.

The species targeted were badgers (*Meles meles*), bats (*Chiroptera*) and red squirrel (*Scriurus vulgaris*). There was not any suitable habitat for great crested newts (*Triturus cristatus*).

The findings of the survey are set out below.

These findings were complemented by consideration of data from the NBN Atlas and SNH Sitelink.

4 BASELINE ECOLOGICAL CONDITIONS

4.1 Designated Sites

4.1.1 International Sites

There are no internationally designated sites within 2.5km of the Duncrievie House site.

4.1.2 National Sites

There are no UK nationally designated sites within 2.5km of the Duncrievie House site.

4.1.3 Local Sites

There are no local biodiversity sites within 2.5km of the Duncrievie House site.

4.2 Habitats

The results of the Phase 1 Habitat Survey is presented in Figure 3. The Site comprises principally of semi natural broadleaved woodland and amenity grassland with areas of introduced shrub and scrub.

4.2.1 Semi Natural Broadleaved Woodland (A1)

The Site is bounded by mature woodland. The canopy is closed as the species present are mature and well established. The species present include horse chestnut (*Aesculus hippocastanum*), beech (*Fagus sylvatica*), spruce (*Picea* spp), sycamore (*Acer pseudoplatanus*), Scots Pine (*Pinus sylvestris*) and Western hemlock (*Tsuga heterophyll*). The understory is predominantly ground coverage of ivy (*Hedera* spp) and bramble (*Rubus fruticosus*) with small areas of nettle (*Urtica dioica*), dock (*Rumix obtusifolius*) and scattered holly bushes (*Ilex aquifolium*) on the periphery.

The habitat is one of a mix of native species and imported exotics. Together with complete canopy coverage, lack of understory species and almost complete ground coverage of ivy (*Hedera* spp) reflect an environment of little species diversity and ecological value beyond habitat continuity and the opportunity it provides for foraging, especially for bats. This is shown in Plate 1 below.

Plate 1: Typical semi natural broadleaved woodland

The habitat attracts ecological site value.

4.2.2 Amenity Grassland (J1.2)

This habitat comprises of intensively managed and regularly mown lawn. The habitat is sward poor in terms of herbs. There are patches of discontinuous *sphagnum* moss in sheltered areas. This is shown in Plate 2 below.

Plate 2: Amenity grassland

The habitat attracts ecological site value.

4.2.3 Introduced Shrub (J1.4)

This habitat is dominated by species which are planted and not native to the area or to Scotland. Species recorded include rhododendron, Lawson cypress (*Chamaecyparis lawsoniana*), Japanese flowering crab apple (*Malus floribunda*) and cotoneaster (*Cotoneaster horizontalis*). This is shown in Plate 3 below.

Plate 3: Introduced shrub

The habitat attracts ecological site value.

4.2.4 Shrub (A2)

This habitat is located in two clearing areas within the semi-natural broadleaved woodland. It is dominated by bramble (*Rubus fruticosus*) with small areas of nettle (*Urtica dioica*), dock (*Rumix obtusifolius*) and creeping buttercup (*Ranunculus repens*). The plants are climax vegetation and less than 5m in height. One example is shown in Plate 4 below.

Plate 4: Scrub

The habitat attracts ecological site value.

4.2.5 Recently Felled Broadleaved Woodland (A4)

There is one area of recently felled broadleaved woodland. Species felled appear to include sycamore (*Acer pseudoplatanus*) and beech (*Fagus sylvatica*). This is shown in Plate 5 below.

Plate 5: Recently felled woodland

This area has ecological site value for insects and invertebrates who may use the area for shelter.

4.2.6 Improved Grassland

There is a field to the east of the property. This is improved grassland used for horses.

The habitat attracts ecological site value.

4.2.7 Surfaced Areas

The remainder of the site was made up of surfaced areas comprising of the resident's driveway and parking area.

This area has no ecological value.

4.3 Species

The species targeted were badgers (*Meles meles*), bats (*Chiroptera*) and red squirrel (*Scriurus vulgaris*). There was not any suitable habitat for great crested newts (*Triturus cristatus*).

4.3.1 Badger

The site was inspected for evidence of use by badger (*Meles meles*). Signs looked for included:

- setts;
- day beds;
- latrines;
- snuffle holes;
- paths;
- scratching posts;
- hair; and
- footprints and tracks.

Broadleaved, semi natural woodland of the type found on the site provide marginally suitable habitat for badgers (*Meles meles*). The almost complete cover of ivy (*Hedera* spp) will provide a barrier for badgers in terms of foraging. Areas where bare ground or the occasional small patch of non ivy (*Hedera* spp) dominated ground was checked for signs of badger. No latrines, hair or footprints were found. No setts or evidence of setts were found.

The NBN Atlas does not hold any records of badgers (*Meles meles*) within the 2.5km checked radius from the site.

It is very unlikely that badgers (*Meles meles*) will use any areas of the semi natural woodland. Therefore, the proposed development will not disturb the species or damage any setts.

The conservation status of the species will therefore not be compromised.

4.3.2 Bat

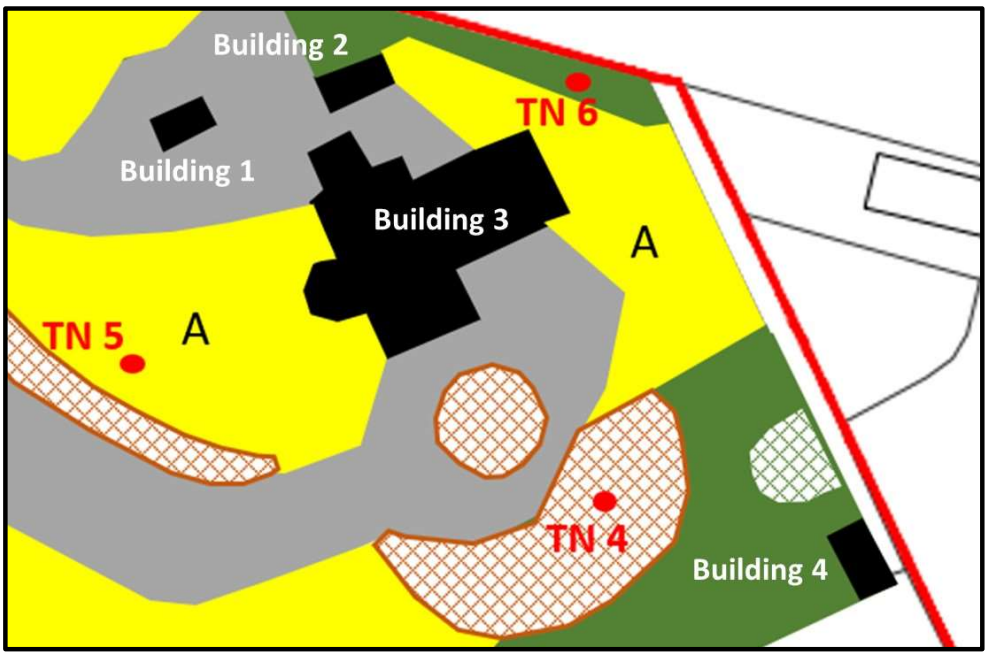
An initial assessment was made as to the suitability of any habitats to support bat (*Chiroptera*) populations. This was done following guidance within Bat Conservation Trust Bat Surveys: Good Practice Guidelines (Collins 2016).

The aim of this survey was to determine if the buildings had potential value for use by roosting bats or evidence of any actual bat presence by a detailed inspection. The survey looked for features which bats could use for roosting (PRFs) and evidence of actual field signs of bat presence and categorised the building according to its potential value for use by roosting bats.

The surveys undertaken are reported in the PEA. The buildings checked were:

- Building 1: a garage immediately to the west of Duncreavie House;
- Building 2: a storage building to the rear of Duncreavie House;
- Building 3: Duncreavie House; and
- Building 4: an older wooden garage structure on the boundary of the garden environs.

These are shown below in snapshot view.



The buildings were assessed externally and internally during daylight to look for access points that could potentially be used by bats to enter crevices and any features that bats could use for roosting (PRFs) such as under loose or missing panels or cracks and crevices, loose flashing etc. on the buildings. Each potential access point was examined (with binoculars if not accessible for close examination) for signs indicative of use by bats such as droppings, urine streaking, polished, or worn surfaces, or staining marks at the potential entry point. The ground along the walls was also checked for dropping accumulations, and walls were also checked for the presence of occasional droppings.

Buildings 1, 2 and 3 all had features which have the potential for bat roosts. Building 4 had few suitable features.

However, there was no evidence of use by bats at any of the buildings surveyed.

Of the 74 trees inspected during the survey, 33 were considered to have features potentially suitable for bats to roost within. However, this potential was considered to be negligible, and no evidence was found of roosting activity.

The woodland fringe will provide suitable foraging habitat for bats (*Chiroptera*).

The NBN Atlas had no records of bats (*Chiroptera*) within the 10km checked radius from the site.

The conservation status of the species will therefore not be compromised.

4.3.3 Red Squirrel

The site was inspected for signs of red squirrel (*Scriurus vulgaris*). The NBN Atlas has records of red squirrel (*Scriurus vulgaris*) as follows:

- Sighting, 210m west of the site, 2020;
- Sighting, 520m east of the site, 2020; and
- Sighting, 875m northwest of the site, 2019.

No evidence was found of red squirrel (*Scriurus vulgaris*) on the site. No dreys were found, there was no evidence of feeding and there were no sightings of the species within the site itself. The habitat was generally unsuitable for red squirrel (*Scriurus vulgaris*) due to the lack of suitable foraging habitat and was therefore considered to be of poor quality as far as red squirrel (*Scriurus vulgaris*) are concerned.

However, one individual was spotted on a Scots pine (P*inus sylvestis*) within an adjoining landowners land (Target Note 6).

It can be concluded that although red squirrel (*Scriurus vulgaris*) is present in the vicinity of the site, it does not use this site. No dreys were found during the site survey.

The conservation status of the species will therefore not be compromised.

4.3.4 Other species

A number of other species were reported in the NBN Atlas and are included here for completeness. These are:

- Hedgehog (*Erinaceus europaeus)*: One record from 1997 of a juvenile within site boundary;
- Hedgehog (*Erinaceus europaeus)*: One record from 1993 located 675m north of the site;
- Hedgehog (*Erinaceus europaeus)*: One record from 1993 located 420m north of the site; and
- Red fox (*Vulpes vulpes*): one record from 2013 located 370m NE of the site;

No evidence was found of use of the site by these species during the survey.

5 ECOLOGICAL IMPACTS, CONSTRAINTS AND OPPORTUNITIES

It is proposed to develop the site by erecting two buildings. The location and footprint of these buildings, as well as associated above ground infrastructure, is shown in Figure 4.

There will be access points to each building.

There will be a parking area adjacent to each building.

There will be a new access point into the broader site.

5.1 Designated Sites

5.1.1 International Sites

There are no internationally designated sites within 2.5km of the Duncrievie House site. **Therefore, there is no constraint on development in respect of International Sites.**

5.1.2 National Sites

There are no UK nationally designated sites within 2.5km of the Duncrievie House site. **Therefore, there is no constraint on development in respect of UK National Sites.**

5.1.3 Local Sites

There are no local biodiversity sites within 2.5km of the Duncrievie House site. **Therefore, there is no constraint on development in respect of Local Biodiversity Sites.**

5.2 Habitats

Plans show that the two proposed dwellings, their parking areas and access roads will occupy amenity grassland habitat. **This habitat has low ecological value, and its loss represents no constraint on development.**

The semi-natural woodland will remain largely intact and may be marginally affected by small areas of selective felling on the woodland margins to accommodate the new entrance to Duncreavie House. There will be a total of 8 trees felled – 6 to facilitate the development and 2 from a safety perspective. This is discussed further in the accompanying tree report. **This habitat has no constraint on development.**

There may be some additional loss of introduced shrub habitat. **This habitat has no constraint on development.**

5.3 Species

There was no signs or evidence of use of the site by badgers (*Meles meles*), bats (*Chiroptera*) or red squirrel (*Scriurus vulgaris*).

There are no records with NBN Atlas of badgers (*Meles meles*) or bats (*Chiroptera*) within 2.5km radius of the site. There are records, and there was a sighting of red squirrel (*Scriurus vulgaris*) within 2.5km of the site. However, the habitat on the site is of poor quality for red squirrel (*Scriurus vulgaris*).

Therefore, badgers (*Meles meles*), bats (*Chiroptera*) and red squirrel (*Scriurus vulgaris*) represent no constraint on development.

6 RECOMMENDATIONS

Consistent with 'Best Practice', the following recommendations are being made:

- any trees should be checked by an ecologist immediately pre-felling to ensure there is no bat roost present;
- no vegetation clearance will take place between 1st March and 31st August inclusive to protect any breeding birds using the site;
- this is not a constraint on development, but a precautionary approach is recommended, putting measures in place to ensure small mammals do not come to harm during this time; open pipes should be closed up at the end of each working day, and trenches should be covered, or a ramp provided to permit animals that fall in a means of exit, to prevent animals becoming trapped;
- chemicals and materials should be stored securely; and
- it is recommended that any vegetation clearance, if required, is carried out outside the bird nesting season; March to August. If this is an obstacle to development, it is important that no clearance is undertaken before the land is inspected for nesting birds by an ecologist.

7 CONCLUSIONS

McAleese & Associates (UK) Ltd was commissioned by to undertake an ecological appraisal to include a Phase 1 Habitat Survey as well as surveying for signs of any European Protected Species (EPS) which may use, or be present on, the site.

A desk study was undertaken, and existing biological records were examined. There were no records of designated sites within a 2.5km radius.

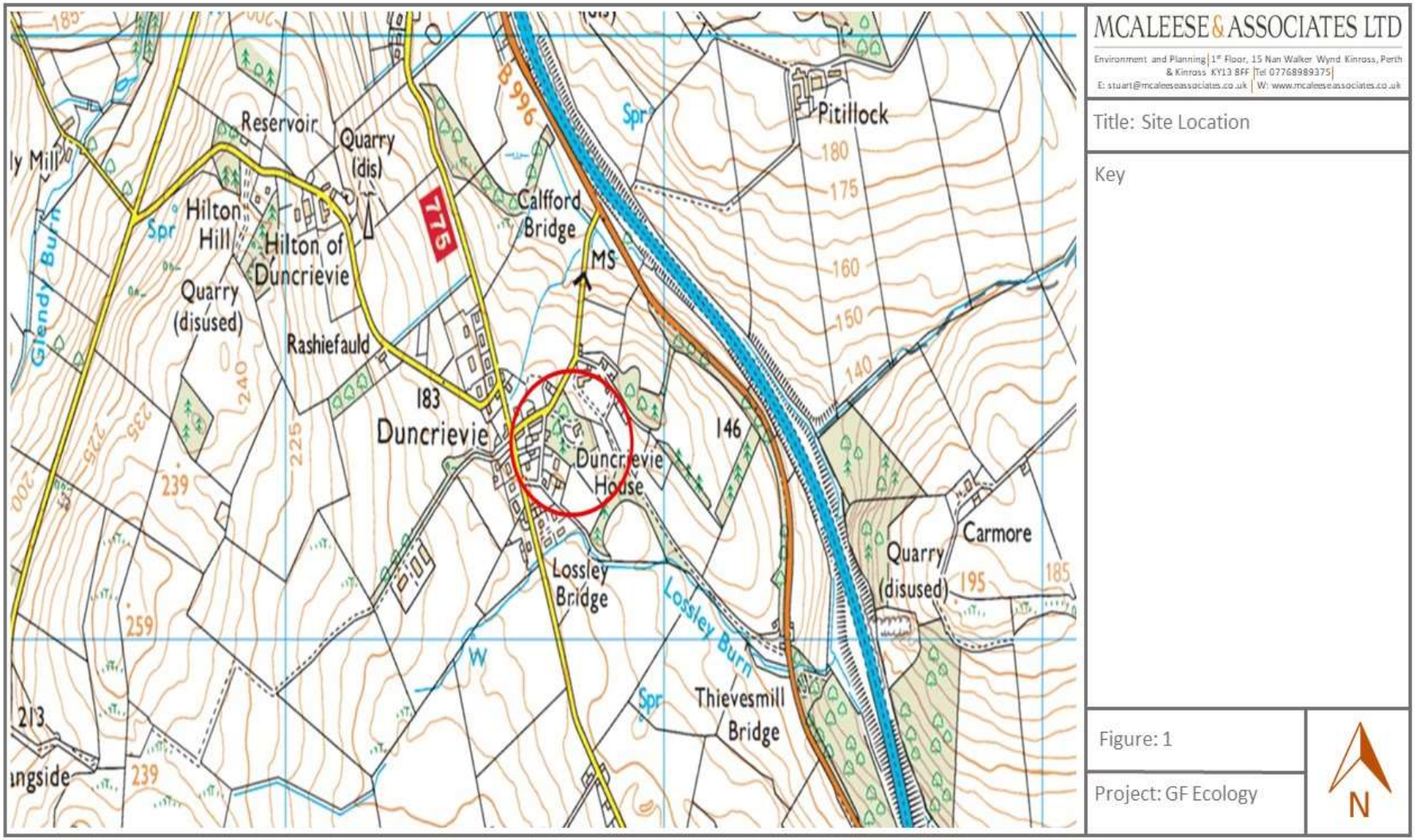
An initial site survey was undertaken in October 2020 with a follow up survey in February 2022.

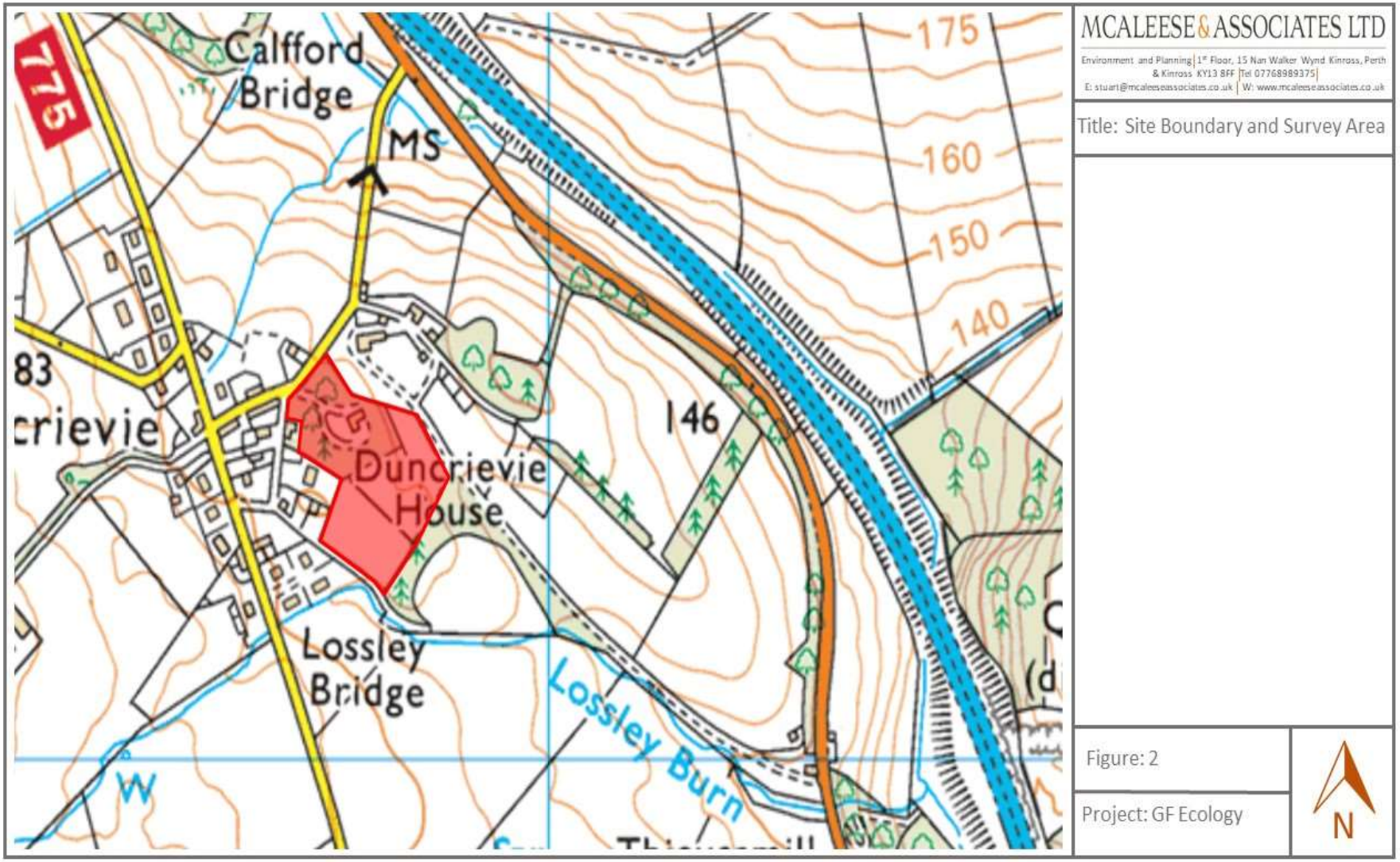
The Phase 1 Habitat survey revealed limited habitat diversity. The site comprises of a private residence, a number of outbuildings and areas of amenity grassland. The site is fringed by mature woodland with a closed canopy made up of native and exotic species. Ground flora is predominantly ivy and bramble. The site is ringed by a wall on the northwest edge of the site and the rest of the perimeter by a post and wire fence.

No evidence was found of use by badger, bat or red squirrel. There was no suitable habitat for great crested newt.

The proposed development will see activity in areas of low habitat value.

In conclusion, the development is unlikely to have any significant effects on either habitats or species.


MCALEESE & ASSOCIATES LTD
Environment and Planning | 1st Floor, 15 Nan Walker Wynd Kinross, Perth & Kinross KY13 8FF | Tel 07768989375 |
E: stuart@mcaleeseassociates.co.uk | W: www.mcaleeseassociates.co.uk
Title: Site Location
Key
Figure: 1
Project: GF Ecology
N
Reservoir
Quarry (dis)
Hilton Hill
Hilton of Duncrievie
Quarry (disused)
Rashiefauld
Glendy Burn
Spr
775
B 996
Calfford Bridge
MS
183
Duncrievie
Duncrievie House
146
Pitillock
180
175
160
150
140
Lossley Bridge
Lossley Burn
Thievesmill Bridge
Quarry (disused)
Carmore
195
185
239
240
225
235
275
200
259
213
ngside
W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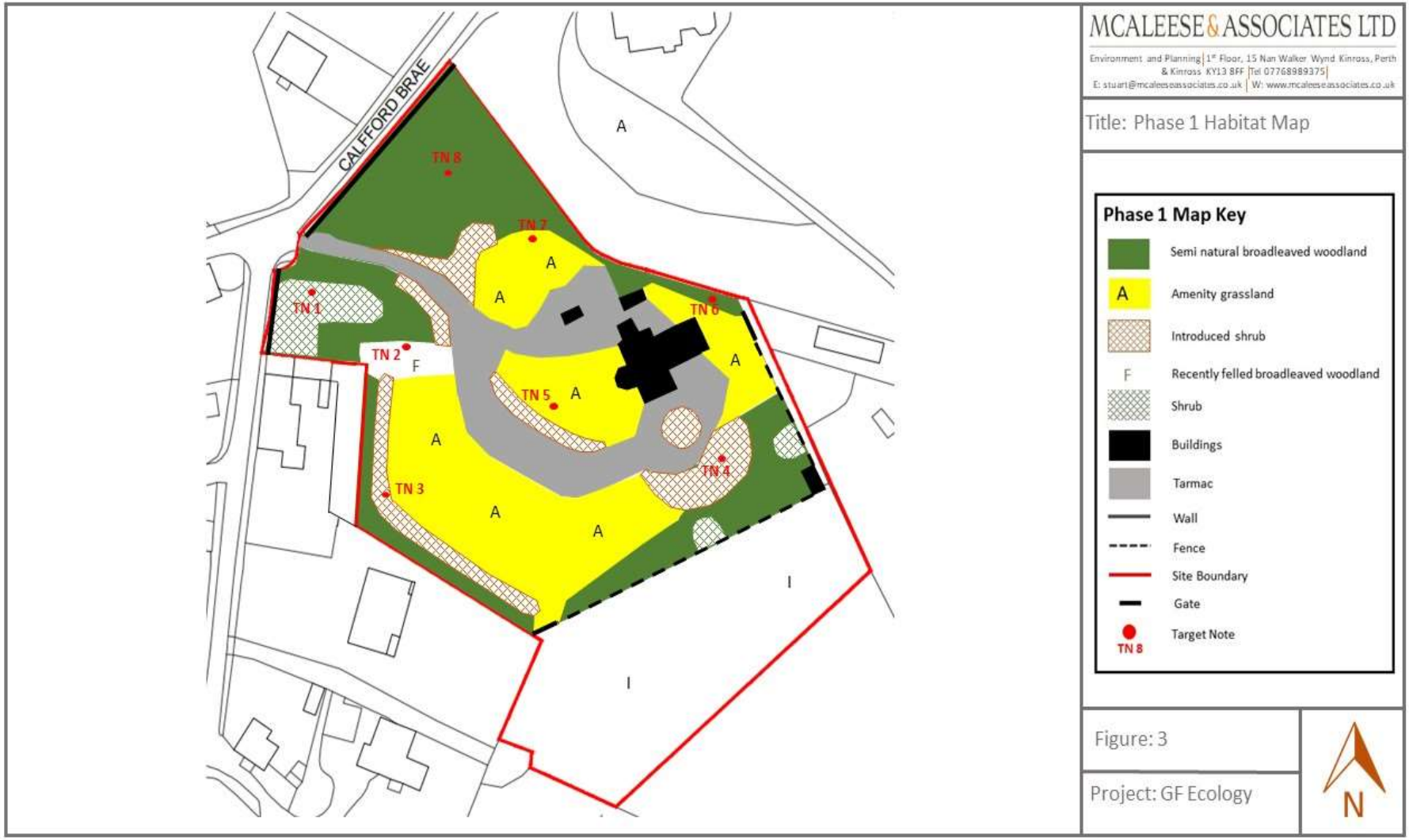
E: stuart@mcaleeseassociates.co.uk | W: www.mcaleeseassociates.co.uk
Title: Site Boundary and Survey Area
Figure: 2
Project: GF Ecology
N
775
Calfford Bridge
MS
175
160
150
140
83
crievie
146
Duncrievie House
Lossley Bridge
Lossley Burn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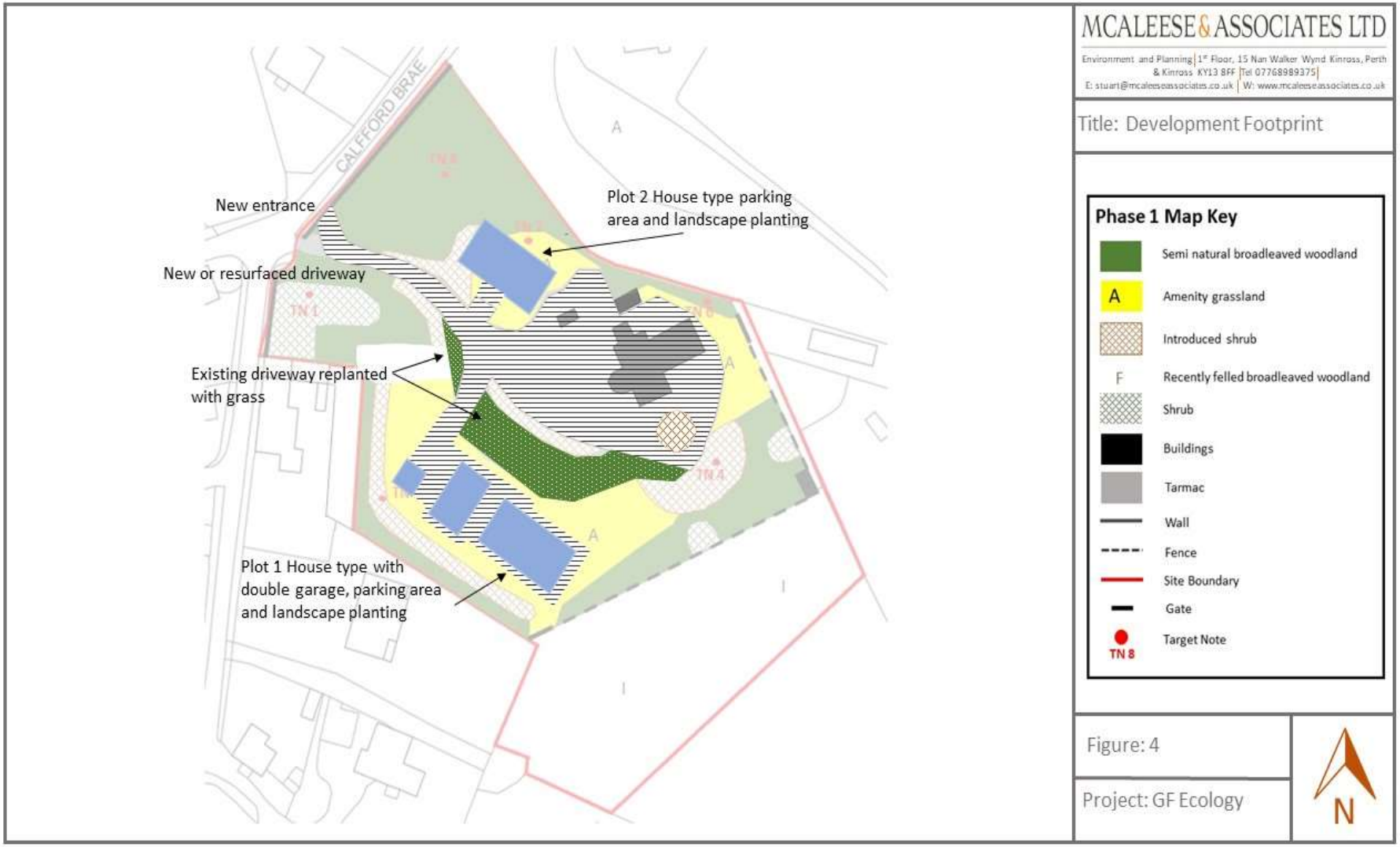
E: stuart@mcaleeseassociates.co.uk | W: www.mcaleeseassociates.co.uk
Title: Phase 1 Habitat Map
Phase 1 Map Key
Semi natural broadleaved woodland
A
Amenity grassland
Introduced shrub
F
Recently felled broadleaved woodland
Shrub
Buildings
Tarmac
Wall
Fence
Site Boundary
Gate
Target Note
TN 8
Figure: 3
Project: GF Ecology
N
CALFFORD BRAE
TN 1
TN 2
TN 3
TN 4
TN 5
TN 6
TN 7
TN 8
A
F
I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E: stuart@mcaleeseassociates.co.uk | W: www.mcaleeseassociates.co.uk
Title: Development Footprint
CALFFORD BRAE
New entrance
New or resurfaced driveway
Existing driveway replanted with grass
Plot 2 House type parking area and landscape planting
Plot 1 House type with double garage, parking area and landscape planting
Phase 1 Map Key
Semi natural broadleaved woodland
A
Amenity grassland
Introduced shrub
F
Recently felled broadleaved woodland
Shrub
Buildings
Tarmac
Wall
Fence
Site Boundary
Gate
Target Note
TN 8
Figure: 4
Project: GF Ecology
N

APPENDIX 1: TARGET NOTES

Number	Observation	Note
Target Note 1	Clearing within woodland	Clearing within the woodland giving some diversity and change in structure.
Target Note 2	Recently cleared woodland	Area of recent felling – appears to be beech and sycamore.
Target Note 3	Exotic species	High level of exotic species. The area is a dominant visual feature on the other side of the lawn when viewed from the house.
Target Note 4	Exotic species	High level of exotic species. Strong feature from front door of house.
Target Note 5	Amenity grass	Typical lawn of low species diversity and intensively mown.
Target Note 6	Red squirrel sighting	Red squirrel observed scampering up a Scots pine on adjacent landowners land.
Target Note 7	Woodland edge	Evidence of pruning.
Target Note 8	Ground coverage	Almost complete coverage of ivy with ivy also climbing trees in a thick blanket.

LRB-2022-46
22/00174/FLL - Erection of 2 dwellinghouses, a garage and associated works, Duncrievie House, Duncrievie, Glenfarg, PH2 9PD

REPRESENTATIONS

Friday, 25 February 2022

Development Operations
The Bridge
Buchanan Gate Business Park
Cumbernauld Road
Stepps
Glasgow
G33 6FB

Local Planner
Planning and Development
Perth and Kinross Council
Perth
PH1 5GD

Development Operations
Freephone Number - 0800 3890379
E-Mail - DevelopmentOperations@scottishwater.co.uk
www.scottishwater.co.uk

Dear Customer,

Land 70 Metres East Of Coach House, Duncrievie, Glenfarg, PH2 9PD
Planning Ref: 22/00174/FLL
Our Ref: DSCAS-0059215-GBY
Proposal: Erection of 2 dwellinghouses, a garage and associated works

Please quote our reference in all future correspondence

Audit of Proposal

Scottish Water has no objection to this planning application; however, the applicant should be aware that this does not confirm that the proposed development can currently be serviced and would advise the following:

Water Capacity Assessment

Scottish Water has carried out a Capacity review and we can confirm the following:

- There is currently sufficient capacity in the Glenfarg Water Treatment Works to service your development. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.

Waste Water Capacity Assessment

- Unfortunately, according to our records there is no public Scottish Water, Waste Water infrastructure within the vicinity of this proposed development therefore we would advise applicant to investigate private treatment options.

Please Note

- The applicant should be aware that we are unable to reserve capacity at our water and/or waste water treatment works for their proposed development. Once a formal connection application is submitted to Scottish Water after full planning permission has been granted, we will review the availability of capacity at that time and advise the applicant accordingly.

Surface Water

For reasons of sustainability and to protect our customers from potential future sewer flooding, Scottish Water will not accept any surface water connections into our combined sewer system.

There may be limited exceptional circumstances where we would allow such a connection for brownfield sites only, however this will require significant justification from the customer taking account of various factors including legal, physical, and technical challenges.

In order to avoid costs and delays where a surface water discharge to our combined sewer system is anticipated, the developer should contact Scottish Water at the earliest opportunity with strong evidence to support the intended drainage plan prior to making a connection request. We will assess this evidence in a robust manner and provide a decision that reflects the best option from environmental and customer perspectives.

General notes:

- Scottish Water asset plans can be obtained from our appointed asset plan providers:
    - Site Investigation Services (UK) Ltd
    - Tel: 0333 123 1223
    - Email: sw@sisplan.co.uk
    - www.sisplan.co.uk
- Scottish Water's current minimum level of service for water pressure is 1.0 bar or 10m head at the customer's boundary internal outlet. Any property which cannot be adequately serviced from the available pressure may require private pumping arrangements to be installed, subject to compliance with Water Byelaws. If the developer wishes to enquire about Scottish Water's procedure for checking the water pressure in the area, then they should write to the Customer Connections department at the above address.
- If the connection to the public sewer and/or water main requires to be laid through land out-with public ownership, the developer must provide evidence of formal approval from the affected landowner(s) by way of a deed of servitude.
- Scottish Water may only vest new water or waste water infrastructure which is to be laid through land out with public ownership where a Deed of Servitude has been obtained in our favour by the developer.

- The developer should also be aware that Scottish Water requires land title to the area of land where a pumping station and/or SUDS proposed to vest in Scottish Water is constructed.

- Please find information on how to submit application to Scottish Water at our Customer Portal.

Next Steps:

- ### All Proposed Developments

  All proposed developments require to submit a Pre-Development Enquiry (PDE) Form to be submitted directly to Scottish Water via our Customer Portal prior to any formal Technical Application being submitted. This will allow us to fully appraise the proposals.

  Where it is confirmed through the PDE process that mitigation works are necessary to support a development, the cost of these works is to be met by the developer, which Scottish Water can contribute towards through Reasonable Cost Contribution regulations.

- ### Non Domestic/Commercial Property:

  Since the introduction of the Water Services (Scotland) Act 2005 in April 2008 the water industry in Scotland has opened to market competition for non-domestic customers. All Non-domestic Household customers now require a Licensed Provider to act on their behalf for new water and waste water connections. Further details can be obtained at www.scotlandontap.gov.uk

- ### Trade Effluent Discharge from Non-Domestic Property:

  - Certain discharges from non-domestic premises may constitute a trade effluent in terms of the Sewerage (Scotland) Act 1968. Trade effluent arises from activities including; manufacturing, production and engineering; vehicle, plant and equipment washing, waste and leachate management. It covers both large and small premises, including activities such as car washing and launderettes. Activities not covered include hotels, caravan sites or restaurants.
  - If you are in any doubt as to whether the discharge from your premises is likely to be trade effluent, please contact us on 0800 778 0778 or email TEQ@scottishwater.co.uk using the subject “Is this Trade Effluent?". Discharges that are deemed to be trade effluent need to apply separately for permission to discharge to the sewerage system. The forms and application guidance notes can be found here.
  - Trade effluent must never be discharged into surface water drainage systems as these are solely for draining rainfall run off.
  - For food services establishments, Scottish Water recommends a suitably sized grease trap is fitted within the food preparation areas, so the

development complies with Standard 3.7 a) of the Building Standards Technical Handbook and for best management and housekeeping practices to be followed which prevent food waste, fat oil and grease from being disposed into sinks and drains.

- The Waste (Scotland) Regulations which require all non-rural food businesses, producing more than 50kg of food waste per week, to segregate that waste for separate collection. The regulations also ban the use of food waste disposal units that dispose of food waste to the public sewer. Further information can be found at www.resourceefficientscotland.com

I trust the above is acceptable however if you require any further information regarding this matter please contact me on **0800 389 0379** or via the e-mail address below or at planningconsultations@scottishwater.co.uk.

Yours sincerely,

Angela Allison
Development Services Analyst
PlanningConsultations@scottishwater.co.uk

Scottish Water Disclaimer:

"It is important to note that the information on any such plan provided on Scottish Water's infrastructure, is for indicative purposes only and its accuracy cannot be relied upon. When the exact location and the nature of the infrastructure on the plan is a material requirement then you should undertake an appropriate site investigation to confirm its actual position in the ground and to determine if it is suitable for its intended purpose. By using the plan you agree that Scottish Water will not be liable for any loss, damage or costs caused by relying upon it or from carrying out any such site investigation."

Development Management

From: BOB BUCHAN [redacted]
Sent: 09 March 2022 11:53
To: Development Management
Subject: Objection to Planning Application 22/00174/FLL

CAUTION: This email originated from an external organisation. Do not follow guidance, click links, or open attachments unless you have verified the sender and know the content is safe.

Dear Sir/Madam,

I must object to Planning Application 22/00174/FLL.

Calfford Brae which would be used to gain access to the planned houses, is used by local children, on their way to catch transport to school. The Brae is also used by many walkers and cyclists from Duncrievie and Glenfarg. The road is extremely narrow (single track), with no pavement and although passing places are included in the application, these do not detract from the extreme hazards to all pedestrians due to the inevitable increased traffic. It is also worth noting that the road is now used by a plethora of delivery vans, delivering to Duncrievie and the surrounding area thereby increasing the danger to all!

I am also extremely concerned that the local flora and fauna will be greatly impacted. The woodland and surrounding area is well known for red squirrels and an abundance of bats. Both are endangered and protected so any further development could have grave consequences.

Duncrievie, Glenfarg and the surrounding area is a wonderful and safe place to live. Let's not take it for granted!!

Yours Sincerely,

Robert Buchan,
[redacted]

From: Cameron Gaudin <[redacted]
Sent: 09 March 2022 17:01
To: Development Management <DevelopmentManagement@pkc.gov.uk>
Subject: Objection to Planning Application Ref:22/00174/FLL

CAUTION: This email originated from an external organisation. Do not follow guidance, click links, or open attachments unless you have verified the sender and know the content is safe.

CAMERON GAUDIN
[redacted]

Hello there

Hope you are all well.

I am disappointed again to have to make an objection to the planning application referenced above made by Duncrievie House.
I had to make a similar objection one or two years ago which resulted in the application being withdrawn , so I am slightly annoyed that I now have to make another !!
As stated in my last objection the only access to the main road is via Calfford Brae which is perilous and dangerous at all times . This is a single track road with **ABSOLUTELY no passing places** which has resulted on many occasions of cars and vans having to reverse blindly on the main road , which at some point **will lead to a fatality.**Unfortunately blind reversal onto the main road is really the only option unless the other driver is prepared to reverse all the way up Callford Brae which will just not happen .If the housing number is increased as in the planning application above , this will result in a many more vehicles requiring access to the main road and therefore a much more congested Callford Brae and a a result a much higher likelihood of a serious accident.
Someone had suggested putting passing places on the Brae , this is just not achievable and will be identified on inspection , proper and safe passing places on the Brae is just not possible.
The only solution to this issue is to purchase the fields on either side of the Brae and construct a dual carriageway.
The vehicle safety issue on Callford Brae is not the only issue , you also have the pedestrian safety issue , as the Brae is used by many villagers when out walking , and especially in the winter months , the Brae is a dangerous environment for vehicles and pedestrians to be in close proximity , and I have witnessed many near misses over the years.
I am aware that there will be many environmental issues that will cause objection to this planning application but this objection is based purely on public safety.

--

Regards Cameron

From: O Fraser Clark [redacted]
Sent: 09 March 2022 15:29
To: Development Management <DevelopmentManagement@pkc.gov.uk>
Subject: Planning Application for Development - Land 50 metres East of St Madoes Church, St Madoes

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Dear Sir / Madam, Planning and Development,

From: Fiona Whitaker <[redacted]
Sent: 10 March 2022 10:33
To: Development Management <DevelopmentManagement@pkc.gov.uk>
Subject: Development at Duncrievie House. Planning Application Ref. 22/00174/FLL

CAUTION: This email originated from an external organisation. Do not follow guidance, click links, or open attachments unless you have verified the sender and know the content is safe.

> I am writing to object to the erection of 2dwellinghouses, a garage and associated works, on land 70 metres East of Coach House, Duncrievie, Glanfarg.
It will mean cutting down trees and disturbance to the roots of other trees. Trees provide screening for other properties, and removal of trees cause loss of habitat for native wildlife in particular red squirrels.
As I have pointed out previously, Calfford Brae is a particularly dangerous road, and adding more traffic to this road is very irresponsible.

There is no mention of extra passing places, and there are no places to put them.

Mrs Fiona Whitaker
[redacted]

Development Management

From: Steve Whiting [redacted]
Sent: 09 March 2022 10:26
To: Development Management
Subject: FW: Objection to Planning Application ref; 22/00174/FLL

CAUTION: This email originated from an external organisation. Do not follow guidance, click links, or open attachments unless you have verified the sender and know the content is safe.

Ref: 22/00174/ FLL

Dear Sir/Madam,

I refer to the above planning application and wish to register my objection to the proposal, for the following reasons;

The proposed new developments will lead straight onto Calfford Brae, a narrow and dangerous lane that links Duncrievie to the main road (B996) and all journeys north (towards Perth) or south (towards Kinross).
This road forms part of the Glenfarg paths network and as such is utilised regularly by walkers (myself and my wife included), cyclists and horse riders alike. It has no pavements , lighting or passing places and in many respects is unfit for purpose now. To increase its traffic load (inevitable with this proposal), would render the road even more unsafe and endanger further the lane's non vehicular users.
Even with the construction of a couple of passing places, the lane will still become increasingly dangerous for the majority of its length.

The Brae is also a vital link for anyone from Duncrievie wishing to access the bus services to Perth and Kinross. The bus stop stands on the B996, adjacent to the base of the Brae. It is an essential lifeline therefore to schoolchildren and residents alike. Increased traffic will only exacerbate further the dangers of reversing and passing vehicles, particularly when it is dark. Clearly public safety (particularly with regards to unaccompanied children) will be compromised , were this proposal to be granted.

I am also greatly concerned by the probable environmental impact of the proposed developments. Presumably mature trees will have to be removed, with the additional likelihood of damage being caused to existing tree roots. The habitats of much fauna will also be affected adversely, red squirrels, bats, birds for example.

These are all real and serious issues and it is for these reasons I am objecting to the proposed development in the strongest terms.

Yours faithfully

Stephen H. Whiting

[redacted]

Mrs Francis Davidson

[redacted]

28/02/2022

Planning application reference no – 22/00174/FLL

I am writing to object to planning application Reference 22/00174/FLL for the following reasons which are detailed below;

- **Threat to protected wildlife regarding Red Squirrels** - A few years ago a similar planning application was submitted by the applicant for a development project that did not follow formal planning procedures. I was not informed in writing of the proposals and trees were felled. This was after the Council was advised by the applicant that it would not affect the wildlife in any way, however it clearly did! We have protected red squirrels in both gardens which disappeared after this initial tree felling. The red squirrels used to occupy and run up and down the trees at the side of my house. They have only recently returned to their habitat in the trees. I can provide date verified photo and video footage to prove they are inhabiting the trees. I, like others, am concerned and worried their habitat will be disrupted and destroyed due to this proposed building work and tree destruction. I understand that consideration must be given to red squirrels in planning or development applications likely to affect their habitat. I believe this is a material fact that should be investigated and considered. I also wish to ask the council to place tree preservation orders on said trees with immediate effect to protect this endangered species habitat for the future and to stop tree felling over future years by the owner of Duncrievie House. There are also bats in the surrounding woodland and would ask that the inevitable effect on their habitat is also investigated and considered.

- **Loss of privacy to my garden and property** - The applicant has provided me with a letter stating this would not be the case, I totally disagree and this Is not true. After studying the plans and proposed location and disruption to the tree canopy, privacy will be lost for my house and grounds and this will affect my enjoyment and wellbeing. Seasonal conditions mean that, right now, in winter there are no leaves on the trees and I can see into the applicants front garden but not to their house or private gardens. The proposed building works will mean the applicant can and will see into my house and private grounds. This intrusion of privacy will be increased at 1st floor level as this new property will be built so close to my wall boundary. It is clear from the plans that the principal bedroom on the first floor will have a direct view from the windows into my grounds. It's important for you to know that my overwhelming reason for moving here 4 years ago was due to my desire to have privacy, I have a particularly stressful job and as such seek peace and sanctuary at my property. With the current positions of the buildings at Duncrievie House the landscape and tree canopy provides me with this peace. I spend 90% of my time in the kitchen and breakfast room. Several large windows

overlook that part of my garden and boundary. It would, without doubt invade my privacy and cause me to lose enjoyment in my day to day living whilst I'm at home.

- **Decreased property value** -The applicant has made written comment that "building a new property closer to my house would add monetary value to any future sale value to my property". I found this to be a spurious statement and highly doubt it is true. I have not seen any evidence to support this claim. On the contrary, I believe it is reasonable to assume that I would lose value on any future sale of my property due to a deterioration in privacy as a result of the proposed building works and locality of the new property. This will be a detriment to what is a major selling point for my current property as it stands. I believe any future purchaser of my property may be put off purchasing it due to the the near locality of the new building, loss of privacy and increased noise. The current tranquil and secluded position will be impacted if the proposed building works commence and as such the sale value of my property will be negatively impacted.

- **Increased noise levels** – I will experience increase noise levels from the proposed property. The current property which the applicant and his family occupy is well over a hundred yards away and there is very little noise disruption as a result. The proposed new property will be significantly closer, and as such my day-to-day enjoyment of my property will be ruined due to increased noise levels.

- **Road congestion on Calford Brae** - I note it states there will be more passing places created on Calford Brae as a result of this application. I have several concerns with this.

- It is not clear where these passing places will be.
- It is unclear what land will be used to provide this, and how it is proposed they will adhere to traffic regulations.
- I have not seen any proposals which will allay my fears over road safety from the recent proposal. Calford Brea has many walkers and increased traffic will only compromise pedestrian safety.
- The gradient of the road means cars and vans without 4-wheel drive become stranded at certain times of the year due to snow and ice. It is not clear if there has been any consideration given to this.
- It is unclear how these proposed measures will improve road safety and ease of access to my house and Duncrievie due the increased traffic that will be exist as more dwellings are built. I am concerned that it can only reduce road safety in the neighbourhood.

- **Change of Property usage** – I have not seen any proposals about usage plans for Duncrievie House that are being proposed. I therefore do not know whether the grounds of the current dwelling are being allotted and land title being assigned so each property. I am unclear on whether all properties have private dwelling and clear boundaries. In addition, there has been a new large wooden outhouse building erected on the Calford Brae side of Duncrievie House in the last year or so. I would like to see details of the planning application and grant of permission for that building.

[redacted]

[redacted]

I look forward to receiving the answers to my questions and concerns.

Kind regards

Francis Davidson

Development Management

From: David Arnold <[redacted]
Sent: 11 March 2022 17:08
To: Development Management
Subject: Planning Application 22/00174/FLL -Objection

CAUTION: This email originated from an external organisation. Do not follow guidance, click links, or open attachments unless you have verified the sender and know the content is safe.

Dear Sir/Madam

I wish to **object** to the proposal to build 2 houses in the grounds of Duncrievie House (Application 22/00174/FLL) for the following reasons:

1. Increase in Traffic/Road Safety

Callford Brae is narrow with the stretch between Duncrievie cottage and the B996 being very steep. There are no footpaths; street lighting or passing places.

Over the years the Brae has become a surprisingly busy cut through - being used by cars, delivery vans and lorries, horse boxes, school minibuses and farm tractors pulling trailers (especially at harvest time). In addition it is regularly used by walkers, dog owners and by pedestrians going to/from the bus stop located on Main Street at the bottom of the Brae. Pedestrians have to squeeze on to the narrow verges if a vehicle passes. This is particularly dangerous when it is big tractor or lorry.

I have seen large articulated lorries using the Brae (despite the warning signs) and I have seen vehicles backing out on to the B996 to make way for tractors coming down the Brae. It is only a matter of time before there is a serious accident.

Additional houses in Duncrievie will undoubtedly result in an increase in traffic up and down the brae - which in turn will result in a further deterioration in road safety.

Before PKC permits any further development in Duncrievie I would strongly suggest it addresses the matter of road safety on Calfford Brae. It needs to be made safer for all users.

I note the applicant is proposing to install 2 passing places on the Brae but no details are given. It is unclear whether he has the permission of the owner(s) of the verges and adjacent land nor whether the passing places will meet the current regulations/guidance with regard to size. On the drawing the passing places look far too small and even two cars would have trouble passing safely.

2. Loss of Trees and Habitat

The loss of so many mature trees together with the loss of habitat for a variety of animals, birds etc (including red squirrels and bats) is of great concern. I note that a number of mature trees have already been cut down.

3. Water Supply to Duncrievie

The water supply to Duncrievie comes up from Main Street via Calfford Brae. I understand the supply pipe is made of asbestos cement and was installed some 60 years ago. Its age means it is now prone to more frequent breaks and leaks - indeed only this week we had TWO major leaks (Tue 8 and Thur 10 March) and one minor water leak (Mon 7

March) all on Calfford Brae. On the Tuesday and Thursday the village had no water most of the day - from around 8:30 am until teatime. The disruption to the village water supply is becoming intolerable and may well increase should heavy construction plant start moving in and out of Duncrievie House. I would suggest this matter needs to be discussed further with Scottish water - notwithstanding their standard "we have no objections " response to you of 25 February.

I urge you to deny permission for this development.

Yours faithfully,

David Arnold

[redacted]

Kirsty Swankie

[redacted]

DATE 10th March 2022

Planning application reference no – 22/00174/FLL **22/00174/FLL and is called Land 70 Metres East of Coach House Duncrievie Glenfarg**

I am writing to object to planning application Reference 22/00174/FLL for the following reasons which are detailed below;

1. [redacted] visit Bennachie on a regular basis. We live in a built up city area, and visit [redacted] to enjoy the beautiful peaceful rural setting including the destruction of the tree canopy and disruption to the red squirrels. The noise level will increase greatly.

[redacted]

3. We often go for walks when at Bennachie [redacted] this is highly beneficial. Another concern of mine is the increase in the volume of traffic on Calford Brae which would.

Kind Regards

Kirsty Swankie

Mrs Evelyn Brockbank (Objects)

Comment submitted date: Sat 12 Mar 2022

I am concerned with the already heavy use of Calfford Brae by high numbers of delivery vans etc. I collect grandchildren from the school bus beside the entrance to Duncrievie House and some days it is like Piccadilly Circus with speeding delivery vans. I'm also concerned with water mains regularly leaking/failing on Calfford Brae. We had 3 days last week alone without water due to a burst main ! I don't think this pipe will put up with any further traffic - struggling as it clearly does already. I am strongly against the felling of trees as an environmental issue - impact on wildlife. We are all trying to do our bit for nature and the environment. Even with the so called 'passing places' on Calfford Brae I doubt that 2 wider vehicles could safely pass. It is a narrow single track road which has a dangerous drop off on one side.

Development Management

From: Dan Parker [redacted]
Sent: 13 March 2022 21:11
To: Development Management
Subject: OBJECTION: 22/00174/FLL

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Dear Sir/Madam

I am wishing to object to the above planning application on the below grounds:

- Calfford Brae is single track main access used daily by walkers, cyclists and runners (including myself) - there are no pavements or lighting so any further increase in traffic is a danger to both people travelling by foot or by vehicle; even with the addition of passing places
- I have relatives in a neighbouring property who I visit regularly - this development would severely intrude on their privacy (and others) as it would overlook their property
- Riders frequently take their horses out due to the quietness of the area - again, additional traffic would be a serious risk to the health of the riders, horses and the vehicle users
- The proposed properties would significantly and unnecessarily overlook those in [redacted]
- Needless to say the significant noise/disturbance generated from not only the building works but the new occupants of the properties will disrupt the neighbouring properties
- The proposed properties do not in any way keep in line with the exisiting surrounding properties
- The road access in the area is not fit for use as it is so I fail to comprehend how any additional heavy traffic, HGVs and building works will be safe for existing residents and other people entering the area

Please feel free to contact me if you require any further information

Kind Regards

Dan Parker

[redacted]

Sent from Mail for Windows

Sent from Mail for Windows

Mr Alex Swanson (Objects)

Comment submitted date: Sun 13 Mar 2022

Road Safety Concerns: This development will increase traffic significantly on the U67 (Calford Brae). This is the only access for pedestrians coming from the public bus stop on the B996 to Duncrievie. There is no pavement and very little space for pedestrians and cars to pass each other safely.

Loss of trees: The proposed development will remove several mature trees. These trees are used by red squirrels for feeding and nesting.

Development Management

From: Janice Winter [redacted]
Sent: 13 March 2022 14:33
To: Development Management
Subject: OBJECTION TO PLANNING APPLICATION 22/00174/FLL

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Subject: OBJECTION TO PLANNING APPLICATION REFERENCE 22/00174/FLL

Dear Sir/Madam

I am an [redacted] on neighbouring land to the above application and I wish to Object to the proposal on the following grounds.

1) Traffic generation/Road safety

I object to the application as the addition of these family homes will increase the volume of traffic on the only access road to Duncrievie House and surrounding area.
Having lived in my current home [redacted] I am very aware that over the past [redacted] years the number of new houses and subsequently the volume of traffic has already increased dramatically in Duncrievie and the surrounding area, with the main access road being the single-track road called Calfford Brae. Calfford Brae has no pavements, no lighting and very poor visibility from both top and bottom of the Brae. Due to the visibility issue cars, vans, tractors with trailers, trucks frequently meet on the Brae with one having to reverse either up or down to allow the other to pass. This is really dangerous particularly when reversing at the bottom where there is a sheer drop into a field and burn, or even worse having to reverse onto the main road with no ability to see oncoming traffic. I know as I have had to do this!
Pedestrians and cyclists also use the Brae as the main link to the main road to our Bus stop and to Glenfarg, if a vehicle is on the Brae a pedestrian or cyclist has no choice but to move up onto the verge at the side. This is totally unsafe, and the addition of this development would only make this situation worse. There are also several local people who exercise their horses around this area, any increase in traffic would have a negative impact on the safety of the horses and riders.
I understand there is a proposal to add in passing places. Having looked at the area in question and knowing the Brae I do not feel this would address the situation or improve the public safety situation at all.

2) Overlooking/Loss of Privacy

I object to the application for this development as it will totally overlook several neighbouring properties completely invading their privacy.
This is due to the fact that one of the houses planned is very close to the boundary of Duncrievie house, and as a result, will be overlooking [redacted].
The other property planned along with parking will be between Duncrievie house and the end of the drive currently being used. This area is presently woodland (and has been for years)and this would result in the removal of at least 8 of the trees totally opening the area up, for the house to be built. Since the removal

of several trees last year, we can already see Duncrievie House (we couldn't before this), therefore as this building would be closer to us and more trees removed, we would undoubtably be overlooked and this would adversely affect the privacy we have at present.

3) Noise and Disturbance

I object to the application for development as the addition of these houses will greatly increase the volume of noise and disturbance for neighbouring properties. Due to the woodland previously providing a barrier very little noise used to be heard from Duncrievie house area. Since the removal of the trees last year the noise levels have already increased greatly. Additional properties will further increase noise levels and further tree removal will only allow any noise to travel easier and be a disturbance to all neighbouring properties. This and a recent application on neighbouring land to us is already affecting our mental health and we would find any increase in noise and disturbance levels intolerable.
Many of the neighbours are retired and choose to live here or have moved here due to the peace and tranquility this area provides. Of the neighbours who are employed I know some work shifts and had sleep patterns impacted due to the felling of trees at Duncrievie House previously in 2020/21. Any noise and disturbance from further tree felling or building work would be detrimental to their health.
The building of this development would result in ongoing noise and disturbance for occupants of neighbouring properties, many of whom have lived here for 30, 40 years or more.

4) Environmental

I object to the application for development due to the further impact this will have on the woodland and wildlife in the area. I am aware that the previous tree felling has already resulted in many red squirrels, bats and hedgehogs (I know have lived there for many years) having to move on. They have returned over recent months and I am concerned that any further tree felling and building work will obviously have an adverse impact on our wildlife in the woodland which I totally object to. This woodland and the wildlife within have been a large part of this area for years - 70/80 maybe more, it is cruel and totally unacceptable to think that this could all be taken away from us, if this is approved.

5) Loss of visual amenity
All neighbouring properties will suffer severe loss of visual amenity due to many of the reasons noted above.

6) Water and Drainage
Scottish Water advise in their communication that there is no capacity to connect to the public drainage network. The application also states that the proposal makes no provision for sustainable drainage of surface water and a SUDS plan should be included or this may breach Environmental legislation.
A plan is attached - however the plan is incorrect and not for this development.

I totally object to this application and ask that Perth and Kinross Council reject it.

Regards

Janice S Winter

[redacted]

Development Management

From: [redacted]
Sent: 13 March 2022 15:23
To: Development Management
Subject: Objection - planning application 22/00174/FLL

CAUTION: This email originated from an external organisation. Do not follow guidance, click links, or open attachments unless you have verified the sender and know the content is safe.

Dear Sir/Madam

We wish to object to the above planning application 22/00174/FLL and our reasons are as stated below.

Once again we have not been officially notified of a planning application relating to Duncrievie House and affecting Calfford Brae in particular. Our house looks onto the entrance of Duncrievie House and we live on [redacted] so any alterations or development in the vicinity of the brae will have an impact on us.

Calfford Brae:
With regard to road safety the brae is extremely narrow and steep with no pavement or street lighting. It is used by vehicles and pedestrians.....it is the route to the local bus stop. During the harvest season large tractors and trailers regularly use this route daily from very early morning to late evening. The applicant mentions creating another two passing places but provides no specific details. This is just a a sticking plaster to try and fix what is actually an ongoing serious issue as the brae in its current state is no longer fit for purpose! The third passing place is actually a gateway entrance into a field and may not always be available.

Water Supply
While the application is only for two dwellings, one is extremely large and combined with the proposed development by G.S. Brown for 5/6 houses and the proposed development by the applicant of the old Mill this is going to be a substantial increase of demand on an ageing water system. Only this week we have suffered three significant interruptions to the mains water supply on Calfford Brae. It should be noted that proposed passing places will be located directly above the the mains water supply pipeline.

Wildlife
Yet more mature trees are to be cut down impacting on the habitat of the bats, red squirrels and birds. The construction work will cause further damage to the undergrowth.

We have concerns about the future of Duncrievie House and also for Duncrievie, which is a small rural hamlet in danger of losing its identity through overdevelopment.

Yours faithfully
Paul and Alison Woodward

[redacted]

Comments to the Development Quality Manager on a Planning Application

Planning Application ref.	22/00174/FLL	**Comments provided by**	Lucy Sumner
Service/Section	Strategy & Policy	**Contact Details**	**Development Contributions Officer:** Lucy Sumner Email: [redacted]
Description of Proposal	Erection of 2 dwellinghouses, a garage and associated works		
Address of site	Land 70 Metres East Of Coach House Duncrievie Glenfarg		
Comments on the proposal	**NB: Should the planning application be successful and such permission not be implemented within the time scale allowed and the applicant subsequently requests to renew the original permission a reassessment may be carried out in relation to the Council's policies and mitigation rates pertaining at the time.** THE FOLLOWING REPORT, SHOULD THE APPLICATION BE SUCCESSFUL IN GAINING PLANNING APPROVAL, MAY FORM THE BASIS OF A SECTION 75 PLANNING AGREEMENT WHICH MUST BE AGREED AND SIGNED PRIOR TO THE COUNCIL ISSUING A PLANNING CONSENT NOTICE. **Primary Education** With reference to the above planning application the Council Developer Contributions Supplementary Guidance requires a financial contribution towards increased primary school capacity in areas where a primary school capacity constraint has been identified. A capacity constraint is defined as where a primary school is operating at over 80% and is likely to be operating following completion of the proposed development, extant planning permissions and Local Development Plan allocations, at or above 100% of total capacity. This proposal is within the catchment of Arngask Primary School. Education & Children's Services have no capacity concerns in this catchment area at this time. **Transport Infrastructure** With reference to the above planning application the Council Transport Infrastructure Developer Contributions Supplementary Guidance requires a financial contribution towards the cost of delivering the transport infrastructure improvements which are required for the release of all development sites in and around Perth. The site is located in the 'Reduced' Transport Infrastructure contributions zone (Appendix 3 of the Supplementary Guidance)		

Recommended planning condition(s)	**Summary of Requirements** Education: £0 Transport Infrastructure: 2 x £2,742 **Total: £5,484** **Phasing** It is advised that the preferred method of payment would be upfront of release of planning permission. Due to the scale of the contribution requirement, it may be appropriate to enter into a S.75 Legal Agreement. If S.75 entered into the phasing of financial contributions will be based on occupation of open market units with payments made 10 days prior to occupation. Payment for each open market unit will be £2,742.
Recommended informative(s) for applicant	**Payment** **Before remitting funds the applicant should satisfy themselves that the payment of the Development Contributions is the only outstanding matter relating to the issuing of the Planning Decision Notice.** **Methods of Payment** On no account should cash or cheques be remitted. **Scheduled within a legal agreement** This will normally take the course of a Section 75 Agreement where either there is a requirement for Affordable Housing on site which will necessitate a Section 75 Agreement being put in place and into which a Development Contribution payment schedule can be incorporated, and/or the amount of Development Contribution is such that an upfront payment may be considered prohibitive. The signed Agreement must be in place prior to the issuing of the Planning Decision Notice. **NB:** The applicant is cautioned that the costs of preparing a Section 75 agreement from the applicant's own Legal Agents may in some instances be in excess of the total amount of contributions required. As well as their own legal agents fees, Applicants will be liable for payment of the Council's legal fees and outlays in connection with the preparation of the Section 75 Agreement. The applicant is therefore encouraged to contact their own Legal Agent who will liaise with the Council's Legal Service to advise on this issue. **Other methods of payment** Providing that there is no requirement to enter into a Section 75 Legal Agreement, eg: for the provision of Affordable Housing on or off site and or other Planning matters, as advised by the Planning Service the developer/applicant may opt to contribute the full amount prior to the release of the Planning Decision Notice.

	Bank Transfers All Bank Transfers should use the following account details; **Sort Code:** 834700 **Account Number:** 11571138 Please quote the planning application reference. The Council operate an electronic direct debit system whereby payments may be made over the phone. To make such a payment please call 01738 475300 in the first instance. When calling please remember to have to hand: a) Your card details. b) Whether it is a Debit or Credit card. c) The full amount due. d) The planning application to which the payment relates. e) If you are the applicant or paying on behalf of the applicant. f) Your e-mail address so that a receipt may be issued directly. Transport Infrastructure For Transport infrastructure contributions please quote the following ledger code: 1-30-0060-0003-859136 **Indexation** All contributions agreed through a Section 75 Legal Agreement will be linked to the RICS Building Cost Information Service building Index. **Accounting Procedures** Contributions from individual sites will be accountable through separate accounts and a public record will be kept to identify how each contribution is spent. Contributions will be recorded by the applicant's name, the site address and planning application reference number to ensure the individual commuted sums can be accounted for.
Date comments returned	14 March 2022

Sarah Jane Maclaren

[redacted]

DATE 14 March 2022

Planning application reference no – 22/00174/FLL

I am writing to object to planning application Reference 22/00174/FLL for the following reasons which are detailed below;

1. Loss of Privacy whilst at Bennachie- [redacted] at this property for relaxations with family and friend s , [redacted] , it was for this very reason the privacy of the house and location of the property to which was ideal for [redacted] for a multitude of reasons, to which is her ideal home for this very reason , however I feel this will very much be taken away given the proposal of the planning application .

2. Increased noise levels- As it stand s just now very quiet peaceful location , idyllic and a wonderful setting to enjoy without the noise of persons carrying out their day to day tasks , at present this goes un noticed even in the height of the summer due to the distance between the property's , not sure this will be the case with the proposal .

3. Destruction of tree canopy and disruption to red squirrels- Being in the country setting is precious and the wild life when sitting out is just beautiful and fascinating all year round , my little boy loves the setting watching the squirrels when they make an appearance , again such works will clearly make this something of the past .

4. Loss of family enjoyment to rural setting- As I have said above this is the most beautiful setting and one that you don't come across often with all the above , I spend at lot of time at this property visiting and enjoying the tranquil surroundings and nature it currently present s , I fear the above will be lost , on another note I fear the congestion of traffic from the road end may be greater and currently I have had a few near misses - weather dependant on being able to stop due to lack of pulling in places on the way up or way down , again I think this would also give a huge cause of concern .

Kind Regards

Jane Maclaren

Miss Lisa Morris
[redacted]

DATE 14th March 2022

Planning application reference no – 22/00174/FLL - Land 70 Metres Each of Coach House Duncrievie Glenfarg

I am writing to object to planning application Reference 22/00174/FLL for the following reasons which are detailed below;

1. Loss of Privacy whilst at Bennachie – I spend a lot of my personal time at Bennachie which aids in rest and relaxation and most importantly an escape from a busy hectic lifestyle. The scenery is stunning, and this property is such a peaceful retreat. The proposed development would simply ruin the peaceful outlook and I would constantly feel as though someone was 'watching' with the proposed building being so close and overlooking the grounds, this is not relaxing and an invasion of privacy.

2. Increased noise levels – Bennachie is such a rural spot and hearing the only noise of birds and wildlife is what is important to me, it is an escape that is essential to my wellbeing. If the building were to be built in the proposed position, this would result in undesirable noise of the family living day to day with the building being so close to Bennachie. As the current building is over 100 yards away this aids with minimal noise disruption.

3. Destruction of tree canopy and disruption to red squirrels – The red squirrels have been in decline for decades now and it is unfortunately uncommon to see such a wonderful creature, they are in constant threat already and with a building being potentially built so close to their already endangered habitat would result in a great loss. The reason red squirrels are an endangered species is due the loss of their woodland habitat. The proposed development in my opinion is too close to the one this they love the most, being in the trees and having the freedom of being away from human intervention. The tree canopy would also eventually be ruined, the outlook from Bennachie is unspoilt and would be a tremendous loss to the property and surrounding areas, if trees were to be removed. Trees have such a crucial role to our environment, trees that are cut down release carbon dioxide into the air which contributes to climate change. This would then have a knock of effect with many species of birds, also being put at risk.

4. Increased traffic in local areas – Increased traffic in and around the surrounding areas would be detrimental to a perfectly rural community with the additional proposed housing. Calford Brae is the preferred walkway for many of its residents and visitors and therefore increased

traffic can only contribute to the compromise of pedestrian safety along with more animals homes affected.

Mr Jack Peter Price

[redacted]

DATE 12th March 2022

Planning application reference no – 22/00174/FLL

I am writing to object to planning application Reference 22/00174/FLL for the following reasons which are detailed below;

1. **Loss of Privacy whilst at Bennachie**
   As a frequent visitor and family member we often have gatherings which would be affected by this. Also we value our privacy at the property [redacted]

2. **Increased noise levels**
   Also as a home worker I will be using the address to work and need complete silence as I am engaging in [redacted], this also links into the privacy [redacted].

3. **Destruction of tree canopy and disruption to red squirrels**
   I would like to take into account the decreasing amount of red squirrels in the area yet alone the UK. These have recently returned to their habitat and the destruction of this would be terrible.

4. **Loss of family enjoyment to rural setting**
   [redacted] I love being able to visit my family in a remote relaxing environment. This would disrupt my time with family in such a beautiful place. The development would completely ruin the dynamic of the area and also as mentioned above destroy useful habitat to protected animals.

From: [redacted]
Sent: 10 March 2022 17:47
To: Development Management <DevelopmentManagement@pkc.gov.uk>
Subject: Objection to planning application - 22/00174/FLL

CAUTION: This email originated from an external organisation. Do not follow guidance, click links, or open attachments unless you have verified the sender and know the content is safe.

Dear Sirs

I am objecting to proposed planning development for 'Land 70 Metres East of Coach House Duncrievie Glenfarg REF 22/00174/FLL

I have attached my objection document.

Kind regards

Paul Price

Mr Paul Price

[redacted]

Date 10th March 2022

Planning application reference no – 22/00174/FLL – Land 70 Metres Each of Coach House Duncrievie Glenfarg

I am writing to object to planning application Reference 22/00174/FLL for the following reasons which are detailed below;

I reside at Bennachie, Duncrievie PH2 9PD

1. Loss of Privacy whilst at [redacted] – I spend several weeks at [redacted] and greatly enjoy the private and tranquil location. The views from the gardens of [redacted] are a thing of beauty and peace. The proposed development will destroy this for me. Having looked at the development planning proposals my privacy whilst at the house (where I spend most of my time) and the gardens will be lost and my privacy invaded, my enjoyment of the property and its gardens will disappear.

2. Increased noise levels – The current occupied property (Duncrievie House) is set back over 100 yards away from [redacted] and as such current noise levels are minimal. The proposed new development is much, much closer and as such noise levels will increase caused by day to day living of the occupants , this will cause increased noise pollution for me.

3. Destruction of tree canopy, disruption to red squirrels and bats – It's wonderful to see these rare and beautiful native red Squirrels which I don't see when I'm in England! I believe the proposed development will damage this protected animals habitat and along with tree felling will mean they and their habitat will disappear. I have also seen bats in the evening during summer time who feed and reside along the same tree canopy. Their habitat will also be lost due to loss of trees and human habitation in this part of the grounds. This will be such a disaster.

4. Increased traffic in local area – I go for several walks around the local roads and I wish to object to increased traffic caused by the proposed development that will occur due to additional housing and residents. This will compromise road safety, especially along Calford Brae where there is very limited passing places and a steep gradient where vehicles get regularly 'stuck' at certain times of the year.

In addition ,I would like to see what planning permission was applied for and granted for a very large permanent wooden out building that has been erected within the grounds of Duncrieveie House (it is to the left of the property if you were to go up the driveway to the house) What is the purpose of this building and what will happen to Duncrievie House, what is its proposed future usage?

Kind regards

Paul Price

Development Management

From: [redacted]
Sent: 14 March 2022 12:17
To: Development Management
Subject: Objection - Planning Application Reference 22/00174/FLL

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Objection - Planning Application Reference 22/00174/FLL

I object to this planning proposal on the following grounds:

Increased Vehicle Traffic – Callford Brae provides pedestrian access to the bus stop on the main road and any further traffic generated by a new development increases the risk of injury to pedestrians and cyclists as this lane has no lighting or footpath. The proposed 'passing places' appear to be too small to address the issue of cars and vans trying to pass safely on the Brae.
Environmental Considerations – No environmental/ecological survey has been submitted with the plans. There is an active bat colony roosting less than 30 metres from the proposed development and during the summer months bats can be observed using the woodland in the grounds of Duncrievie House to forage. An independent environmental/ecological survey should be conducted at a time when the bats are active (summer at dusk) prior to any planning decision. There are also red squirrels active in the same area of trees. Any further felling of trees will put both the bats and red squirrels at extreme risk.
Infrastructure Damage – increased traffic levels on Callford Brae and construction traffic will potentially cause further damage to the water main. This main has broken as recently as 8 March 2022 resulting in an interruption to water supply for a period of 3 days.
Wellbeing of Duncrievie Residents – The development of this site for housing will detract from the general character of Duncrievie by increasing traffic, noise and impacting the environment by reducing the size of an area of mature woodland. This will negatively impact the quality of life for all residents.

Ian Spencer, [redacted]

Development Management

From: Jan Esparon [redacted]
Sent: 15 March 2022 15:03
To: Development Management
Subject: 22/00174/FLL Planning application comment

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'additional comment same household'

Dear Planning,

I would like to object to this planning application on the following grounds.

1. It is not in an area designated for houses in the Perth and Kinross Local development plan.

2. It will increase the risk of an accident on Calford Brae, already a dangerous single track road.

3. It will decrease the green amenity in the area by cutting down trees to build the houses.

Thanks and best wishes,

Dr Jan ESparon

[redacted]

Mr Tim Esparon (Objects)

Comment submitted date: Tue 15 Mar 2022

1. The development is not included in the Perth and Kinross Local development plan and thus contrary to it.
2. The development is a piecemeal development to build up the area for more housing as per the previous plan in the same location.
3. The increase traffic in the area on the single track Calford Brae has not been mitigated

Development Management

From: Janice Winter <[redacted]
Sent: 15 March 2022 12:54
To: Development Management
Subject: Objection to planning application 22/00174/FLL

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'Additional Comment from same household'

Subject: Planning application 22/00174/FLL

Dear Sir/Madam

I object to this planning application for the reasons below:-

Road safety & Increase in traffic

Calfford brae is very narrow, steep, has no lighting, no pavements and has very limited visibility. This proposal will undoubtably increase the volume of traffic and as a result increase the danger to pedestrians, cyclists, horse riders etc, who use the Brae regularly. I see that passing places are proposed, in my opinion this has not been properly assessed, as the width of the brae and the verge is not wide enough for 2 vehicles to pass safely. I certainly wouldn't feel safe using them!

Overlooking/ Loss of privacy

This proposal will totally overlook several neighbouring properties, completely invading their privacy. Tree felling which has already taken place, has already had an impact on properties close to Duncrievie House .

Noise & Disturbance

The proposal of further properties at Duncrievie House will increase the volume of noise for neighbouring properties, disturbing the peace and tranquility of the area. Duncrievie is known for being a quiet little hamlet...the reason many people have moved here. Many of the residents have lived here for more than 30/40 years - some people all of their life. I find it totally unacceptable and am outraged that developer's feel that they can build on any bit of land within and surrounding this area, without giving a thought for residents who live here.

Water/Sewage/Drainage

The SUDS plans included do not relate to this development. In addition the water supply system appears to

be under too much pressure to supply existing properties as it is. We have had 3 instances this past week where the water main has burst leaving us without water from early morning until evening!

Environmental

Following the previous tree felling the many red squirrels, bats, hedgehogs etc moved away for a time. They have returned and can be seen again in the trees around Duncrievie House. Any further building works and tree felling will again severly affect this wildlife.

Yours faithfully

Kenneth Geoffrey Winter

[redacted]

M e m o r a n d u m

To Development Management & Building Standards Service Manager

From Regulatory Services Manager

Your ref 22/00174/FLL

Date 16 March 2022

Our ref OLW
Tel No [redacted]

Communities

Pullar House, 35 Kinnoull Street, Perth PH1 5GD

Consultation on an Application for Planning Permission
PKC 22/00174/FLL RE: Erection of 2 dwellinghouses, a garage and associated works Land 70 Metres East Of Coach House Duncrievie Glenfarg for Mr And Mrs Ben And Jacqueline Burgess

I refer to your letter dated 23 February 2022 in connection with the above application and have the following comments to make.

Environmental Health

Recommendation

I have no objections to the application but recommend the undernoted informative be included on any given consent.

Comments

This application is for the erection of two dwellinghouses which will include the provision of a two woodburning stove.

Air Quality

Perth and Kinross Council have a duty to assess biomass boilers for capacity within the range of 50kW to 20MW in terms of nitrogen dioxide and particulate matter based on their effect on air quality in the area. This will not be necessary with the domestic sized stoves in this case and therefore I have no adverse comments to make with regards to air quality.

Odour

Another matter pertaining to the stoves which could cause an issue has the potential for smoke or odour disamenity. This Service has seen an increase in complaints with regards to smoke and odour due to the installation of biomass appliances. This can be caused due to poor installation and maintenance of the biomass appliances and also inadequate dispersion of emissions due to the inappropriate location and height of a flue with regards to surrounding buildings.

I note from the submitted plans that both stoves will terminate via a chimney, which will aid in dispersion of emissions. I would advise that smoke/odour could be further minimised through the use of fuel recommended by the stove manufacturer.

In light of the above, the residential amenity at neighbouring dwellinghouses should not be adversely affected by smoke/odour.

I would therefore have no objections to this development provided that the following informative is attached to the consent.

Informative

The approved stove system shall be installed and thereafter operated and maintained in accordance with the manufacturer's recommendations, such that smoke odours are not exhausted into or escape into any neighbouring dwellings. Failure to do so may result in an investigation and possible action by Environmental Health under the Environmental Protection Act 1990.

[redacted]

Development Management

From: [redacted]
Sent: 16 March 2022 17:17
To: Development Management
Subject: 22/00174/FLL | Erection of 2 dwellinghouses, a garage and associated works | Land 70 Metres East Of Coach House Duncrievie Glenfarg

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"additional Comment from same household"

I object to this planning proposal on the following grounds:

Increased Vehicle Traffic – Callford Brae provides pedestrian access to the bus stop on the main road and any further traffic generated by a new development increases the risk of injury to pedestrians and cyclists as this lane that has no lighting or footpath. The proposed 'passing places' appear to be too small to address the issue of cars and vans trying to pass safely on the Brae.
Environmental Considerations – No environmental/ecological survey has been submitted with the plans. There is an active bat colony roosting less than 30 metres from the proposed development and during the summer months bats can be observed using the woodland in the grounds of Duncrievie House to forage. An independent environmental/ecological survey should be conducted at a time when the bats are active (summer at dusk) prior to any planning decision. There are also red squirrels active in the same area of trees. Any further felling of trees will put both the bats and red squirrels at extreme risk.
Infrastructure Damage – increased traffic levels on Callford Brae and construction traffic will potentially cause further damage to the water main. This main has broken as recently as 8 March 2022 resulting in an interruption to water supply for a period of 3 days.
Wellbeing of Duncrievie Residents – The development of this site for housing will detract from the general character of Duncrievie by increasing traffic, noise and impacting the environment by reducing the size of an area of mature woodland. This will negatively impact the quality of life for all residents.

Sharon Spencer, [redacted]

KINROSS-SHIRE CIVIC TRUST

Helping protect, conserve and develop a better built and natural environment

President – Professor David Munro MBE. Chairman – Mr Alistair Smith.
Secretary – Mrs Eileen Thomas. Treasurer – Mr Ken Miles.
[redacted]

Planning and Development Management
Perth and Kinross Council
By email to: developmentmanagement@pkc.gov.uk

16 March 2022

Dear Sir/Madam

22/00174/FLL Erection of 2 dwelling houses, a garage and associated works, land 70m East of Coach House, Duncrievie, Glenfarg

Kinross-shire Civic Trust objects to the above application which it considers to be contrary to at least the following policies in the Perth and Kinross Local Development Plan 2 (adopted 2019):

- Policy 19 (Housing in the Countryside) and its Supplementary Guidance;
- Policy 1 (Placemaking);
- Policy 40 (Forestry, Woodland and Trees);
- Policy 41 (Biodiversity)

The Proposed Development

The hierarchy of the development is all wrong. Realigning the drive to accommodate a large building which will have a more dominant presence on the site than Duncrievie House will detract from the character of the existing house.

The breaking up of the design of Housetype A (Plot 1) into three parts (a flat roof link between a single and a two-storey) does not hide the fact that the footprint of Plot 1 dwarfs the main house.

The smaller plot (Plot 2) is too close to Duncrievie House and detracts from its setting. It would be better on the other side of the drive closer to the site entrance, in the manner of gate lodge to preserve the setting of Duncrievie House.

The character of an informal driveway to a principal estate house will be adversely affected by allowing bin lorries etc to enter, turn and leave. The drive would require to be to the standard of the Roads Department which would result in more of a formal roadway appearance, again detracting from the character of Duncrievie House.

Historic Ordnance Survey maps indicate that there has been woodland on this site for well over 100 years. The landscape enclosure afforded by the trees is fundamental to the existing character and setting of Duncrievie House and should not be endangered.

Housing in the Countryside Policy and Placemaking

The site is not within a defined settlement boundary so must be considered under the LDP's Housing in the Countryside Policy. As set out under the Supplementary Guidance (adopted March 2020), new housing may be built in the existing garden of a country or estate house under Category 3 'New Houses in the Open Countryside' if the category's siting criteria are met and the "additional development will not fundamentally affect the qualities and integrity of the site".

As our assessment of the development on page 1 of this letter makes clear, the proposal does not "blend sympathetically with land form" or "make a positive contribution to the surrounding landscape", which are two of the siting criteria, and it would fundamentally affect the qualities and integrity of the site.

In addition to complying with the specific criteria for the category of Housing in the Countryside the proposal falls under (Category 3 in this case), all proposals must meet all of the criteria listed on pages 4-5 in the Housing in the Countryside Supplementary Guidance.

The proposal fails to meet criteria (i), (ii) and (iii) of 'A Successful and Sustainable Place':

- *"Proposals should comply with Policy 1: Placemaking and the guiding principles contained in the Council's Placemaking Guide"*

  LDP Policy 1A (Placemaking) requires developments to "contribute positively to the quality of the surrounding built and natural environment". Policy 1A also requires that "the design, density and siting of the development should respect the character and amenity of the place". The development will have an adverse effect on the character, setting and importance of Duncrievie House within the estate. The proposal fails to comply with Policy 1A. For similar reasons the proposal also fails to comply with Policy 1B parts b and c.

- *"Proposals should not encourage unsustainable travel patterns. Proposals in less sustainable locations will only be permitted where the benefits outweigh the disbenefits, for example the provision of essential farm worker housing or bringing an empty traditional building back into use".*

  The only realistic form of transport for this location is the motor car.

- *"The scale, layout and design of the proposal must be appropriate to, and have a good fit with, the landscape character of the area in which it is located. It must demonstrate a specific design approach that not only integrates the development within its setting but but also enhances the surrounding environment." etc.*

  The positioning, design, scale and massing of the new houses will adversely affect Duncrievie House's stature and setting and will not enhance the surrounding environment.

The proposal also fails to meet criteria (i) and (ii) of 'A Natural, Resilient Place':

- *"It is the Council's policy to halt the loss of biodiversity. Proposals must demonstrate how they will make a positive contribution to the biodiversity of the site." etc.*

- *"Proposals which might impact on protected sites, or where protected habitats or species (for example, bats, barn owls, house martins, swallows, or swifts) might be present, will require the submission of a survey as part of the planning application to show their location. Proposals should include appropriate measures to avoid loss or disturbance to species. Failure to undertake a survey may mean the proposal contravenes the Wildlife and Countryside Act 1981 (as amended) and*

> *European Directives, and may lead to refusal of the application. Failure to undertake the relevant survey at the appropriate time of year may delay the planning application."*

See more on this under our headings 'Trees and Woodland' and 'Biodiversity' below.

Trees and Woodland

Policy 40B (Trees, Woodland and Development) of the LDP says: "Tree surveys, undertaken by a suitably qualified professional, should accompany all applications for planning permission where there are existing trees on a site. The scope and nature of such surveys will reflect the known or potential amenity, nature conservation and/or recreational value of the trees in question and should be agreed in advance with the Council."

No Tree Survey has been provided with this application. There is only a 'Proposed Tree Removal Plan' which indicates that eight trees will be felled. We also note comments by local residents which indicate that tree felling took place in 2020 apparently outwith any planning consent.

Policy 40B also says: "In exceptional cases where the loss of individual trees or woodland cover is unavoidable, the Council will require mitigation measures to be provided." It has not been demonstrated why this case is exceptional.

The proposal does not accord with Policy 40A (Forest and Woodland Strategy) part (b) as it does not "protect existing trees/woodland …. especially those with high natural, historic and cultural heritage value".

Biodiversity and Protected Species

No Environmental Survey has been provided with this application.

Scottish Planning Policy 2014 para 214 says:

> *"The presence (or potential presence) of a legally protected species is an important consideration in decisions on planning applications. If there is evidence to suggest that a protected species is present on site or may be affected by a proposed development, steps must be taken to establish their presence. The level of protection afforded by legislation must be factored into the planning and design of the development and any impacts must be fully considered prior to the determination of the application. Certain activities – for example those involving European Protected Species as specified in the Conservation (Natural Habitats, &c.) Regulations 1994 and wild birds, protected animals and plants under the Wildlife and Countryside Act 1981 – may only be undertaken under licence. Following the introduction of the Wildlife and Natural Environment (Scotland) Act 2011, Scottish Natural Heritage is now responsible for the majority of wildlife licensing in Scotland."*

Policy 41 of the Local Development Plan says:

> *"The Council will seek to protect and enhance all wildlife and wildlife habitats, whether formally designated/protected or not, taking into account the ecosystems and natural processes in the area."*

Policy 41 goes on to say that planning permission will not be granted for development that would be likely to have an adverse effect upon European Protected Species.

We note from the representations from neighbours that bats (a European Protected Species) are observed in summer feeding on insects in the wooded areas of the Duncrievie House grounds. Red squirrels (Protected under Schedule 5 of the Wildlife and Countryside Act 1981) are regularly

seen by neighbours and local residents also report evidence of hedgehogs (Protected under Schedule 6 of the Wildlife and Countryside Act 1981).

As well as the species mentioned above, the woodland in the grounds of Duncrievie House will provide food sources and habitats for insects, moths, butterflies and birds.

Nature Scot advice is that if a proposal could potentially impact on red squirrels, a survey should be carried out by persons with appropriate knowledge of red squirrel ecology and practical experience of red squirrel survey work.

Detailed bat surveys need to take place to determine the effects of the proposal on this European Protected Species. Nature Scot states that bat surveys should be done by persons with the appropriate knowledge of bat ecology and practical experience of bat survey work.

We emphasise that part of Scottish Planning Policy 2014 para 214 that says "any impacts [on a European Protected Species] **must be fully considered prior to the determination of the application**".

Any requirement for detailed surveys **must not be made via suspensive conditions** as stated in the Chief Planner's letter of 16 May 2006 to local authorities.

Conclusion

The proposal will have an adverse impact on the setting of Duncrievie House, the character of the area, woodland and biodiversity. It contravenes several policies in the LDP and we trust it will be refused.

Yours faithfully

Kinross-shire Civic Trust

cc Kinross-shire Ward Councillors

Louvain Pentley

From: Kerri Winter [redacted]
Sent: 18 March 2022 04:59
To: Development Management
Subject: OBJECTION - 22/00174/FLL

CAUTION: This email originated from an external organisation. Do not follow guidance, click links, or open attachments unless you have verified the sender and know the content is safe.

OBJECTION -

Erection of 2 dwellinghouses, a garage and associated works - 22/00174/FLL

Dear Sir/Madam,

I object to the above planning application on several grounds.

[redacted] Although I no longer reside at this address, I am a frequent visitor [redacted] I am becoming increasingly distressed at the thought of this residential development.

Duncrievie has always been a tranquil place to stay. From the privacy and safety, to the beautiful wildlife. After hearing of all of these recent planning applications, along with those from GS Brown, I believe this will have a significant negative effect on Duncrievie and it's residents.

Calford Brae is the 'main road' in and out of Duncrievie, with it already unsafe and narrow for the volume of traffic, cyclists and pedestrians, I believe further adding to this would result in it becoming a 'death trap'. Even with the 'proposed' passing places that have somewhat been agreed with PKC, this road is completely unsuitable for any passing places to be added. It will impact the safety of residents and also nearby wildlife greatly. I, myself have witnessed one to many near misses on this road - in all weathers I may add. From the top and bottom of the Brae there are blind spots, which result in pedestrians having to swiftly move on to the verge to miss the oncoming traffic or even worse, vehicles having to reverse either back up or down the Brae on to a main road. Children use this road all year, rain or shine, as the main bus stop is situated at the bottom of Calford Brae. Myself, I am extremely worried about the influx of new traffic and building works. Due to the fact [redacted] and regularly take them for walks or out on their bikes along these roads. Adding even more traffic to this already busy road will severely disrupt the residents and make it unsafe for everyone, including the wildlife. [redacted] regularly exercises her horses on this stretch of road and it's a busy route for runners, cyclists and dog walkers.

Secondly, my family have chosen to reside in Duncrievie due to the fact that they have privacy and ultimately, feel safe. Building these new homes will drastically decrease the privacy, to not only [redacted] but all of the surrounding neighbours. After looking at the proposed plans, these houses will significantly overshadow those in [redacted]. It will also have a substantial negative effect on our neighbours in [redacted] and [redacted]. Am I correct when I say, I believe there is a minimum required distance to maintain a reasonable amount of privacy? If so, from looking at the proposed plans, this has not been obeyed.

Living in this area my whole life, safety has never been an issue. Duncrievie is a small village, encased with residents, like ourselves who have lived here most of their lives. The recent news of more houses, puts a significant decrease

on our welfare, in more ways than one.

I would also like to identify if you deem the road to and entrance in to Duncrievie House safe for the proposed inundation of traffic and building works? Also, will these works further disrupt us gaining access to our properties? The private road by the side of the entrance to Duncrievie House, should only be used for access to The Coach House and Mill Cottage. Can you guarantee that this will remain clear for us to gain access to our properties?

The noise and disturbance from the traffic generation, from not only the building works but the new families that will be residing in these houses, will significantly disrupt neighbouring properties along with making this area extremely hazardous.

In short, the road access in my opinion is unsafe for use as is and is severely unsuitable. Never mind adding more traffic, HGV's and building works. Privacy and safety is also huge concern, along with nature conservation. I am also objecting on grounds of loss of visual amenity, loss of amenity, increased parking and obstructions and not keeping in with surrounding properties.

If you require any further information, please do not hesitate to contact me.

Regards,

Kerri-Louise Winter

[redacted]

Comments to the Development Quality Manager on a Planning Application

Planning Application ref.	22/00174/FLL	**Comments provided by**	Marianna Porter
Service/Section	Conservation	**Contact Details**	[redacted]
Description of Proposal	Erection of 2 dwellinghouses, a garage and associated works		
Address of site	**Land 70 Metres East Of Coach House Duncrievie Glenfarg**		
Comments on the proposal	I have no comments or concerns regarding the impact of the proposed development on the setting of the listed building.		
Recommended planning condition(s)			
Recommended informative(s) for applicant			
Date comments returned	21.03.2022		

Mr Liam Fenner

[redacted]

24th March 2022

Planning application reference no – 22/00174/FLL

I am writing to object to planning application Reference 22/00174/FLL as per the reasons highlighted below:

Privacy loss at [redacted]

Whilst visiting [redacted] we spend a large period of time in the kitchen/ diner located at the rear of the property as well as the garden space. As this currently stands there is complete privacy to enjoy the space whilst not being overlooked. With the addition of the proposed new properties this much loved and needed privacy would be sadly lost and would hinder the enjoyment my family, Francis and I share whilst visiting [redacted].

Increase of road congestion through Calford Brae

Calford Brae is currently a quite and remote lane which is why it is much loved by walkers, dog owners and young families. Unfortunately an increase in the number of properties will only lead to increased vehicle traffic through the lane, this increase in traffic would greatly increase the risk of road traffic collisions and would make myself and my family feel vulnerable and unsafe whilst partaking in currently enjoyable, quite and safe walks.

Tree Canopy destruction & disruption to red squirrels

When in the rear garden of [redacted] there is a beautiful tree canopy to the left where [redacted] and I often remark around the wildlife that occupies these trees. Red squirrels are part of this wildlife and to see destruction to their habitat would be devastating as such animals are now a rarity in the UK and would only contribute towards the dwindling numbers of those that remain.

I look forward to your response

Kind regards

Liam Fenner

[redacted]

From: Dale Paterson [redacted]
Sent: 24 March 2022 09:49
To: Development Management <DevelopmentManagement@pkc.gov.uk>
Subject: Duncrievie House - housing application

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Dear Perth & Kinross planning department.

As a regular visitor to Duncrievie house I would like to support the application.

I see a lot of 'copy and paste' objections to this application and frankly hope PKC see through this!

This application is a great improvement on the original pre app 19/00553/Pre app and 4 house application 20/01686/IPL. The current application I can see has been thoroughly and fully reviewed and reconsidered resulting

the reduced application for two new dwelling houses, meeting the current policy and still giving great plot sizing and fits well into the local landscape.

Scottish Water are happy there is capacity, and I see a carefully designed treatment scheme.

Transport are happy and the improvements have been carefully considered including a revised entrance to improve visibility and line of site. The proposed passing places will be a benefit to all those that use the road too. All properties on this road can travel 2 ways either down Calfford brae or up to the village of Duncrievie and I would question why anyone in the village needs to go down Calfford Brae! There are 2 ways to Glenfarg, Milnathort or Kinross. If residents are not comfortable with the road don't use it.

The applicant will also be contributing £5484 to the transport infrastructure purse which benefits all road users throughout Perth & Kinross.

Overall I see a great scheme.

Kind regards

Dale

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Miss Emily Victoria Price

[redacted]

23rd March 2022

Planning application reference no – 22/00174/FLL

I am writing to object to planning application Reference 22/00174/FLL for the following reasons which are detailed below;

1. Loss of family enjoyment to rural setting:

   Myself and my partner often travel up to Scotland to spend valuable family time with [redacted] I appreciate the calm and quiet setting of [redacted] because it allows us to switch off from our fast paced lifestyle. I feel that any change to the surroundings of [redacted] would negatively impact my enjoyment of the rural and peaceful setting.

2. Increased noise levels:

   As we are remote workers, I often bring our work with up whist staying at [redacted], engaging in various meetings and appointments with clients etc. As the proposed property will be closer it is likely there would be an increase in noise around [redacted]. Not only would this cause unneeded interruptions to my work but also in my family and relaxation time.

3. Loss of privacy whilst at [redacted]:

   I often enjoy time in the garden, discussing work and creating new memories with my young family. I value our privacy that I currently have because of the tree canopy and I would not feel comfortable relaxing in the garden if I were overlooked or had another property close by.

4. Destruction of tree canopy and disruption to red squirrels

   I always admire the red squirrels bouncing around the tree canopy in the garden and due to the decreasing number of native squirrels in the UK I feel that removing the trees would subsequently destroy the home of these red squirrels. I feel this would lead to further loss of red squirrels, ultimately contributing to their extinction on the UK.

5. Road congestion on Calford Brae:

   Myself and [redacted] often go on walks together with our dogs and in order to get over the fields we walk along Calford Brae. Due to this planning application, an increase in traffic is to be expected. This makes me concerned that I would feel unsafe having to walk my dog along a busy road. As I often drive up to the house, another concern of mine is that I would not be able to easily access [redacted] which would cause unneeded stress after a long journey.

I look forward to receiving answers to my concerns.

Kind regards,

[redacted]

Emily Victoria Price

Mrs Jacqui Miller

[redacted]

Date 25th March 2022

Planning application reference no – 22/00174/FLL – Land 70 Metres Each of Coach House Duncrievie Glenfarg

I am writing to object to planning application Reference 22/00174/FLL for the following reasons which are detailed below;

My Sister – [redacted] resides at [redacted]

Increased noise levels – The current positioning of the Coach House is set back and causes no issues, However the plans for this proposed development , this will cause increased noise pollution. [redacted]

Destruction of tree canopy, disruption to red squirrels – I believe the proposed development will damage this protected animals habitat. Along with tree felling will mean they and their habitat will disappear. We have also seen bats in the evening during summer time who feed and reside along the same tree canopy. Their habitat will also be lost due to loss of tree canopy.

Loss of Privacy whilst at [redacted] –I visit my sister on a regular basis and greatly enjoy the private and tranquil location. The views from the gardens of [redacted] are beautiful. The proposed development will destroy this for my Sister who moved to this property to enjoy this. My sisters privacy at the house and the gardens will be lost and invaded having looked at the development planning proposals. My sisters enjoyment of the property and its gardens will disappear.

Increased traffic in local area – Myself and my sister often like to go for walks around the local roads. There will be increased traffic caused by the proposed development that will occur due to additional housing and residents. This will compromise road safety, especially along Calford Brae where there is very limited passing places.

Kind regards

Jacqui Miller

Mr Daniel Davis (Supports)

Comment submitted date: Mon 28 Mar 2022

Dear PKC Planning development Officer.

WRITING IN SUPPORT OF 22/00174/FLL Duncrievie House

As a homeowner in Glenfarg and living close by I am very familiar with the area, I have noted this application and would like to write in support of it.

This latest application meets all the policy and requirements of PKC planning from what I can see and is a great improvement on the past application which I notice was withdrawn. I understand the owner is building this for himself and family and it's not a commercial development.
- It is fully in keeping with local architecture
- Good spacious plots (probably bigger than most houses in the village) and therefore not overcrowding the site.
- Careful design retaining all the trees on the boundary, this will keep this site private and more importantly keep the habitat for Red Squirrels (I note the comments about Red Squirrels, these protected animals and territory animals (typically up to 2 per Hectare) the trees on the boundary are what the squirrels would feed from - Red squirrels occupy boreal, coniferous woods in northern Europe and Siberia, preferring Scots pine, Norway spruce and Siberian pine. In western and southern Europe - these trees are intact!) therefore I would suggest the argument for objection due to Red squirrels is questionable. Maybe the applicant could erect some additional Red Squirrel nesting boxes in the woodland surrounding to further increase and encourage the breeding of the Red Squirrel?
- The road, Calford Brae is NOT a main road and anyone knows in the area it does not have to be the road of choice, there are two ways to Glenfarg, I greatly welcome the three promised passing places making the road safer for all road users. The choice can be made to use Calford Brae or use another route. Possible some speed humps if speed is a problem could be a suggestion.

Overall, I see this applicant has integrity and 'improvement' is the heart of the application and I can't see anything they are doing that will jeopardise the character of Duncrievie House itself or the village.

Yours Sincerely,

Daniel Davis

Glenfarg Community Council (Objects)

Comment submitted date: Tue 29 Mar 2022

C/O The Secretary Planning and Development
Glenfarg Community Council PKC Pullar House
??th March 2022

GCC Ref: G. Christie Planning Officer GCC - Duncrievie 22/00174/FLL

Dear Sir
Erection of 2 dwellinghouses, a garage and associated works
Land 70 Metres East of Coach House Duncrievie Glenfarg
22/00174/FLL - Burgess
The Glenfarg Community Council became aware of this second application due to the diligence of our Secretary because the original public notification was found to be in the wrong Ward. The Secretary notified PKC Planning immediately, the error was accepted and that it would be corrected. This error should not have occurred nonetheless, the GCC trusts that members of the public who may be affected by the original Public Notification of this particular Planning Application are not in any way disallowed/denied bona fide comment time and we suggest that another public notification should take place to allow an extended comment time given the fact-based error by PKC Planning.

Whilst the GCC understands that the previous Planning Application pertaining to this property was withdrawn, it understands that this new Planning Application in its amended form has been submitted under a different title, why? This particular planning application has been lodged with fewer housing although with an amended entrance, why?
It is our considered view that the fundamental flaws relating to the original application do not detract from the flaws surrounding this new application. In so far that an additional submission had been to offer/recommend the build of passing places on Calfford Brae.
Clearly this secondary proposal as a matter of addressing a safety feature is to be construed as an acceptable formality for the construction of houses. Clearly this is not acceptable given the flaws identified previously, that they remain unaddressed and given time further housing expansion could be agreed should this particular application be given approval.

In addition to the above, our concern has to be one of safety implications in relation to access being gained from Calfford Brae.
The Calfford Brae road is a steep single-track road with no pavement or street lighting. The road is a known local school minibus route, pedestrian route, dog walking route, cycle route and horse-riding route. It is used by school children and adults on foot accessing the bus stop on the A977 travelling to and from either Glenfarg Primary School or Kinross High School. Any increased volume of traffic especially in the winter months imposes risk.
The proposal of passing places for Calfford Brae is poor showing the field gate as a passing place and another at the point of a drain access where there is clearly insufficient space or width. There is no engineering assessment or risk analysis nor

any mention of taking account of the needs of pedestrians etc nor any mention of who owns the land.
At best, Calfford Brae, even with this modified plan, is suitable for light traffic only. At present there is no form of refuge for drivers or pedestrians, cyclists or horse riders and, in addition, the south side of this unclassified road has a significant drop into an adjacent field which may cause significant injury or worse to any person, animal or vehicle should they be unlucky enough to be forced off the side of the road.
Should this development proceed will PKC commit to carrying out a substantial upgrade of the Brae by widening it, installing a footpath, kerbs, street lighting, improved signage and refuge areas?

Without such undertakings the GCC states an objection to this proposed development or any other development which may have entry to or exit from Calfford Brae on the grounds of safety. The GCC supports other public comments that are fundamental flaws inclusive but not wholly exclusive to habitats, loss of privacy, environmental damage, increased strain of public services - water, power, telecommunication systems, drainage where no upgrades are forthcoming.
Yours faithfully
G. Christie
Planning Officer
Glenfarg Community Council

Development Management

From: [redacted]
Sent: 05 April 2022 14:02
To: Development Management
Subject: Objection Update - Planning Application Reference 22/00174/FLL

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I wish to make a further comment to my objection dated 14 March 2022 in response to the ecological survey submitted by the applicant since that date.

The survey states that the grounds provide "opportunity… for foraging, especially for bats" (page 6) but then goes on to say "The NBN Atlas had no records of bats (Chiroptera) within the 10km checked radius from the site" (page 10) but just because they are not recorded does not mean they are not present. I would like to reiterate that there is at least one colony of bats roosting within 30 metres of the grounds of Duncrievie House, I know this as they roost in the end wall of our bungalow. During the summer months large numbers of bats leave their roost and head directly to the grounds of Duncrievie House to forage.

The survey also says "there was no evidence of use by bats at any of the buildings surveyed" (page 10) but bat roosts are very difficult to spot and almost impossible to do so from the ground (with binoculars). We had lived in our property for a year and a half before we realised they were roosting here as they make no noise and cause no damage. It seems highly probably that there are other colonies of bats in the trees or even within the roof of Duncrievie House given that there has been an established colony in the area for many years.

On page 14 of the report, it states "No evidence was found of use by badger, bat or red squirrel" but at the beginning of March this year, from my kitchen window, I saw a red squirrel jumping from tree to tree within the grounds of Duncrievie House. Once again, the survey has proved inaccurate.

To choose the months October and February to carry out a survey for bats could be construed as being timed deliberately to avoid finding them, as any meaningful survey should be carried out at dusk during the summer months when bats are active. I believe that a proper more thorough environmental survey must be conducted prior to any planning decision being made.

Ian Spencer, [redacted]

Development Management

From: [redacted]
Sent: 05 April 2022 12:51
To: Development Management
Subject: 22/00174/FLL | Erection of 2 dwellinghouses, a garage and associated works | Duncrievie House Duncrievie Glenfarg Perth PH2 9PD
Attachments: Bat (002).JPG

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I would like to add further comments to my original objection in the light of the new documents, in particular the ecological survey which has been provided.

This is the second survey submitted by this applicant in the past 2 years. Both are incorrect and I am surprised that documents containing such inaccuracies should be submitted. The latest states *No evidence was found of use by badger, bat or red squirrel.* The Survey further goes on to state *Of the 74 trees inspected during the survey, 33 were considered to have features potentially suitable for bats to roost within. However, this potential was considered to be negligible, and no evidence was found of roosting activity. The woodland fringe will provide suitable foraging habitat for bats (Chiroptera). The NBN Atlas had no records of bats (Chiroptera) within the 10km checked radius from the site.*

We have bats roosting in our roof space [redacted] from Duncrievie House. In the summer months you can see hundreds of bats leave our property and swarm to feed in the trees situated in Duncrievie House grounds. There have been bats here in this space since this was a disused barn. My neighbours can testify that there were bats roosting in a disused barn on this land when they moved in over 30 years ago and the bats returned after our bungalow was built in the 1980s. This needs to be taken into careful consideration when dealing with any planning application in this vicinity.

I am attaching a photo of a bat that came down our chimney in Winter 2020 – we caught it and put it outside and it flew away after the photo was taken. We regularly see red squirrels playing in the trees in Duncrievie House grounds – the most recently sighting of two jumping from tree to tree was last week.

We moved to this house in Duncrievie because it was in a quiet location with what we thought were few opportunities for development. This application would ruin the peace and tranquility of the area and as there is so much new building going on in Kinross, Glenfarg and surrounding areas I do not think there is any requirement for more houses to be built in the grounds of Duncrievie House.

Although the applicant has stated the Brae would be widened for passing traffic this would take immense work and his contribution of almost £6000 will be nothing compared to the final cost if the Brae were to be widened sufficiently for passing traffic and pedestrians to move safely. There is also the question of water, drainage and other services which are already stretched to breaking point. I cannot see that this would benefit the community in any way and should therefore be dismissed.

Sharon Spencer

[redacted]

Development Management

From: Rutherford Jenny [redacted]
Sent: 09 April 2022 11:06
To: Development Management
Subject: Comment on planning application 22/00174/FLL

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Application 22/00174/FLL

Dear Sir/Madam
In respect of the above planning application, I would like to lodge concerns to the development on conservation grounds and am disappointed that nothing has been done by the applicant to address the raft of local concerns regarding developing this site following a previous application that was withdrawn.

Mature trees are again earmarked for felling, and yet again an ecological survey has been carried out at a time that is entirely unsuitable; during bat hibernation season. This is indeed a good time of year to not see bats.

This is an area fortunate enough to host a prolific bat population and the proposed development requires the removal of significant numbers of mature trees. The area has numerous bats roosting in trees and buildings and there is no reason to believe that they avoid this site in particular. Bats are active in the area and easily seen at dusk outwith their hibernation spell. Bats are a protected species and damage, disruption or obstruction of bat roosting sites carries significant monetary and penal penalties.

Duncrievie also plays its part in the wonderful success story of red squirrels, who have a stronghold in our area – indicated by the sighting of red squirrels near the boundary of the proposed development site and most likely within the boundary. Tragically a deceased squirrel recently discovered on a road nearby, firm confirmation that red squirrels are present in the area and susceptible to modern life. All efforts must be made to retain mature trees that they rely on to thrive and safely transverse the area.

There were known to be a pair of tawny owls heard in the vicinity of the proposed development. Sadly, they have not been heard for a while, and I sincerely hope this is not in any way connected to tree felling taking place on the proposed development site.

But I do hold other concerns.

I also hold safety concerns with regard to the road known as Calfford Brae. Redesigning the entrance to the site in the way that is proposed appears to facilitate easier use - therefore promotion of - using the lower and more dangerous section of Calfford brae as a means of accessing the site. Extra traffic is not to be encouraged on this road due to its narrow and twisty nature - worryingly SatNav directs traffic along this route to Duncrievie. I was encouraged that the applicant was prepared to presumably negotiate developing additional land to install passing places (cited as an additional two in some places on paperwork, three on others) and while better passing places would be welcome, it is unfortunately not a solution to grave safety concerns. The overall width of the road, the requirement to reverse up or down incredibly steep inclines and the lack of pavement are the real safety concerns; for pedestrians in particular - often school children - as this is the road that gives Duncrievie access to the nearest bus-stop.
And finally, before any additional development can take place within the Duncrievie and Drunzie area, much work is required to the basic infrastructure serving local properties. Within a matter of days, there have recently been several occasions of total water loss for the area, often for several hours, due to the failing mains water network.

Kind regards,

Jennifer Wood
[redacted]

P&KC IDM14/4/202208:12:31

[redacted]

VAT Reg. No. 790 1035 51

IAN HOWIE (Joiner)
The Green
Burrelton
Blairgowrie
Perthshire PH13 9NU

RESPONSE TO PLANNING APPLICATION
AT DUNCRIEVIE HOUSE.

22/00174/FLL

INVOICE

Date 12.04.22

I HAVE BEEN MADE AWARE OF AN APPLICATION FOR TWO DWELLING HOUSES WITHIN THE GARDEN OF THE PROPERTY AT DUNCRIEVIE HOUSE, GLENFARG.
I WISH TO REGISTER MY SUPPORT TO THIS APPLICATION ON THE FOLLOWING GROUNDS:

1) HAVING CARRIED OUT EXTENSIVE RENOVATION WORK TO THIS PROPERTY IN NOVEMBER 2016, AND SUBSEQUENT REPLACEMENT OF ALL TIMBER ON ALL FOUR GABLE ENDS, INCLUDING REPLACEMENT AND REPAIR OF ROOF SLATES, I CAN CONFIRM THAT THERE WERE NO BATS SEEN, OR ENTRY POINTS FOR THEM IN THE ATTIC AREA.

2) EACH PLOT OUTLINE IN PRINCIPLE, IS WELL SIZED LEAVING THE CURRENT DUNCRIEVIE HOUSE WITH A LARGE GARDEN, INCLUDING A DOUBLE GARAGE AND STABLE BLOCK.

3) MANY OF THE TREES ARE IN A BAD STATE WITH DEAD BRANCHES AND MOULD GROWTH. HOWEVER THE BOUNDARY TREES AND MANY EVERGREEN WILL BE RETAINED MAINTAINING PRIVACY, AND ALSO HABITAT FOR THE RED SQUIRRELS AND BIRDS. I HAVE WITNESSED RED SQUIRRELS VERY OCCASIONALLY AND THEN ONLY IN SINGLES IN THE TREES ON THE NORTH SIDE NEIGHBOURING LAND.

4) THE ENTRANCE TO THE PROPERTY IS GOOD WITH CLEAR VISIBILITY AND NO OBSTRUCTION EITHER WAY. THE PROPERTY CAN ACCESSED FROM CALFORD BRAE END OR FROM THE DRUNZIE DUNCRIEVIE ROAD, WHICH WORKS WELL.
I HAVE WORKED ON THIS PROPERTY FOR OVER EIGHT WEEKS, DRIVING A PICKUP WITH A TRAILER, AND HAVE NEVER HAD ANY DIFFICULTY WITH ENTRY OR ACCESS.

YOURS SINCERELY, [redacted]

Development Management

From: Robert Garrett <[redacted]
Sent: 13 April 2022 19:14
To: Development Management
Subject: Planning Application: Ref: 22/00174/FLL (Land 70 metres East of Coach House, Duncrievie, Glenfarg)

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Dear Sirs,

Planning Application: Ref: 22/00174/FLL (Land 70 metres East of Coach House, Duncrievie, Glenfarg)

We are writing to lodge our formal objection in respect of the above planning application. This application appears to be a somewhat re-worked version of a previous submission for the same development, however on review it would appear any changes introduced still do not fully address the many concerns raised, all of which will only be further compounded by the already approved '6 plot' GS Brown development immediately adjacent the proposed site. Not only will this new development create yet a further strain on general household services but the increased vehicle movements and already poor road systems will almost certainly put lives at further risk.

With Covid restrictions now substantially lifted the nearby 'A&J Stephen Builders' development of some 40+ properties has recommenced and marketing continues apace. A sales push is also underway with the 16No 'Glenfarg Homes' apartments completed during 2021, however the flats continue to be very slow in generating interest of any sort which doesn't bode well for future sales and raises a query regarding overdevelopment in the area in general. In addition to these ongoing developments the now derelict Glenfarg Hotel is also currently being marketed for redevelopment as an apartment block of up to 12No individual flats/apartments. Indeed the general principal of encouraging flats/apartments in such a a rural location has to be questioned in the first place as these are much more suited to a city, town or urban area.

The Duncrievie area continues to experience numerous power outages and in recent months has suffered a spate of repeated failures on the aging water supply network to such an extent that Scottish Water have been forced to offer everyone in the immediate area a full annual refund for continued and unacceptable disruption of the water supply. The approval of yet further housing developments will only serve to exacerbate these recurring problems in addition to the general infrastructure concerns noted below.

Given the volume of approved house building already planned and/or underway in the immediate area, the well documented issues with existing services and the poor to non-existent public transport availability, this all begs the question does the Duncrievie/Glenfarg area really require yet further house building which will only suffice to place yet more unnecessary strain on the already stretched Utilities, Road Network and Transport Systems?

At this time we have no option but to strongly object to any further development until all concerns raised have been given due consideration by the authorities responsible and a full commitment received from each as to how the general infrastructure will be upgraded to a safe and suitable standard to meet the demands of modern day living and ensure the safety of the public and general householders in the area.

We look forward to your formal response on the above and the following specific points of concern:

(1) Traffic flow on the various roads around Duncrievie and specifically on Calfford Brae has increased significantly over Lockdown with 'home delivery' being the preferred option by an

ever growing section of the population. This proposed development (and the GS Brown development opposite) will serve to increase traffic flow yet further and Calfford Brae in its current state is not fit for purpose to take yet more traffic. The proposed developments will discharge vehicles directly onto Calfford Brae which being a minor unclassified road receives very little upkeep or maintenance and what it does receive amounts to no more than a 'patch and repair' job. The additional weight of traffic from both developments will only serve to accelerate the road degradation increasing the danger for pedestrians and vehicle drivers alike. Can you please advise if a traffic management survey has been undertaken and what work PKC plan to carry out to improve the road and make it suitable for increased vehicle movements and pedestrians?

(2) At very best in its current state Calfford Brae is suitable for light traffic only, however the extreme steepness of the road means cars, vans and even small commercial lorries meeting another vehicle routinely need to reverse back down the Brae and out onto the main B996 road. Apart from being illegal to reverse out of a junction onto a primary road this is a highly dangerous manoeuvre as the drivers can't possibly see if the main road is in fact clear. At present there is no form of safe refuge for pedestrians and in addition the south side of the Brae has a significant drop into the adjacent field which would cause significant injury or worse to anyone in a vehicle should they be unlucky enough to be forced off the side of the road. The introduction of passing places would in all likelihood assist in encouraging yet more vehicles to use the road as a short cut in turn increasing the danger for pedestrians. Should this development proceed will PKC commit to carrying out a full and substantial upgrade of Calfford Brae by widening it substantially, installing a footpath, kerbs, street lighting, improved signage and refuge areas?

(3) The Brae is routinely used by a wide range of pedestrians such as families, dog walkers, individuals going to/from Glenfarg and pedestrians heading for the bus stop on the B996. The issues noted in (1) and (2) above can make this a particularly dangerous road for pedestrians and all the more so if young children are present. Horse riders and dog walkers are equally at risk as drivers coming up the Brae are unsighted as they emerge at the entrance to Duncrievie Stables. I myself have had to jump into the overgrown banking many times to get out of the way of oncoming traffic, however this isn't safe and wouldn't be possible with young children or an animal. In light of the additional traffic the developments will create what plans do PKC have in place to manage the surrounding roads to make them safe and suitable for pedestrians, cyclists, horse riders and other vulnerable road users?

(4) I was advised some years back that there is an underlying problem with the quality and/or capacity of the mains water supply to Duncrievie and the surrounding area. This has been borne out by repeated failures of the supply to the area in recent months. If this and/or the GS Brown development are to proceed then existing householders must receive a clear and unambiguous statement from Scottish Water (via PKC) that the water supply network in the Duncrievie area will be suitably upgraded and renewed to prevent further failures due to an ageing distribution network and confirmation that supplies to all existing properties will not be adversely affected by the extra demand imposed by either or both of the proposed developments.

(5) I have a concern at the impact the additional foul and surface water systems may have on the development site and wider surrounding area beyond. I presume the foul drainage will be dealt with by way of a treatment plant rather than a standard septic tank, however I still await confirmation as to what precautions will be put in place should the plant be out of operation for any period of time. You will be aware the source of the River Eden rises at the foot of Calfford

Brae so the impact of any uncontrolled discharge could be far reaching indeed. Regarding the ground/surface water it is clear the natural soakaway effect of the trees and surrounding areas will be replaced with houses and hard road surfaces. Unless the drainage systems and run-off are properly designed and attenuation of storm water is properly controlled, collected and disposed of there is a possibility any water run-off could create local flooding leading to unsafe roads during heavy rain storms and yet further deterioration of the already poor road surface. I would like to know what measures have been put in place to mitigate any issues with both the foul and surface water drainage and what involvement SEPA and Scottish Water have had in determining an acceptable solution?

(6) Whilst it is accepted this proposed development is on private land it is the last piece of densely forested land in the village. The removal of the tree belt will not only destroy the habitat of many species of animal including varieties of bats which are known to nest there, but will remove much needed wind protection for the surrounding properties, ourselves included. It is abundantly clear we are blessed with various species of bat in the immediate area so can PKC please confirm that a fully qualified SNH registered ecologist has undertaken a full Stage 2 bat survey across the site and surrounding area to determine the extent of the resident bat population and whether this is a breeding maternity roost?

(7) Increased traffic movements from the proposed development (and the GS Brown site) will inevitably raise noise levels in the area and this will be further exacerbated by the removal of most if not all the trees to allow the houses to be built. What 'on-site' surveys have been carried out to accurately assess current noise levels in the area and how is it envisaged the impact of this will be designed out to avoid becoming a problem for the adjacent property owners and the village as a whole?

We trust all the above is clear and self-explanatory and look forward to receiving your considered response in due course.

R&A Garrett

[redacted]

Development Management

From: Graham Norris <[redacted]
Sent: 13 April 2022 17:19
To: Development Management
Subject: Planning application objection Ref. No: 22/00174/FLL

CAUTION: This email originated from an external organisation. Do not follow guidance, click links, or open attachments unless you have verified the sender and know the content is safe.

[redacted]

PLANNING APPLICATION OBJECTION
Duncrievie House Duncrievie Glenfarg Perth PH2 9PD
Ref. No: 22/00174/FLL

Dear sir/madam

Thank you for notification of the planning application on neighbouring land. **I object to this planning application on the following grounds.**

1) The proposal will increase **danger for members of public who use Calfford Brae.**

- This relates particularly to pedestrian safety when using the Brae as the only direct pedestrian access from Duncrievie to public transport (with the bus stop located directly at the foot of the Brae), together with increased dangers for vehicular/passenger safety (including school buses on a daily basis), cycle safety, and leisure walkers using the P&K designated walk and cycle network.
- The application suggests that it has been agreed with P&K to provide passing places. However, to my knowledge, members of our community and our elected representatives have not been consulted about this. Indeed, P&K has refused to share any background information on this proposal, seemingly claiming that it would not be in the public interest to know what has been agreed. It isn't possible to evaluate the proposal for passing places properly because of this secrecy, leading the community to assume that there probably hasn't actually been a risk assessment, an engineering feasibility appraisal, a report of the actual long-term cost to tax payers, or even comment from Scottish Water about passing places being built on the village water supply infrastructure. This is an unacceptable approach to community consultation.
- Whilst, in proposing the passing places based on earlier objections, the application has clearly acknowledged the increased danger to public safety the building project will cause, I regret that the proposed solution will not, in my view, improve pedestrian safety. The traffic increase caused by this development proposal, alongside plans for 5 houses in an adjacent area, is a real danger to pedestrians and one that passing places will not address, and may even exacerbate given the lack of space.

I find this lack of effective and appropriate information for community engagement objectionable. I object to the application because of these public safety issues.

2) The proposal will very likely **damage further the ecological balance within Duncrievie village**.

- The application does not, in my view, provide an accurate analysis of the likely damaging impact of this extensive development on the wildlife of the area, particularly on bats, red squirrels and woodland. The area is a very well-established and long-standing bat and red squirrel habitat. Indeed, the previous owners of Duncrievie

House have been very open about reporting the bat roost in Duncrievie House itself when they lived there. Other neighbours have reported honestly about the squirrels they have seen and in some cases filmed.

- Bats can be seen feeding in the area most evenings during the summer months and red squirrel sightings are frequent (most recently on several occasions already this April). Given the apparent lack of realistic and proper recognition about bats and squirrels in the application and that the ecological appraisal appears to be so distant from the reality experienced by the community, I would object to the planning department's acceptance of it without proper scrutiny. It would be judicious, proper and fair to the applicant and objectors alike to have an independently commissioned objective professional appraisal carried out, over a suitable timescale which takes proper account of seasonal wildlife, and which takes full account of the wealth of first-hand and contemporaneous evidence available in the community.
- The P&K development plan does not appear to include strategic provision for or any previous public consultation for building in this ecologically vital area of Duncrievie.

I object to the application because of the damage it will inflict on this important woodland and wildlife at the heart of the village.

3) **The plans for drainage will have a damaging impact on neighbours and on trees.**

- An independent professional review of the applicants' drainage report, (reviewed by a drainage specialist civil engineer) indicates that, contrary to the appraisal submitted in the application, the proposed drainage infrastructure will very likely inflict serious damage to the root systems of a large number of trees.
- The drainage proposal will almost certainly compromise the performance of the septic tank and soakaway which serves The Coach House, in the view of the independent specialist. It is very likely to saturate the ground surrounding this existing soakaway. This independent review also notes that this area of ground does not appear to have been tested at all, and that the ground test carried out some distance away in the summer of 2020 was conducted after an exceptionally dry month.
- This area of land to the south side of Calfford Brae has a long history of drainage problems due to what has been described as Duncrievie's high water table. I understand that applications for home extensions to at least 2 other local properties close by have been declined due to drainage capacity in this area of the village.
  I object to the application due to likely serious damage it will do to many trees and to the septic tank/soakaway facility of The Coach House.

4) The proposal is likely to have a **direct and detrimental impact on neighbouring properties**.

- The magnitude and close proximity to neighbours of the proposed 2 storey house will likely dominate the surrounding local properties and will invade local residents' privacy. The application does not provide the actual height of this huge building. This seems to be a serious omission of very important information and it is difficult to understand how an informed decision can be made about its suitability/location in its absence.
- It is proposed to locate the 2 storey house on ground that is presently shaded for most of the day for around 6 months of the year, even though the trees have been without leaves throughout these winter months. It is difficult to imagine this as a satisfactory arrangement for its future occupants. If it is, then fair enough, but should they prefer to live on land in sunlight, then the only solution I can think of will be to fell large numbers of trees to the east, south and west in order to access sunlight, thereby removing any screen that these trees provide to neighbouring properties. Perhaps there are other solutions that are not obvious to me. This issue does not appear to have been considered or mentioned at all in the application or, worryingly, in the tree report which suggests that the many trees involved would not be interfered with.

5) The integrity of the **application process has been compromised**, in my view.

- P&Ks decision to publish the applicant's agent's submission (20 Jan, 2021), unredacted, in which the veracity of objections and objectors was apparently challenged, has had a damaging impact on this present phase of consultation. This is of material relevance to this latest iteration of the application. Whilst I acknowledge that, when the issue was raised with the planning dept, the offensive paper was removed from public view, the damage had already been done. The impact has been to undermine this present consultation process because some objectors now feel that their open and honest responses may well lead to what appear to be thinly veiled personal attacks. Some objectors have been very reluctant to express their honest views and perspectives this time as a result. This approach to inconsistent redaction, in my view, falls well below normal expectations of constructive public engagement.

- The publication of the application in the wrong council ward delayed its scrutiny by important local groups, including elected representatives. I acknowledge that P&K did extend the date when this was pointed out to them.
- The incorrect title of the application (Ref. to Coach House not Duncrievie House where the ground actually is) led to confusion in the area as to its location. Whilst this was corrected when pointed out to P&K, it is unacceptable that it was the second time it has happened in the 2 phases of this application process. Previous objectors, other than neighbours, were not notified of this revised application. This mis-labelling of the application caused further confusion amongst this group.This was not helpful in promoting effective public consultation.
- The addition of very important information after most objections had already been posted, and without notification to most of those objectors, is not an appropriate way to conduct open, constructive public consultation, in my view.
- The lack of redaction of comments recently submitted in support of the application, which again appear to seek to undermine objectors' concerns, is yet another example of inconsistent application of normal expectations for redaction.

The cumulative consequence of this pattern of what, in my experience of public service would be considered flaws in a public engagement process, has damaged public confidence in the integrity and objectivity of the process being carried out, in my view. I object to this approach because of the damaging impact its conduct seems to be having locally.

DG Norris. 12/4/2022

Please find my objection below to the planning application Ref: 22/00174/FLL.

I object to the application for the following reasons.

POSITION, HEIGHT, NOISE

The proposed building A, 71580, sits too close to my boundary. The proximity of this new building means that there will likely be an intrusive increase in noise from the building's inhabitants and from its construction.

The two-storey structure has three windows on the white, upper storey which will face directly on to my property. This will invade my privacy significantly, not only because of being overlooked, but also the lack of blending the building with its surroundings, due to its stark colour.

The diagrams of this very large property have detailed measurements but, surprisingly, not for the height of the two-storey structure for which there is no measurement. This is a serious omission. Almost all of the surrounding buildings in Duncrievie village, apart from Duncrievie House itself, are single or one-and-a-half storeys. This building will not be in keeping with almost all of the other houses in this village, in my view.

The garage, also white, is very close to my boundary and its proximity will mean increased vehicular activity adjacent to my property. The height of 5.345m means I will look directly on to it.

There has already been clearing of trees and shrubbery. The ecological survey states that there will be more tree and shrub clearance. Not only will this impact on habitat and feeding ground for smaller birds and mammals, it will further erode the privacy of both myself and my neighbours and give clear view on to the proposed buildings.

DUNCRIEVIE HOUSE

There is no indication of what is going to happen to Duncrievie House. The owner apparently informed a neighbour that its future had not yet been considered. In my view, its future should be properly secured as part of this application. Its retention will mean that 2 very large, tall buildings will be very close to each other. But, in my view, it should not be demolished if that is indeed the plan. Unfortunately, the lack of clarity in the application makes this difficult to assess.

The current plans show that a significant part of what was previously a grass field has been brought into the grounds as a landscaping tool. On the previous planning application for this site, the current boundary was specified, with the adjacent field being used as a foul water drainage area. This is no longer the case, and the grass field is now included in the boundary of the grounds. There appears to be no record of this change of use on the land registry.

The revised drainage plan shows a large shared foul soakaway, adjacent to [redacted] septic tank and soakaway. Having discussed this in detail with a very experienced professional, independent, civil engineer specialising in drainage and sewage systems, it is clear that this will compromise the sewage system as specified in [redacted] deeds.

The application's field soakaway tests were conducted on 4th August 2020. This was following an exceptionally dry period with very little rain in the preceding month. No test was done in the vicinity of the proposed foul soakaway. Having experienced at first hand the problems of disposal of surface water and foul water in Duncrievie throughout very wet periods of weather, this proposal will only add further drainage pressure to the area south of Calfford Brae.

Proposed building B71581 is situated close to the boundary with 'Duncrievie' (which is a listed building to the east of Duncrievie House). There has already been clearing of mature trees on this site and a new, large wooden structure with fixed heating (possibly woodburning but difficult to know because it has not been specified anywhere in the application) has been built but which doesn't seem to exist in any form in this application. From Calfford Brae there is a clear view on to the site of this newly-built structure. With more trees marked to be felled in its proximity, the privacy of the occupants of the neighbouring house (Duncrievie) will be compromised by this location.

ECOLOGY

I am deeply concerned to read the ecological appraisal which concludes '**This habitat has no constraint on development.'** New buildings within the grounds of Duncrievie House will have a significant impact on the resident wildlife, in my view. A number of hardwood trees have already been felled, and more felling is proposed. Other trees are likely to be seriously damaged by the buildings.

It is difficult to match the tree report provided in the application with the trees I look out on to. The felling of tree 61 will make a break in the canopy, as can be seen on the tree map provided in the application. This will break the red squirrel route taken regularly through the canopy. I observe and have filmed this squirrel journey in this habitat often, the most recent sighting being 12/04/2022.

The ecological survey states that the 2 proposed building sites are on amenity grassland habitat. But Plot 2 appears to me to be sited in a woodland area which seems to have had trees felled in readiness and I find it difficult to understand how that can be described as 'amenity grassland'.

If houses are built so close to mature trees there is likely to be damage to existing root systems. Additionally, the new house occupiers are likely to want to cut down trees near to their properties to improve light levels and to prevent tree roots growing under their houses. This will have further damaging impact on the squirrel habitat. The siting of the surface water soakaways is also likely to damage the tree root systems in both locations.

There is an important local bat population which occupies the canopy during the summer months using the woodland for feeding. The bats roost in local buildings, including Duncrievie House itself during the previous owners' tenure. This appears to be in contradiction with the ecological appraisal. The destruction of their habitat, even partial, will damage the bats' prospects. The woodland is also home to a wealth of birds.

Given the difficulty of matching the ecological appraisal provided in this application with my own knowledge of the reality of this woodland and its occupants, I strongly object to the application being approved without an independently nominated, professional ecological appraisal being carried out at an appropriate time of year and which takes informed account of the full set of evidence which the community can provide.

I strongly object to the application for these ecological reasons.

PUBLIC SAFETY

Public safety on Calfford Brae continues to be a concern for pedestrians and vehicles. The continued use by delivery vans, school buses and local cars means there are often meetings on the road. The additional vehicles from this application, combined with an adjacent application for 5 buildings, will compound the problems further, adding many more vehicles and further endangering people walking on the Brae, whether going to catch a bus or walking for leisure purposes.

The application's proposed passing places (as marked on the map) do not appear to correlate with the photographs it provides. Working from the map provided in the application, passing place 1 is a field gate and there is a steep drop off the other side of the road. Passing place 2 is a narrow strip of verge and passing place 3 has a concrete structure with a manhole cover on top. None of these are large enough for two vans or large vehicles to pass safely.

The water pipeline which serves Duncrievie runs under this very same verge. There have been 5 instances of burst pipes in the past few weeks, resulting in no water to the village for a number of hours on each occasion and bottles of water being having to be delivered to villagers. Constructing passing places on this verge would further endanger our already fragile water infrastructure.

Without a footpath, increased traffic on the Brae will increase the danger for pedestrians and their dogs.

I object to this application on the grounds of public safety.

Yours sincerely,
Marguerite Norris

KINROSS-SHIRE CIVIC TRUST

Helping protect, conserve and develop a better built and natural environment

President – Professor David Munro MBE. Chairman – Mr Alistair Smith.
Secretary – Mrs Eileen Thomas. Treasurer – Mr Ken Miles.

Planning and Development Management
Perth and Kinross Council
By email to: developmentmanagement@pkc.gov.uk

15 April 2022

Dear Sir/Madam

22/00174/FLL Erection of 2 dwelling houses, a garage and associated works, land 70m East of Coach House, Duncrievie, Glenfarg – ADDITIONAL COMMENTS

This letter contains additional comments from Kinross-shire Civic Trust regarding the above application. This follows our earlier letter of objection dated 16 March. The comment period was extended following the submission by the applicant of further documents, including a Tree Survey. The Trust does find it puzzling that applications such as this which clearly require a tree survey are validated and publicised by the local authority without such a document.

Ecology

The ecological appraisal report supplied with this application (apparently published on Public Access on 15 March 2022) is almost identical to that supplied with an earlier In Principle application (report dated October 2020 by McAleese & Associates Ltd for planning application 20/01686/IPL). The field survey that both reports refer to took place in October 2020. The updated report dated March 2022 indicates that the follow up in February 2022 was simply "to ensure the baseline within the site had not changed significantly and to update the mapping of the site."

Scottish Planning Policy 2014 para 214 says:

> *"The presence (or potential presence) of a legally protected species is an important consideration in decisions on planning applications. If there is evidence to suggest that a protected species is present on site or may be affected by a proposed development, steps must be taken to establish their presence. The level of protection afforded by legislation must be factored into the planning and design of the development and any impacts must be fully considered prior to the determination of the application. Certain activities – for example those involving European Protected Species as specified in the Conservation (Natural Habitats, &c.) Regulations 1994 and wild birds, protected animals and plants under the Wildlife and Countryside Act 1981 – may only be undertaken under licence. Following the introduction of the Wildlife and Natural Environment (Scotland) Act 2011, Scottish Natural Heritage is now responsible for the majority of wildlife licensing in Scotland."*

Policy 41 of the Local Development Plan says:

> *"The Council will seek to protect and enhance all wildlife and wildlife habitats, whether formally designated/protected or not, taking into account the ecosystems and natural processes in the area."*

Policy 41 goes on to say that planning permission will not be granted for development that would be likely to have an adverse effect upon European Protected Species.

We note from the representations from neighbours that bats (a European Protected Species) are observed in summer feeding on insects in the wooded areas of the Duncrievie House grounds. Red squirrels are regularly seen by neighbours.

The tree species present will provide excellent food sources and habitats for insects, moths, butterflies, birds, bats and squirrels.

The 2022 ecological report says that "Of the 74 trees inspected during the survey, 33 were considered to have features potentially suitable for bats to roost within. However, this potential was considered to be negligible, and no evidence was found of roosting activity." The woodland is clearly a useful site at least for foraging by bats and possibly roosting. More detailed bat surveys need to take place to determine the effects of the proposal on this European Protected Species. Bats use different places to roost at different times of year depending on whether it is a maternity, mating or hibernation roost. Although a preliminary ecological appraisal for bats can be carried out at any time of year, there are particular months for other types of bat survey. The Bat Conservation Trust states that weather or location dependent surveys (such as emergence/re-entry surveys for roosts) are **not acceptable in October in Scotland**, which is when this survey was carried out (though, as noted, it was not a proper roost survey anyway, only a preliminary appraisal).

The value of the woodland as a foraging zone (and orientation feature) for bats should be taken into account, not just the presence or absence of roosts.

Nature Scot states that bat surveys should be done ***by persons with the appropriate knowledge of bat ecology and practical experience of bat survey work.***

The ecological survey carried out was not sufficiently detailed to satisfy Scottish Planning Policy, PKC Policy on Biodiversity and European Protected Species and PKC Housing in the Countryside Supplementary Guidance as it did not consist of bat roost entry/re-entry surveys and may not satisfy the Conservation (Natural Habitats, &c.) Regulations 1994.

Mr McAleese regards the habitat as unsuitable for red squirrel, but Nature Scot (formerly SNH) says: "Red squirrels are found in most woodland habitats, from conifer forests to broadleaf woods and copses." Nature Scot advice is that if a proposal could potentially impact on red squirrels, a survey should be carried out ***by persons with appropriate knowledge of red squirrel ecology and practical experience of red squirrel survey work***.

Applicants are warned via the Housing in the Countryside Supplementary Guidance that "failure to undertake the relevant survey at the appropriate time of year may delay the planning application". We underscore that part of Scottish Planning Policy 2014 para 214 that says "any impacts [on a European Protected Species] **must be <u>fully</u> considered prior to the determination of the application**".

Any requirement for more detailed surveys **must <u>not</u> be made via suspensive conditions** as stated in the Chief Planner's letter of 16 May 2006.

Conclusion

The reports submitted after the consultation period was well underway have not changed the Trust's view that the application should be refused.

Everything that was stated in our letter of 16 March remains valid except our observation that the required tree survey had not been submitted (as it now has, albeit 7 weeks after the application form and drawings). It remains the Trust's view that the landscape enclosure afforded by the trees is fundamental to the existing character and setting of Duncrievie House and should not be endangered. There is insufficient justification for the removal of trees.

As clearly set out in our letter of 16 March, the design and layout of the proposal will have a highly detrimental effect on the setting of Duncrievie House.

The potential effect on wildlife is a serious consideration and the relevant legislation must be adhered to.

The proposal contravenes numerous policies in the Local Development Plan and we trust it will be refused.

Yours faithfully

Kinross-shire Civic Trust

Comments to the Development Quality Manager on a Planning Application

Planning Application ref.	22/00174/FLL	**Comments provided by**	Lachlan MacLean Project Officer – Transport Planning
Service/Section	Transport Planning	**Contact Details**	TransportPlanning@pkc.gov.uk
Description of Proposal	Erection of 2 dwellinghouses, a garage and associated works		
Address of site	Land 70 Metres East Of Coach House, Duncrievie, Glenfarg		
Comments on the proposal	The applicant is proposing to erect 2 dwellinghouses in the grounds of Duncrievie House. Plot 1, House type A will have 5 bedrooms over two floors and garage and Plot 2, House type B will be a 3 bedrooms single storey dwellinghouse. The properties will access the U67 Calfford Brae via a realigned vehicle access, which will give better visibility to the left and right of the current vehicle access in Duncrievie House. A condition is recommended to secure the construction of the new vehicle access in accordance with Perth & Kinross Council's Road Development Guide. The existing access will be closed off. Within the site, the applicant has provided a turning area between the plots and Duncrievie House, which will allow for example delivery vehicles to turn within the site. The applicant has provided sufficient parking for each of the dwellinghouses and is in accordance with the National Roads Development Guide. The Streetlighting Partnership have advised that the current Streetlighting system shall be extended along the U67 Calfford Brae to cover the new vehicle access to the development, a condition is recommended to secure its design and installation. A number of concerns have been raised about the increased use of Calfford Brae and to the address some of these concerns raised, the applicant has proposed to install passing places on the Brae to help alleviate the comments addressed by neighbours. The suitability of the Passing Places has been discussed with the Roads Maintenance Partnership through consultation on this planning application and they have raised a concern about the deliverability of Passing Place 2 and 3 on the plan due to bedrock in the area. However, it may be possible to deliver a passing place in alternative location near the top of the Brae, meaning that motorists would have a place to wait at both the top and bottom of the Brae should there by anyone using the Brae. A condition is recommended for further discussion and design of the passing place on the U67 Calfford Brae. A Construction Management Plan is also recommended for the site, to take cognisance of the comments raised by neighbours about Calfford Brae and to get agreed routes that construction traffic will use to the site.		

	If the applicant is successful in gaining planning consent, they must apply for a Vehicle Access Consent before starting works on its formation. More information on the process can be found on the following website: https://www.pkc.gov.uk/vehicleaccess. Please note, that as planning permission has been applied for, currently no fee is required for the Vehicle Access Consent (VA1 form), please include the planning application number on your VA application form. Insofar as the Roads matters are concerned, I have no objections to this proposal on the following conditions.
Recommended planning condition(s)	Prior to the development hereby approved being completed or brought into use, the vehicular access shall be formed in accordance with Perth & Kinross Council's Road Development Guide Type B Figure 5.6 access detail with radii kerbing, of Type B Road construction detail. The Type B Road construction detail shall continue to the entrance for a minimum distance of 3 metres. Reason - In the interests of road safety; to ensure an acceptable standard of construction within the public road boundary. Prior to commencement of works, a street lighting design for extending the current street lighting system on the U67 Calfford Brae to cover the new vehicle access into the development site at Duncrievie House must be approved by Perth & Kinross Council's Street Lighting Partnership. The Street lighting shall be in accordance with the standards required by the Council as Roads Authority. The street lighting shall be installed prior to use of the new vehicle access into the development site at Duncrievie House. Reason - In the interests of road safety. Prior to commencement of works, a detailed design for the passing places on the U67 Calfford Brae between the vehicle access into the development site at Duncrievie House and the B996, shall be submitted to and approved in writing by the Planning Authority in consultation with the Roads Authority. The passing places, as approved in writing, shall be implemented in accordance with the approved details to the satisfaction of the Council as Planning Authority and undertaken prior to the commencement of construction associated with this planning application (22/00174/FLL). Reason - In the interests of road safety; to ensure an acceptable standard of construction within the public road boundary.

	Prior to the development hereby approved being completed or brought into use, the access shall be constructed so that no surface water or surfacing aggregate is discharged onto the public road. Reason - In the interests of road safety; to ensure an acceptable standard of construction within the public road boundary. Prior to the commencement of the development hereby approved, the applicant shall submit for the further written agreement of the Council as Planning Authority, in consultation with the Roads Authority (Structures), a Construction Traffic Management Scheme (TMS) taking cognisance of the concerns raised about the U67 Calfford Brae, which shall include the following: (a) restriction of construction traffic to approved routes and the measures to be put in place to avoid other routes being used; (b) timing of construction traffic to minimise impact on local communities particularly at school start and finishing times, on days when refuse collection is undertaken, on Sundays and during local events; (c) arrangements to ensure that access for emergency service vehicles are not impeded; and (d) details of HGV movements to and from the site. The TMS as approved shall be strictly adhered to during the entire site construction programme. Reason - In the interest of proper site management
Recommended informative(s) for applicant	The applicant is advised that, in terms of Sections 56 of the Roads (Scotland) Act 1984, he/she/they must obtain from the Council, as Roads Authority, consent to open an existing road or footway prior to the commencement of works. Information on junction types, requirements for Vehicular Access consents (VA1) and application forms are available at www.pkc.gov.uk/vehicleaccess. Advice on the disposal of surface water should be sought at the initial stages of design from Scottish Water and the Scottish Environmental Protection Agency. The applicant is advised to contact the Street Lighting Partnership to obtain the locations of plant. Contact Perth & Kinross Council Street Lighting Department for further details.
Date comments returned	22 April 2022