

TCP/11/16(623) – 19/01253/FLL – Alterations and extension to dwellinghouse, 41 Coltward Holding, Campmuir, Blairgowrie

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TCP/11/16(623) – 19/01253/FLL – Alterations and extension to dwellinghouse, 41 Coltward Holding, Campmuir, Blairgowrie

**PAPERS SUBMITTED
BY THE
APPLICANT**

09 DEC 2019

NOTICE OF REVIEW

RECEIVED
UNDER SECTION 43A(2) OF THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED) IN
RESPECT OF DECISIONS ON LOCAL DEVELOPMENTSTHE TOWN AND COUNTRY PLANNING (SCHEMES OF DELEGATION AND LOCAL REVIEW PROCEDURE)
(SCOTLAND) REGULATIONS 2013

THE TOWN AND COUNTRY PLANNING (APPEALS) (SCOTLAND) REGULATIONS 2008

**IMPORTANT: Please read and follow the guidance notes provided when completing this form.
Failure to supply all the relevant information could invalidate your notice of review.**

Use BLOCK CAPITALS if completing in manuscript

Applicant(s)

Name MR & MRS ALLAN BURT

Address 41, COLTWARD,
CAMPMUIR,
COUPAR ANGUS,
PERTSHIRE
Postcode PH13 9LNContact Telephone 1 [REDACTED]
Contact Telephone 2 [REDACTED]
Fax No [REDACTED]

E-mail* [REDACTED]

Agent (if any)

Name [REDACTED]

Address [REDACTED]
Postcode [REDACTED]Contact Telephone 1 [REDACTED]
Contact Telephone 2 [REDACTED]
Fax No [REDACTED]

E-mail* [REDACTED]

Mark this box to confirm all contact should be
through this representative: ☐

* Do you agree to correspondence regarding your review being sent by e-mail?

Yes ☒ No ☐

Planning authority

PERTH AND KINROSS COUNCIL

Planning authority's application reference number

19/01253/FLL

Site address

41, COLTWARD, CAMPMUIR, COUPAR ANGUS,
PERTSHIRE PH13 9LNDescription of proposed
development

UPPER FLOOR EXTENSION TO HOUSE

Date of application

6th AUGUST 2019

Date of decision (if any)

18th SEPTEMBER 2019**Note.** This notice must be served on the planning authority within three months of the date of the decision
notice or from the date of expiry of the period allowed for determining the application.

Nature of application

- | | |
|--|-------------------------------------|
| 1. Application for planning permission (including householder application) | <input checked="" type="checkbox"/> |
| 2. Application for planning permission in principle | <input type="checkbox"/> |
| 3. Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission; and/or modification, variation or removal of a planning condition) | <input type="checkbox"/> |
| 4. Application for approval of matters specified in conditions | <input type="checkbox"/> |

Reasons for seeking review

- | | |
|---|-------------------------------------|
| 1. Refusal of application by appointed officer | <input checked="" type="checkbox"/> |
| 2. Failure by appointed officer to determine the application within the period allowed for determination of the application | <input type="checkbox"/> |
| 3. Conditions imposed on consent by appointed officer | <input type="checkbox"/> |

Review procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures.

- | | |
|---|-------------------------------------|
| 1. Further written submissions | <input type="checkbox"/> |
| 2. One or more hearing sessions | <input type="checkbox"/> |
| 3. Site inspection | <input checked="" type="checkbox"/> |
| 4. Assessment of review documents only, with no further procedure | <input checked="" type="checkbox"/> |

If you have marked box 1 or 2, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing are necessary:

Site inspection

In the event that the Local Review Body decides to inspect the review site, in your opinion:

- | | Yes | No |
|--|-------------------------------------|-------------------------------------|
| 1. Can the site be viewed entirely from public land? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Is it possible for the site to be accessed safely, and without barriers to entry? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here:

Statement

You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. Note: you may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

A REVIEW OF THE PLANNING DECISION SHOULD BE UNDERTAKEN FOR THE FOLLOWING OUTLINE REASONS, EXPLAINED IN GREATER DETAIL IN THE ATTACHED 10 POINT DOCUMENT, WITH ACCOMPANYING PHOTOGRAPHS.

THE APPLICATION TO PROVIDE AN UPPER FLOOR EXTENSION AS A STOREY-AND-A-HALF IS NECESSARY TO PROVIDE ADDITIONAL ACCOMMODATION FOR FAMILY NEEDS. THE DESIGN AND DISPOSITION OF THE EXISTING PROPERTY DOES NOT LEND ITSELF TO PROVIDING THIS ADDITIONAL NEED WITHIN THE CONFINES OF THE ORIGINAL HEIGHT AND PITCH OF THE EXISTING ROOF STRUCTURE.

EXAMPLES ARE PROVIDED OF OTHER PROPERTIES IN THE LOCAL AREA WHERE ALTERATIONS AND EXTENSIONS HAVE BEEN APPROVED AND UNDERTAKEN. WHILST THESE DO NOT FIT WITH POLICY PMA1A AND PMA1B(C) THEY NEVER-THE-LESS FIT APPROPRIATELY WITHIN THE BUILT ENVIRONMENT FOR THE AREA, WHICH HAS A DIVERSE AND ECCENTRIC MIX OF DESIGN AND VERNACULARS. IT IS AVERRED THAT THE DESIGN WHICH IS THE SUBJECT OF THIS APPLICATION IS SIMILAR TO A REASONABLE SOLUTION TO MEET REQUIREMENTS AND WOULD LIKEWISE BE FOUND TO FIT WITHIN THE CURRENT ENVIRONS.

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made?

Yes ☐ No ☒

If yes, you should explain in the box below, why you are raising new material, why it was not raised with the appointed officer before your application was determined and why you consider it should now be considered in your review.

List of documents and evidence

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review.

TEN POINT SUPPORTING DOCUMENT.

PHOTOGRAPHS OF THE PROPERTY WHICH IS THE SUBJECT OF THE APPLICATION, ALONG WITH PHOTOGRAPHS OF ADJACENT PROPERTIES AND PHOTOGRAPHS OF OTHER PROPERTIES IN THE IMMEDIATE AREA WHERE SIMILAR SPACE ALTERATIONS HAVE BEEN CARRIED OUT.

(PHOTOGRAPHS NUMBERED AB1 TO AB16 INCLUSIVE)

AERIAL PHOTOGRAPH OF THE ENVIRONS OF THE SITE TO WHICH THE APPLICATION RELATES

Note. The planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

Checklist

Please mark the appropriate boxes to confirm you have provided all supporting documents and evidence relevant to your review:

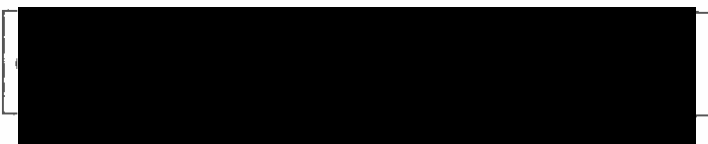
- ☒ Full completion of all parts of this form
- ☒ Statement of your reasons for requiring a review
- ☒ All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

Note. Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

Declaration

I the applicant/~~agent~~ [delete as appropriate] hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents.

Signed



Date

9-12-19

41 COLTWARD ALTERATIONS AND EXTENSION TO EXISTING

Plans Ref: 19/01253/1 to 19/01253/15 Refer

APPLICATION NUMBER 19/01253/FLL

Referring to the decision to refuse the above application on the grounds of visual amenity in that the proposals would result in an awkwardly unbalanced extension which is not sympathetic to the design, character, scale, form and proportion of the host dwelling I comment.

1. The massing of the host dwelling must surely include the whole of the existing structure as now extant as this has been the recognized landscape for the past 35 years. By virtue of this the proposed extension would represent an increase in area of 42% and an increase in mass (volume) of 33.4%.
2. When the first extension was designed and constructed it was done in a manner which could accommodate a further extension upwards with the roof joists sized to act as future floor joists and a steel beam put in place to accommodate a future stair well. These features have been retained and utilized in the current design. Further, the current eaves detail of slate on a short slope was designed to show the likely pitch required for the future upward development of the property to take a pitched roof which could accommodate living space within an upper storey.
3. The roof pitch of the original cottage style building, which is basically a generic design for the period of original construction of these small holding houses, is such that the floor to ridge height of 2.03m internally does not allow a floor to ceiling height which will accommodate rooms in the roof without major reconstruction of the original roof.
4. In order to achieve the statutory minimum floor to ceiling height in the proposed extension the wall heads supporting the new roof require to be raised by a minimum of 600mm. In the case of the submitted design the wall heads have been raised by 800mm to provide a more comfortable and better than absolute minimum floor to ceiling height.
5. The new extension created as a roof space over the existing flat roofed area has been designed to avoid increasing the footprint of the whole building whilst removing the area of flat roof surface which has now reached the end of its useful life. The pitched roof option has been designed to also minimize future maintenance of the structure through having a plain single dimension structure with minimal openings. In order to sympathetically fit with the existing aesthetics the new elements have been designed to have matching specification. Utilising an upper floor construction also creates an improved environmental solution for the whole of the area over which the proposal extends
6. The building sits within the property and is surrounded on three sides by trees of varying sizes which provide natural screening. On the fourth side there is a large barn which screens the property on the west side. Photographs have been taken of the property as it would be viewed by those passing on the main road fronting and superimposed upon these are representations of the extension as it would look from this position. It is difficult to see why the proposals would adversely affect the quality of the surrounding built and natural environment. It should be noted that the adjoining property at Ianna, which sits approx 5 metres from the boundary of 41 Coltward on the Eastern boundary, has been designed with a very steep roof which would be

similar to that of the current proposal for this application and therefore not out of character with surrounding dwellings. Indeed, within the confines of Campmuir the dwellings are an eclectic mix of designs, through single storey, storey and a half and a combination of both.

7. Immediately opposite the site of the proposed development sits a particularly large potato storage shed of significant mass, adjoining what was once the original farm storage building. Studying this composite building, which sits only 25 metres from the road side and directly opposite the site of this application, one can see that the mass and proportion of this building has increased exponentially. Ridge and eaves heights are significantly greater than the original as is the overall plan size of the new build. Even so the building does not now look out of place. I believe this would be the case with the proposals put forward for 41 Coltward directly opposite. Incidentally there is a further agricultural shed approximately 200 yards further up the same road which has similar development characteristics to the one opposite the site in question.
8. There are a number of cases in the surrounding area to the settlement of Campmuir where properties have been altered significantly and in proportions which are beyond the original scale and disposition. I submit with this appeal photographs showing but two of these in relatively close proximity to PH13 9LN. Both are properties where extensions to the original were built which are considerably in excess of the original dwelling and have eaves or ridge heights which are beyond that of the original. It is noted that neither now looks out of place or in any way incongruous. In the case of the property which was initially a similar small holding to that of this application the building is similarly screened by trees and a barn and does not impose itself detrimentally to the environment and visual amenity.
9. It should be noted that the process of dealing with the application has not drawn any objections to the proposals from immediate neighbours or from any other source both within and outwith the bounds of Campmuir.
10. In summing up I believe the proposals put forward in order to meet a need for additional accommodation and to resolve an issue with flat roofs do not detract from the visual amenity of the area. Whilst the proposals do not fit entirely with Policy PM1A and PM1B(c) of the current Perth and Kinross Local Development Plan 2014 there is sufficient reason and evidence to afford deviation from the Policy without adverse effect.

Enclosed:

Photographs AB1, AB2, AB3 and AB4 with proposed extension superimposed in sketch form.

Photographs AB5, AB6 and AB7 showing extended potato shed directly opposite the site of this application. (Increase in floor area of 257% and increase in mass of 297%)

Photographs AB8 and AB9 showing 1 1/2 storey extension to single storey property at Number 29 Holding. (a significant increase in both the floor area and the mass over the original building)

Photographs AB10, AB11, AB12, AB13 and AB14 showing 1 1/2 storey extension to single storey Holding type bungalow at Wellfield (No 35 Holding) North Corston. (Eaves of new extension 2.03m above that of the original house type (Holding), and also above the ridge height of the original house)

Photographs AB15 and AB16 showing adjoining property at Ianna adjoining the East boundary of the site of this application. (Roof aspect similar to proposed roof extension of current application.)

Aerial photograph showing environ of site to which application refers.

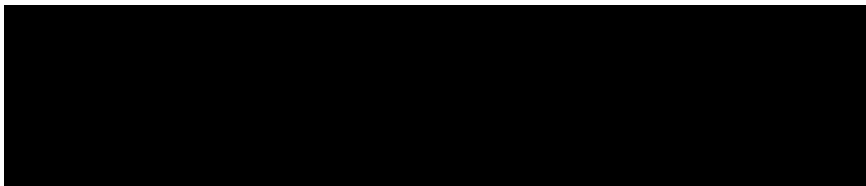
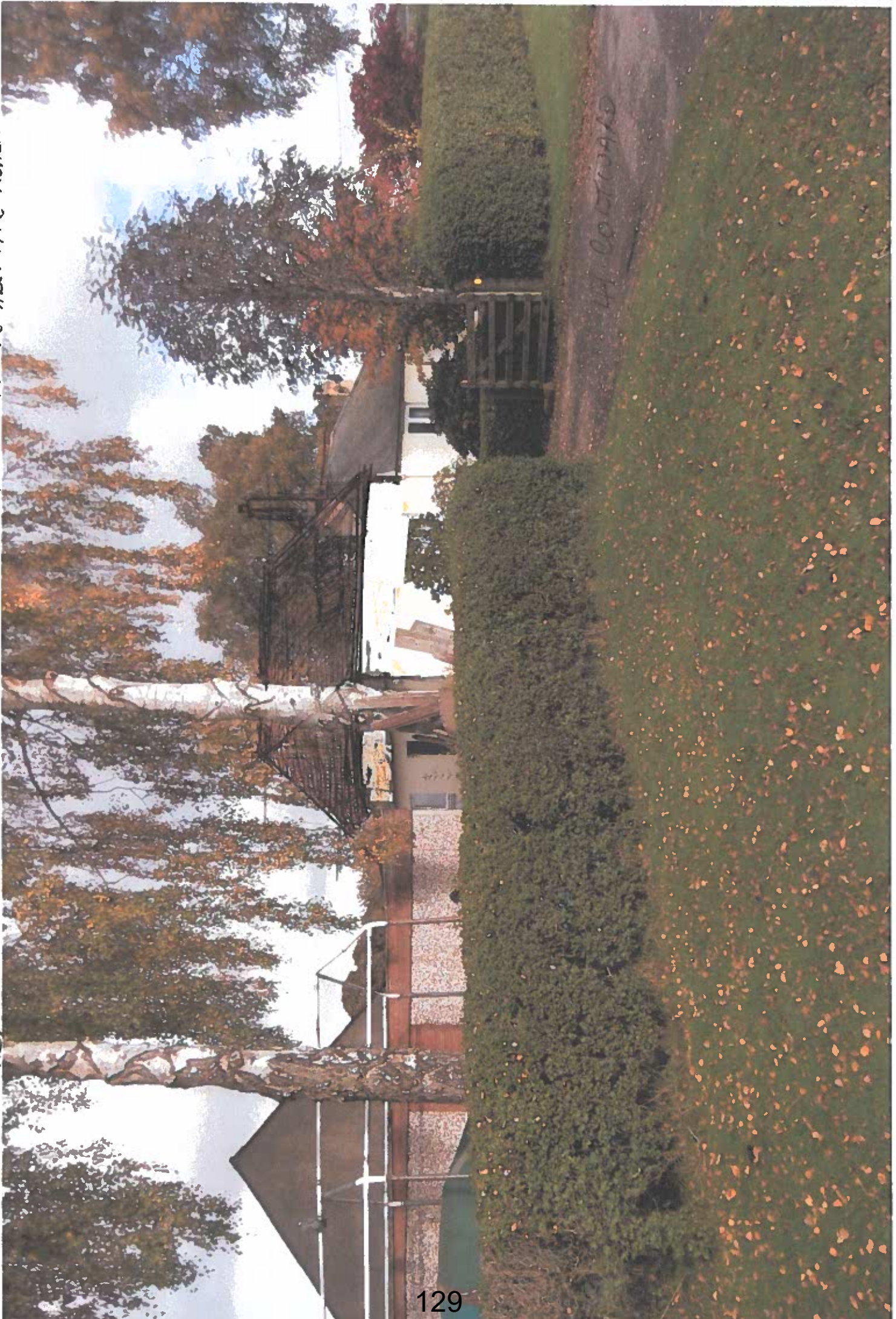


PHOTO DRIVING WEST TO EAST ON MAIN WOODSIDE TO ABERNETHY ROAD.

AB1



AB 2 PHOTO PASSING ENTRANCE TO 41 CORTWARD, CAMPBELL ON WOODSIDE TO ABERNETHY ROAD.



AB3 PHOTO PASSING 41 CONTINUED, CAMPFIRE ON WOODSIDE TO ABERNETHY ROAD.



WOODSIDE AT CAMPFIRE, 1922, 1923, 1924, 1925

AB 4. PHOTO FROM NEAR EAST BOUNDARY OF 441 COLTWARD ON WOODSIDE TO HERBYE ROAD



DERIVATIVE OF EXTENSION SUPERIMPOSED

AB5 VIEW FROM FRONT DOOR OF 41 COLTWARD LOOKING SOUTH.



NEWEST PART OF SHED AND BOXES 9m. HIGH (AT EARS)

AB6. VIEW FROM 41 COURTWARD SHOWING SIZE OF POTATO SHED WITH BOXES. (ORIGINAL BUILDING IS THAT TO LHS.)



AB7. VIEW OF POTATO SHED OPPOSITE 4/1 COTTAGE
SHOWING ORIGINAL (LHS) AND NEW (RHS) EXTENDED SHED.



VIEW FROM EAST.

AB8

PHOTO SHOWING EXTENSION TO SINGLE STOREY COTTAGE AT NO 29

HOLPING, CAMPBELL



AB 9. PHOTO OF EXTENSION (1½ STOREY) TO COTTAGE AT 18 29. HOLDING, CAMPBELL, VIEWED FROM WEST.



AB10 VIEW OF 1½ STOREY EXTENSION TO WELLFIELD, (1235 HOLDING) NORTH COLSTON.



AB 11 VIEW LOOKING NORTH EAST. WENNFELD (NR 35 HOLDING) NORTH COASTON.



AB12 VIEW OF WELFIELD (RES HOLDING) NORTH CARSTON LOOKING NORTH.

EXTENSION

ORIGINAL
HOLDING
PROPERTY.

AB 13. VIEW OF WELSFIELD FROM ROADSIDE LOOKING NORTH EAST



AB14. VIEW OF WENFIELD (N235 HOLDING) NORTH CORSTON FROM EAST LOOKING WEST.

1½ STOREY
EXTENSION

ORIGINAL
HOLDING
PROPERTY

AB 15 NEIGHBOURING PROPERTY 'IANGA' LOOKING NORTH EAST FROM 41
CONTWARD.
CAMPMUR.



AB16 NEIGHBOURING PROPERTY 'ANNA HOUSE' VIEWED FROM
SOUTH EAST. (TREES OF N2 41 COLTWARD CAN BE SEEN BEHIND)





TCP/11/16(623) – 19/01253/FLL – Alterations and extension to dwellinghouse, 41 Coltward Holding, Campmuir, Blairgowrie

PLANNING DECISION NOTICE

REPORT OF HANDLING

REFERENCE DOCUMENTS

PERTH AND KINROSS COUNCIL

Mr And Mrs A Burt
41 Coltward Holding
Campmuir
Blairgowrie
PH13 9LN

Pullar House
35 Kinnoull Street
PERTH
PH1 5GD

Date 18th September 2019

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT

Application Number: **19/01253/FLL**

I am directed by the Planning Authority under the Town and Country Planning (Scotland) Acts currently in force, to refuse your application registered on 6th August 2019 for permission for **Alterations and extension to dwellinghouse 41 Coltward Holding Campmuir Blairgowrie PH13 9LN** for the reasons undernoted.

Head of Planning and Development

Reasons for Refusal

1. The proposed development, by virtue of its raised wall-head, eaves and ridge levels, would result in a dominant and awkwardly unbalanced extension which is not sympathetic to the design, character, scale, form, proportions or massing of the host dwelling. Approval would therefore result in an adverse impact on visual amenity.

Accordingly, the proposal is contrary to Policy PM1A and PM1B(c) of the Perth & Kinross Local Development Plan 2014, which seek to ensure that development proposals contribute positively to the quality of the surrounding built and natural environment by respecting the character and amenity of the place.

2. The proposal, by virtue of its shape, scale and proportions, would dominate and be unsympathetic to the existing building. Approval would therefore be contrary to the Draft Placemaking Technical Guidance Notes: Householder Applications, which seek to deliver a satisfactory standard of development.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan

The plans and documents relating to this decision are listed below and are displayed on Perth and Kinross Council's website at www.pkc.gov.uk "Online Planning Applications" page

Plan Reference

19/01253/1	19/01253/6	19/01253/11
19/01253/2	19/01253/7	19/01253/12
19/01253/3	19/01253/8	19/01253/13
19/01253/4	19/01253/9	19/01253/14
19/01253/5	19/01253/10	19/01253/15

REPORT OF HANDLING

DELEGATED REPORT

Ref No	19/01253/FLL	
Ward No	P2- Strathmore	
Due Determination Date	05.10.2019	
Report Issued by		Date
Countersigned by		Date

PROPOSAL: Alterations and extension to dwellinghouse

LOCATION: 41 Coltward Holding Campmuir Blairgowrie PH13 9LN

SUMMARY:

This report recommends **refusal** of the application as the development is considered to be contrary to the relevant provisions of the Development Plan and there are no material considerations apparent which justify setting aside the Development Plan.

DATE OF SITE VISIT: 22 August 2019

SITE PHOTOGRAPHS



BACKGROUND AND DESCRIPTION OF PROPOSAL

The application site is 41 Coltward Holding, which is a detached cottage in the rural hamlet of Campmuir, to the east of Woodside village. This application seeks detailed planning permission for alterations and the upward extension of a previous extension to the side (west) of the house.

SITE HISTORY

11/02137/FLL Erection of a garage
Application Approved – 20 February 2012

PRE-APPLICATION CONSULTATION

Pre application Reference: Not Applicable.

NATIONAL POLICY AND GUIDANCE

The Scottish Government expresses its planning policies through The National Planning Framework, the Scottish Planning Policy (SPP), Planning Advice Notes (PAN), Creating Places, Designing Streets, National Roads Development Guide and a series of Circulars.

DEVELOPMENT PLAN

The Development Plan for the area comprises the TAYplan Strategic Development Plan 2016-2036 and the Perth and Kinross Local Development Plan 2014.

TAYplan Strategic Development Plan 2016 – 2036 - Approved October 2017

Whilst there are no specific policies or strategies directly relevant to this proposal the overall vision of the TAYplan should be noted. The vision states *“By 2036 the TAYplan area will be sustainable, more attractive, competitive and vibrant without creating an unacceptable burden on our planet. The quality of life will make it a place of first choice where more people choose to live, work, study and visit, and where businesses choose to invest and create jobs.”*

Perth and Kinross Local Development Plan 2014 – Adopted February 2014

The Local Development Plan is the most recent statement of Council policy and is augmented by Supplementary Guidance.

The principal policies are, in summary:

Policy PM1A - Placemaking

Development must contribute positively to the quality of the surrounding built and natural environment, respecting the character and amenity of the place. All development should be planned and designed with reference to climate change mitigation and adaption.

Policy PM1B - Placemaking

All proposals should meet all eight of the placemaking criteria.

Proposed Perth and Kinross Local Development Plan 2 (LDP2)

The Proposed LDP2 2017 represents Perth & Kinross Council's settled view in relation to land use planning and is a material consideration in determining planning applications. The Proposed LDP2 is considered consistent with the Strategic Development Plan (TAYplan) and Scottish Planning Policy (SPP) 2014. It is now the subject of an Examination Report (published 11 July 2019). This includes the Reporter's consideration of issues and recommended modifications to the Plan,

which are largely binding on the Council. It is therefore anticipated that they will become part of the adopted Plan; however, this is subject to formal confirmation. The Council is progressing the Proposed Plan (as so modified) towards adoption which will require approval by the Council and thereafter submission to the Scottish Ministers. It is expected that LDP2 will be adopted by 31 October 2019. The Proposed LDP2, its policies and proposals are referred to within this report where they are material to the recommendation or decision.

OTHER GUIDANCE

Perth & Kinross Council; Draft Placemaking Technical Guidance Notes: Householder Applications

Scale, Shape and Form

Extensions should respect the shape, scale and proportions of the existing building and relate to the roof pitch.

Generally:

- In most cases an extension should be a subordinate addition in all respects
- New roof ridges should not normally exceed the height of the original. A new ridge line which is set lower than that of the original will generally be more acceptable

CONSULTATION RESPONSES

Dundee Airport Ltd

No Objections.

REPRESENTATIONS

No letters of representation have been received in relation to this proposal.

ADDITIONAL STATEMENTS RECEIVED:

Environment Statement	Not Required
Screening Opinion	Not Required
Environmental Impact Assessment	Not Required
Appropriate Assessment	Not Required
Design Statement or Design and Access Statement	Not Required
Report on Impact or Potential Impact eg Flood Risk Assessment	Not Required

APPRAISAL

Sections 25 and 37 (2) of the Town and Country Planning (Scotland) Act 1997 require that planning decisions be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for the

area comprises the approved TAYplan 2016 and the adopted Perth and Kinross Local Development Plan 2014.

The determining issues in this case are whether; the proposal complies with development plan policy; or if there are any other material considerations which justify a departure from policy.

Policy Appraisal

Alterations and extensions to an existing domestic dwellinghouse are generally considered to be acceptable in principle. Nevertheless, detailed consideration must be given to the scale, form, massing, design, position, proportions and external finishing materials of the proposed development within the context of the application site, and whether it would have an adverse impact on visual or residential amenity.

Design and Layout

The original dwellinghouse is a 30 degree pitched, hipped roof cottage of modest proportions. The cottage has previously been extended to the side (west) with a large flat roofed extension, which has the extremities of its roof edges pitched and hipped. By comparison, the principal elevation of the house is 9.9 metres wide (78sqm footprint) and the extension is 7.2 metres wide (54sqm).

The cottage is located in an area which has generously proportioned gardens and houses of varied design and scale, although most of them are characterised by a single storey appearance. Nevertheless, any extension to this cottage should be respectful to its design, shape, scale and proportions.

This proposal seeks to build up the wall-head of the previous extension and form a 42 degree pitched roof (which isn't hipped) in order to form upper level accommodation. A chimney is also proposed in the roof which links the extension into the main body of the house.

Landscape

The scale and nature of the proposals do not raise any landscape impact issues and the impact would be limited to a streetscape impact.

Residential Amenity

The residential amenity of neighbouring properties would not be adversely affected by the proposed development, given their relative positions, orientations, distances and intervening structures/boundary treatments.

Visual Amenity

The existing extension has a comparatively large footprint coverage, equating to 69% of the original cottage. However, the eaves level of the existing extension ties in with the cottage and its ridge line is substantially subordinate to that of the cottage, which ensures that the proportions of the extension do not dominate those of the cottage.

The building up of the wall-head would result in an increased eaves level which exceeds that of the house. Additionally, the formation of a steeply pitched roof would distort the proportions of the extension to the point that the extension would no longer be subordinate to the original cottage. The resulting development would be out of keeping with the cottage and it would dominate and unbalance the cottage, to the detriment of its character and visual amenity.

Accordingly, the proposal is contrary to Policy PM1A of the Perth & Kinross Local Development Plan 2014, which seeks to ensure that development proposals contribute positively to the quality of the surrounding built and natural environment by respecting the character and amenity of the place. Additionally, the proposal is contrary to policy PM1B(c) which seeks to ensure that development proposals complement their surroundings in terms of design, appearance, height, scale and massing.

The proposal is also contrary to the Draft Placemaking Technical Guidance Notes for householder applications, which states that;

Extensions should respect the shape, scale and proportions of the existing building and relate to the roof pitch.

Generally:

- In most cases an extension should be a subordinate addition in all respects
- New roof ridges should not normally exceed the height of the original. A new ridge line which is set lower than that of the original will generally be more acceptable

Roads and Access

There are no road or access implications associated with this proposed development.

Drainage and Flooding

There are no drainage and flooding implications associated with this proposed development.

Developer Contributions

The Developer Contributions Guidance is not applicable to this application and therefore no contributions are required in this instance.

Economic Impact

The economic impact of the proposal is likely to be minimal and limited to the construction phase of the development.

Conclusion

In conclusion, the application must be determined in accordance with the adopted Development Plan unless material considerations indicate otherwise. In this respect, the proposal does not comply with the approved TAYplan 2016 or the adopted Local Development Plan 2014. I have taken account of material considerations and find none that would justify overriding the adopted Development Plan. On that basis the application is recommended for refusal.

APPLICATION PROCESSING TIME

The recommendation for this application has been made within the statutory determination period.

LEGAL AGREEMENTS

None required.

DIRECTION BY SCOTTISH MINISTERS

None applicable to this proposal.

RECOMMENDATION

Refuse the application

Reasons for Recommendation

- 1 The proposed development, by virtue of its raised wall-head, eaves and ridge levels, would result in a dominant and awkwardly unbalanced extension which is not sympathetic to the design, character, scale, form, proportions or massing of the host dwelling. Approval would therefore result in an adverse impact on visual amenity.

Accordingly, the proposal is contrary to Policy PM1A and PM1B(c) of the Perth & Kinross Local Development Plan 2014, which seek to ensure that development proposals contribute positively to the quality of the surrounding built and natural environment by respecting the character and amenity of the place.

- 2 The proposal, by virtue of its shape, scale and proportions, would dominate and be unsympathetic to the existing building. Approval would therefore be contrary to the Draft Placemaking Technical Guidance Notes: Householder Applications, which seek to deliver a satisfactory standard of development.

Justification

The proposal is not in accordance with the Development Plan and there are no material reasons which justify departing from the Development Plan.

Informatives

Not Applicable.

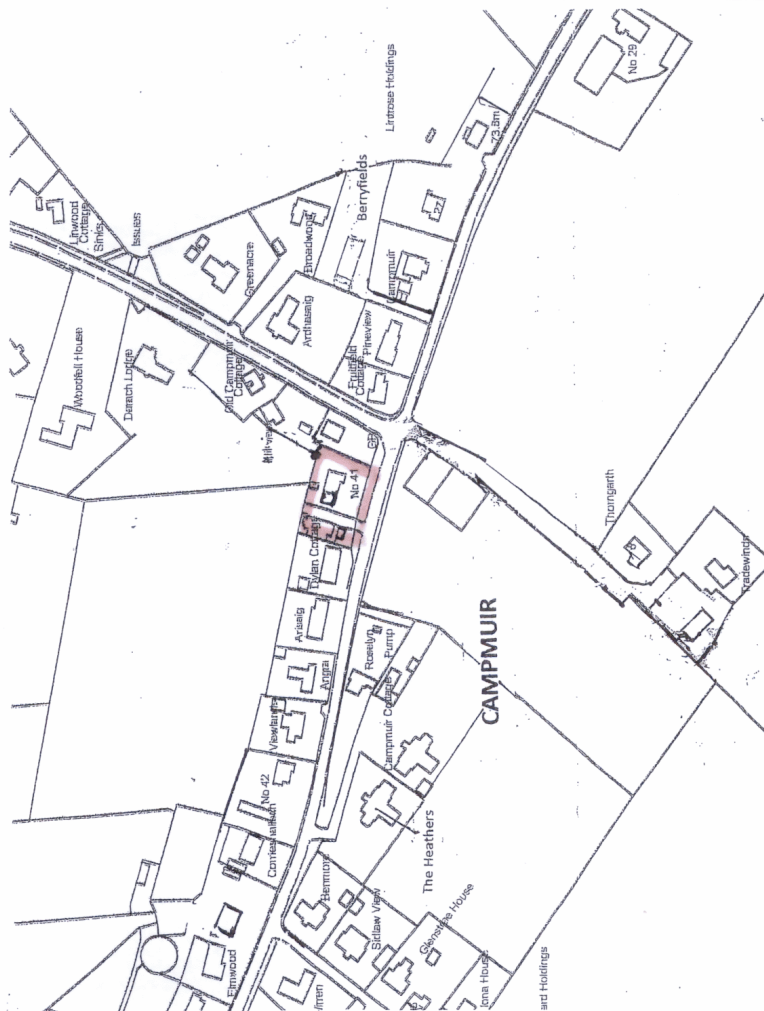
Procedural Notes

Not Applicable.

PLANS AND DOCUMENTS RELATING TO THIS DECISION

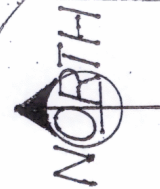
19/01253/1, 19/01253/2, 19/01253/3, 19/01253/4, 19/01253/5, 19/01253/6,
19/01253/7, 19/01253/8, 19/01253/9, 19/01253/10, 19/01253/11,
19/01253/12, 19/01253/13, 19/01253/14 and 19/01253/15

Date of Report 16 September 2019



LOCATION PLAN

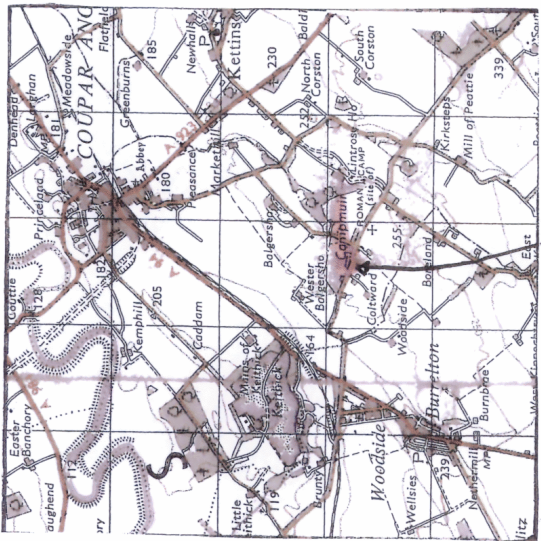
41 COLTWARD, CAMPMUIR, COUPAR ANGUS, PH13 9 LN
EXTENSION TO UPPER FLOOR FOR MR AND MRS A BURT



scale 1 : 2500

DATE : MARCH 2019

Drawing No: 2019/17



SITE



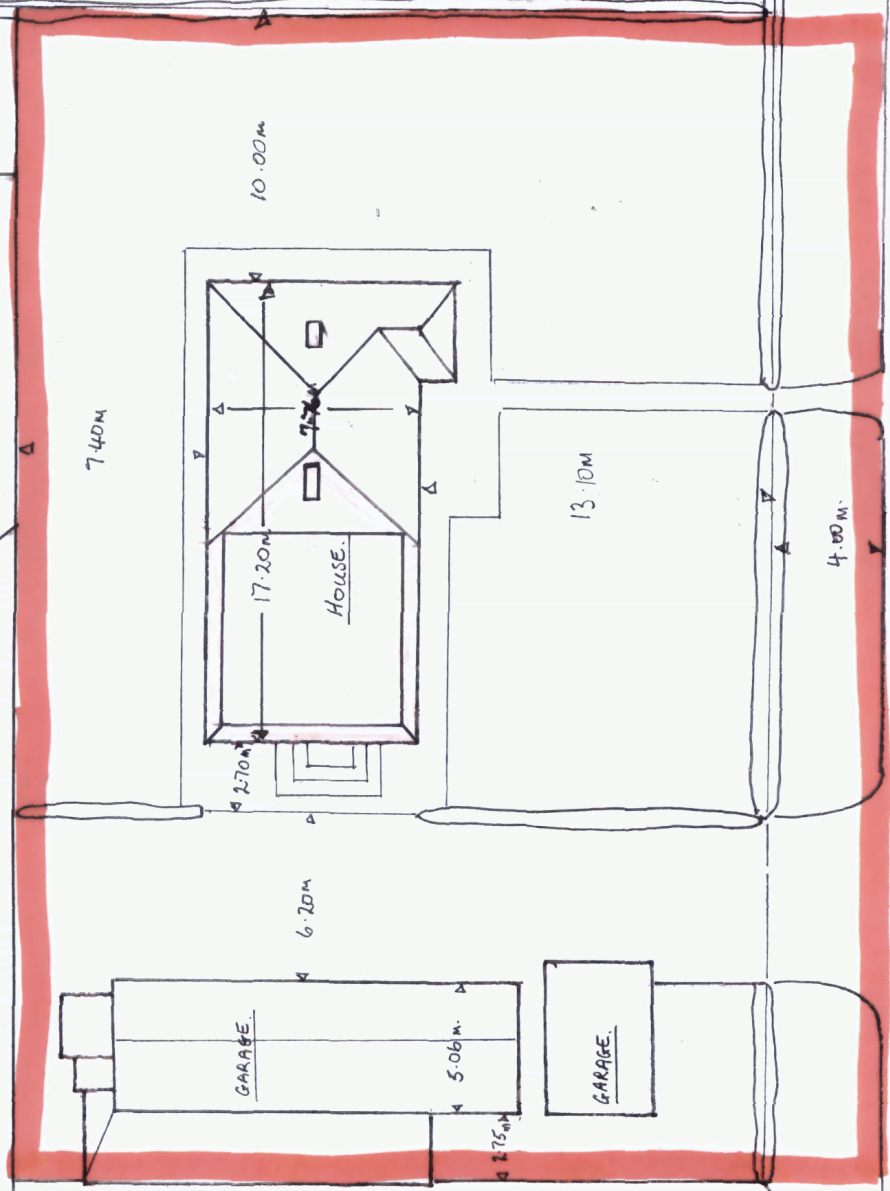
?

SANDEMAN

DAWSON

GOWRIE

FROST



41 COLTWARD, CAMPMUIR, COUPAR ANGUS, PH13 9 LN
EXTENSION TO UPPER FLOOR FOR MR AND MRS A BURT

SITE PLAN
AS EXISTING

Drawing No: 2019/16/A

DATE : MARCH 2019

SCALE 1 : 200

FELT/INSULATION/VAPOR BARRIER/
T&G BOARDING/FIRTINGS
TO BE REMOVED.

BITUMINOUS VAPOR BARRIER.

205x220mm
STEEL BEAM

3 LAYER
FELT

T&G BOARDING.

FIRTING PIECES

100mm ROCKFIBRE
INSULATION
BETWEEN JOISTS

50x25mm BANDER.

JOISTS 220x55mm.
AT 450mm C/S.

9.5mm PLASTERBOARD.

970mm
FROM WALL FACE TO EDGE OF BEAM.

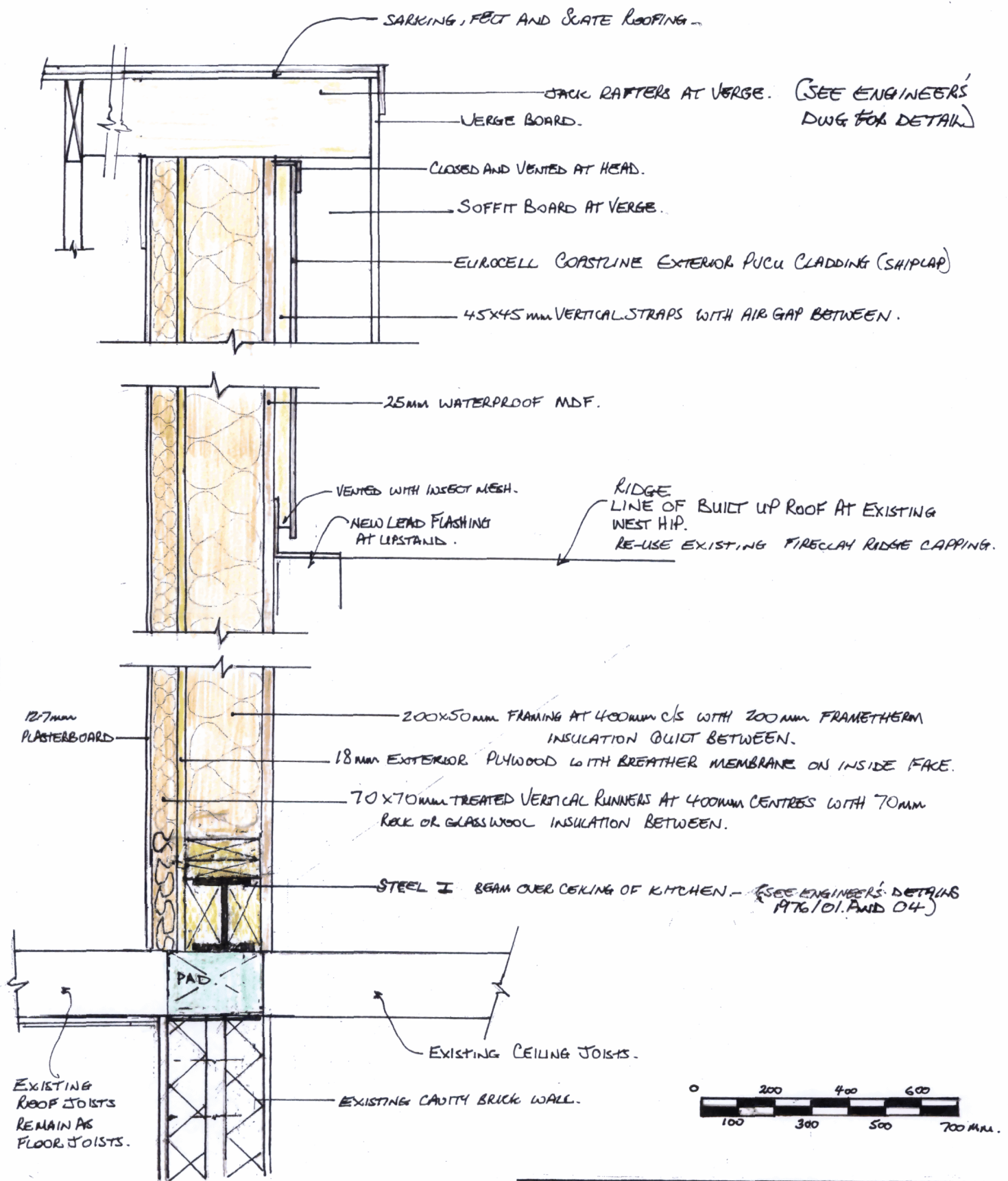


UPPER FLOOR EXTENSION TO HOUSE
AT
41 COLTWARD, CAMPMUIR, COUPAR ANGUS
FOR
MR AND MRS A BURT

SCALE: 1:5 DATE: MARCH 2019

EXISTING FLAT ROOF AT POSITION OF BEAM.

Drawing No: 2019/05



DETAIL AT EAST GABLE.

Drawing No: 2019/08

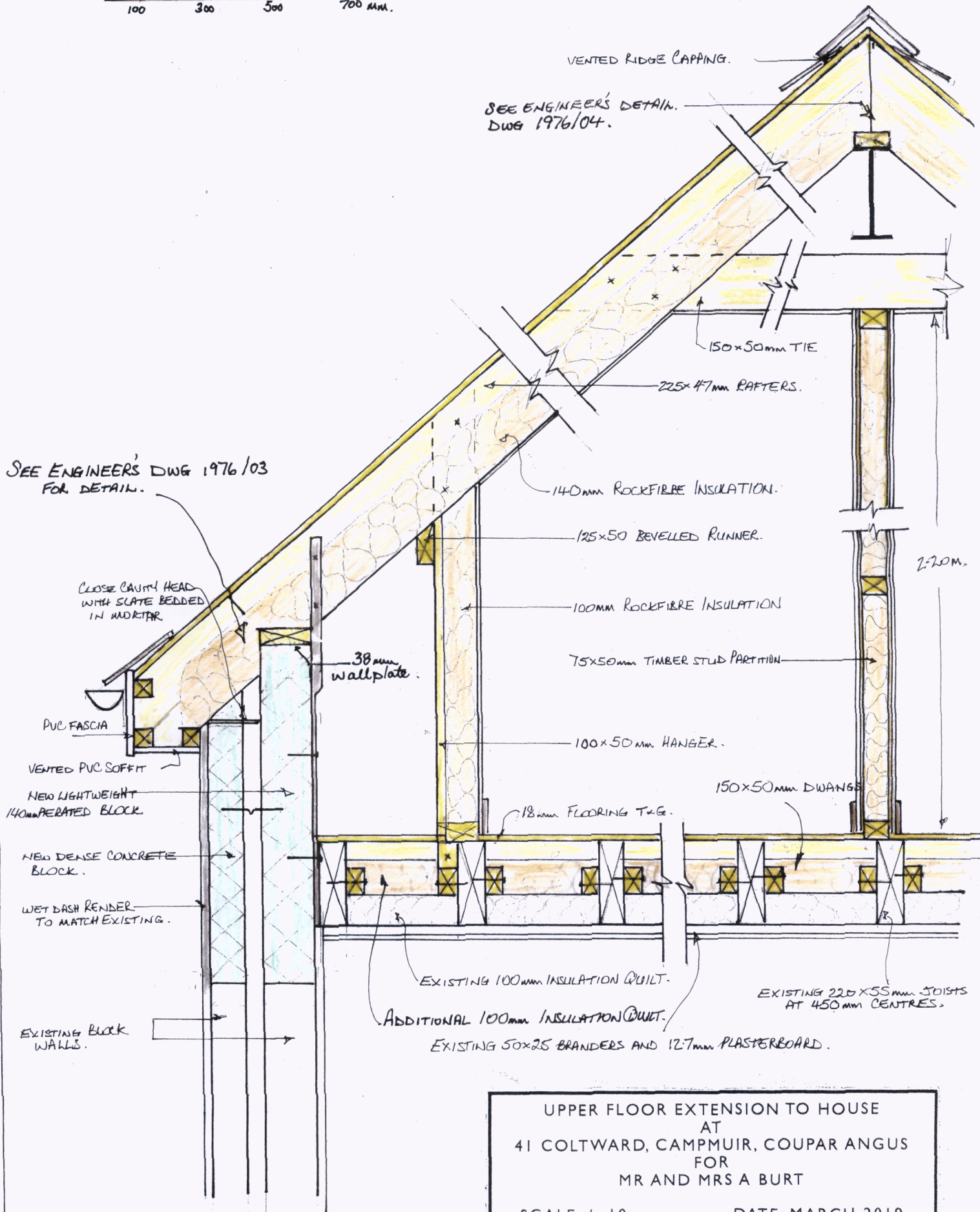
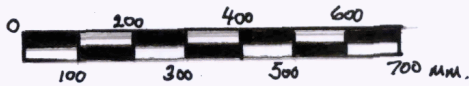
162

UPPER FLOOR EXTENSION TO HOUSE
 AT
 41 COLTWARD, CAMPMUIR, COUPAR ANGUS
 FOR
 MR AND MRS A BURT

SCALE: 1:10

DATE: MARCH 2019

DETAILED SECTION THROUGH NEW ROOF



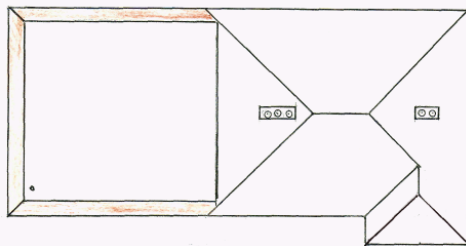
UPPER FLOOR EXTENSION TO HOUSE
AT
41 COLTWARD, CAMPMUIR, COUPAR ANGUS
FOR
MR AND MRS A BURT

SCALE: 1:10

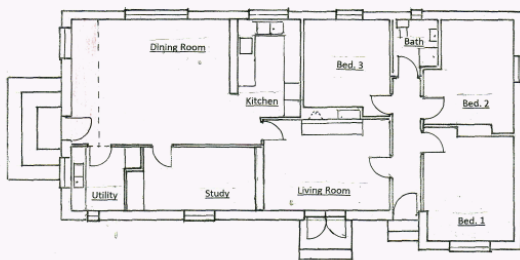
DATE: MARCH 2019

UPPER FLOOR EXTENSION TO HOUSE
AT
41 COLTWARD, CAMPMUIR, COUPAR ANGUS
FOR
MR AND MRS A BURT
SCALE: 1: 100 DATE: MARCH 2019

PLANS AND ELEVATIONS AS EXISTING



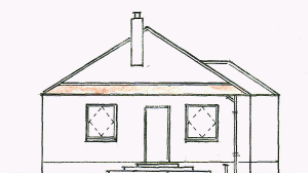
ROOF PLAN



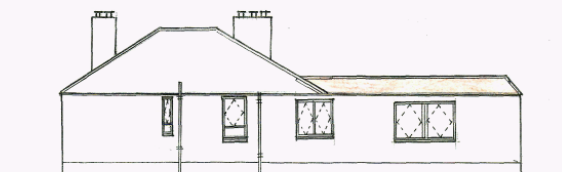
FLOOR PLAN



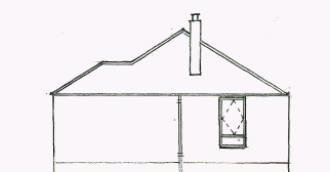
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



Drawing No: 2019/01

EXISTING HEATING TO REMAIN FLOOR.

EXISTING HEATING TO GROUND FLOOR:
Wrap around solid fuel boiler in Living Room focal fire serves radiators in each of the rooms on the ground floor. Each radiator having an individual thermostat (including the bathroom).
* 240/187V. Whole system fitted with circulation pump. * 2.5 kW/11A. * £ 5446.
Hot water cylinder located in existing loft space also served from the solid fuel fire, as well as having electrical immersion heater.

NEW SOIL AND VENT PIPE:
100mm diameter PVC, downpipe to be fitted externally to serve the new bathroom. This pipe to house requisite branches and bonds to suit and to have access top and bottom for rodding. Downpipe to connect to existing drain point serving utility room and running to existing septic tank.

PVC soil pipe from WC 100mm, waste from shower 50mm and waste from tub 32mm.

ALTERATIONS TO HOT AND COLD WATER SUPPLIES:

New 27mm and 15mm copper cold water pipes to be run from existing supplies within attic space to serve new wc, shower and bath. Existing hot water pipe to be extended from attic space to run to new shower with hand basin. All new pipework to be fitted and insulated to required standards. Brass stop valves and ballcock valves to be fitted as appropriate.

ALTERNATION TO LOW ROOF TO THE INTO NEW UPPER FLOOR:
Existing pitched roof constructed of 125 x 50mm rafters at 500mm centres, 150 x 50mm ceiling joists, 50 x 50mm batten at 90 degrees to rafters. Finished with arcing felt and slate with fireclay tiles. New ridge capping. 100mm glass fibre insulation between ceiling joists. Left partially formed for storage.

[illegible]

NEW TIMBER STAND:
State and balustrade constructed in accordance with Building Standards (Footnote) Technical Standards sections 4.1 Stairs and Ramps.

NEW PITCHED ROOF CONSTRUCTION:

[illegible]

UPPER FLOOR EXTENSION TO HOUSE
AT
41 COLTWARD, CAMPMUIR, COUPAR ANGUS
FOR
MR AND MRS A BURT
SCALE: 1:50
DATE: MARCH 2019

Drawing No: 2019/02



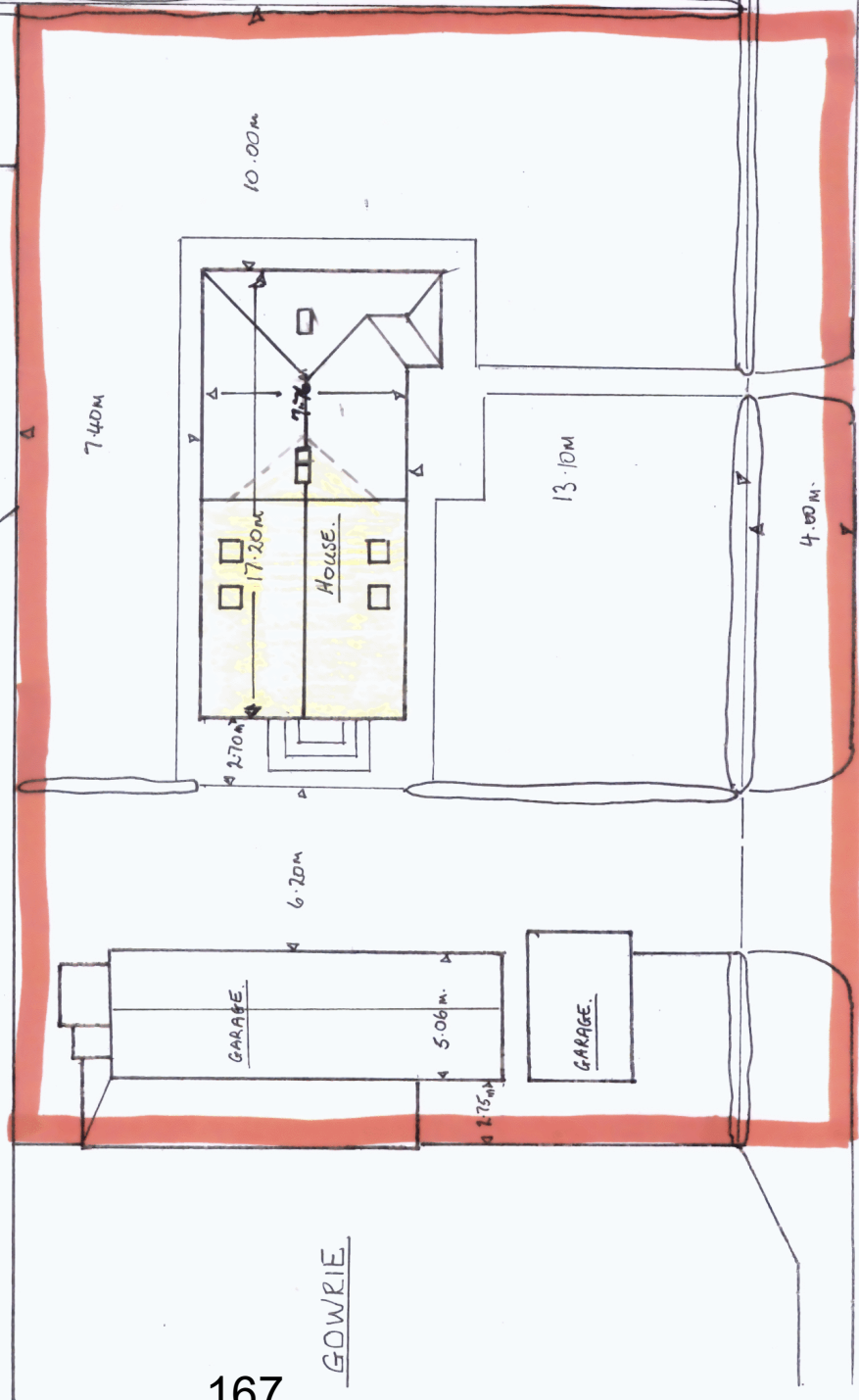
?

SANDEMAN

DAWSON

GOWRIE

FROST

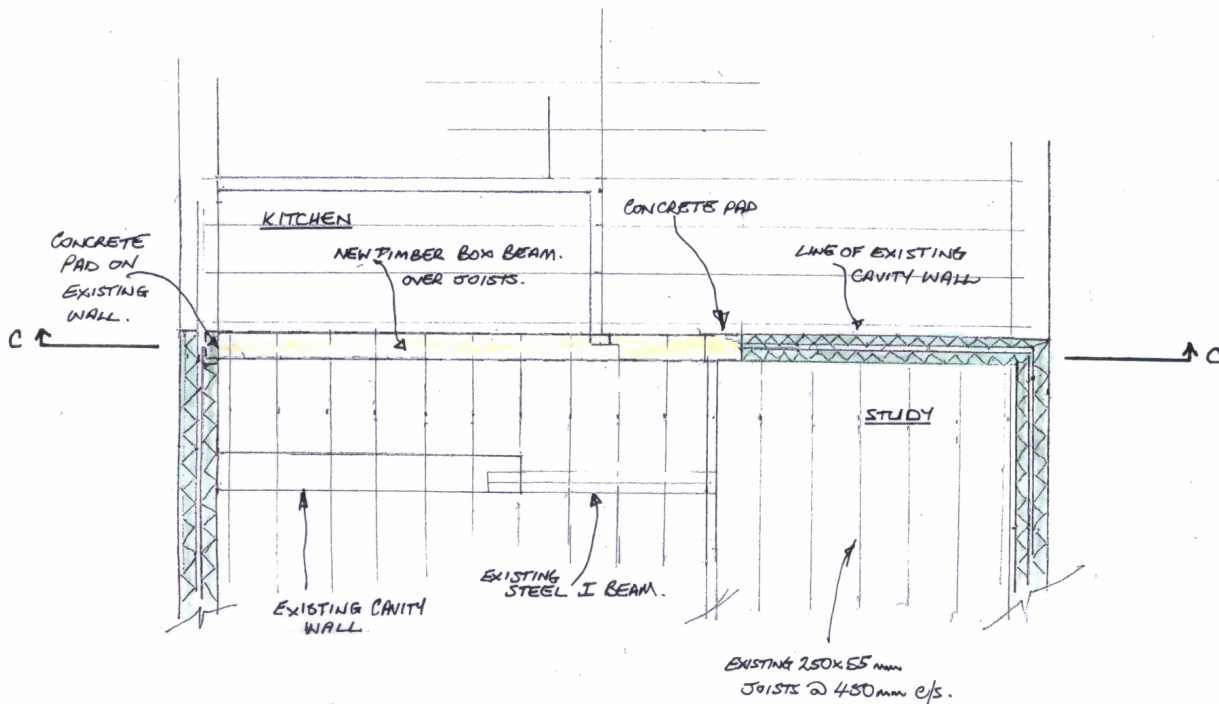


SITE PLAN
AS PROPOSED
41 COLTWARD, CAMPMUIR, COUPAR ANGUS, PH13 9 LN
EXTENSION TO UPPER FLOOR FOR MR AND MRS A BURT

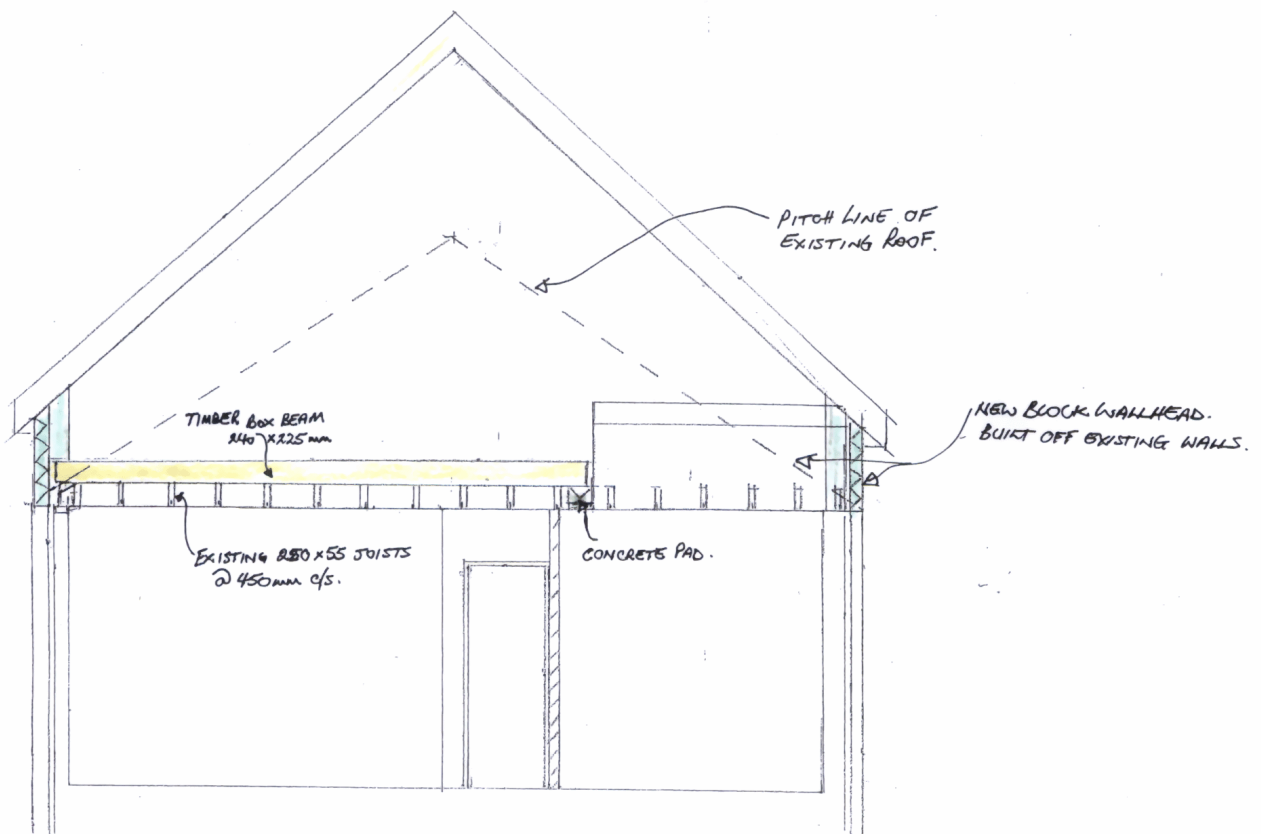
Drawing No: 2019/16/B

DATE : MARCH 2019

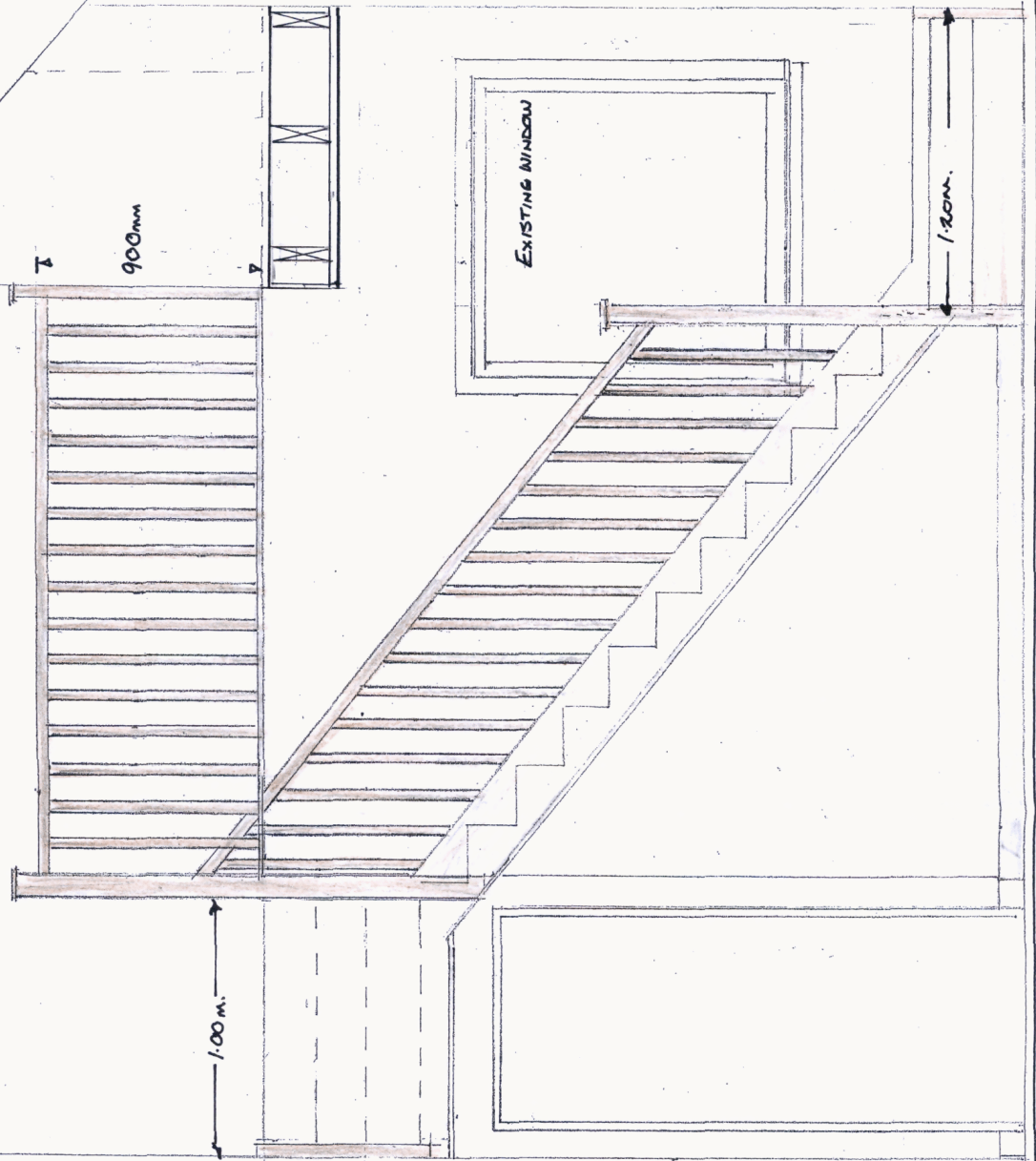
SCALE 1 : 200



PLAN AT LINE OF EAST GABLE



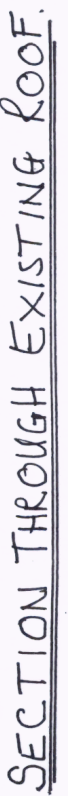
C-C SECTION THRO' LINE OF EAST GABLE.



SECTION SHOWING STAIR WELL DETAIL

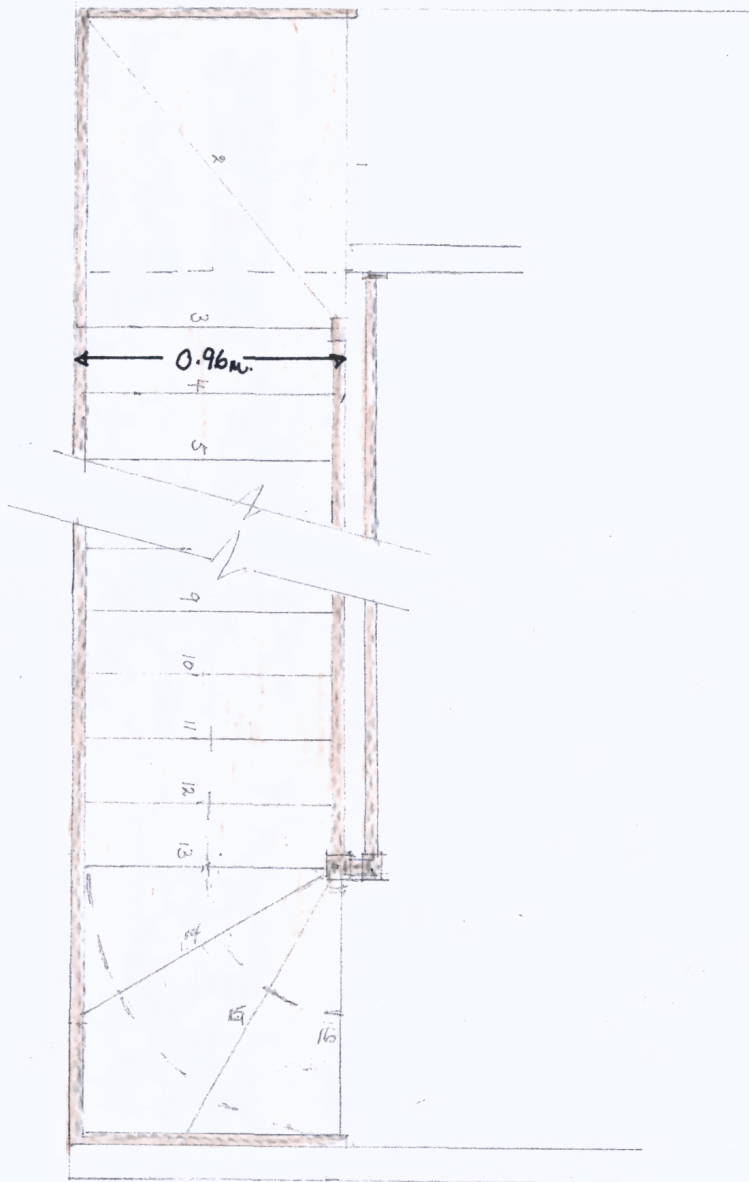
UPPER FLOOR EXTENSION TO HOUSE
AT
41 COLTWARD, CAMPMUIR, COUPAR ANGUS
FOR
MR AND MRS A BURT

SCALE: 1:20 DATE: MARCH 2019

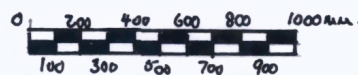


DATE: MARCH 2019

UPPER FLOOR EXTENSION TO HOUSE
AT
41 COLTWARD, CAMPMUIR, COUPAR ANGUS
FOR
MR AND MRS A BURT



PLAN OF NEW STAIR.

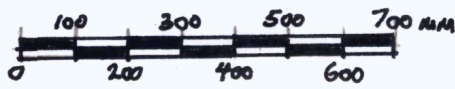


Drawing No: 2019/10

UPPER FLOOR EXTENSION TO HOUSE
AT
41 COLTWARD, CAMPMUIR, COUPAR ANGUS
FOR
MR AND MRS A BURT

SCALE: 1: 20

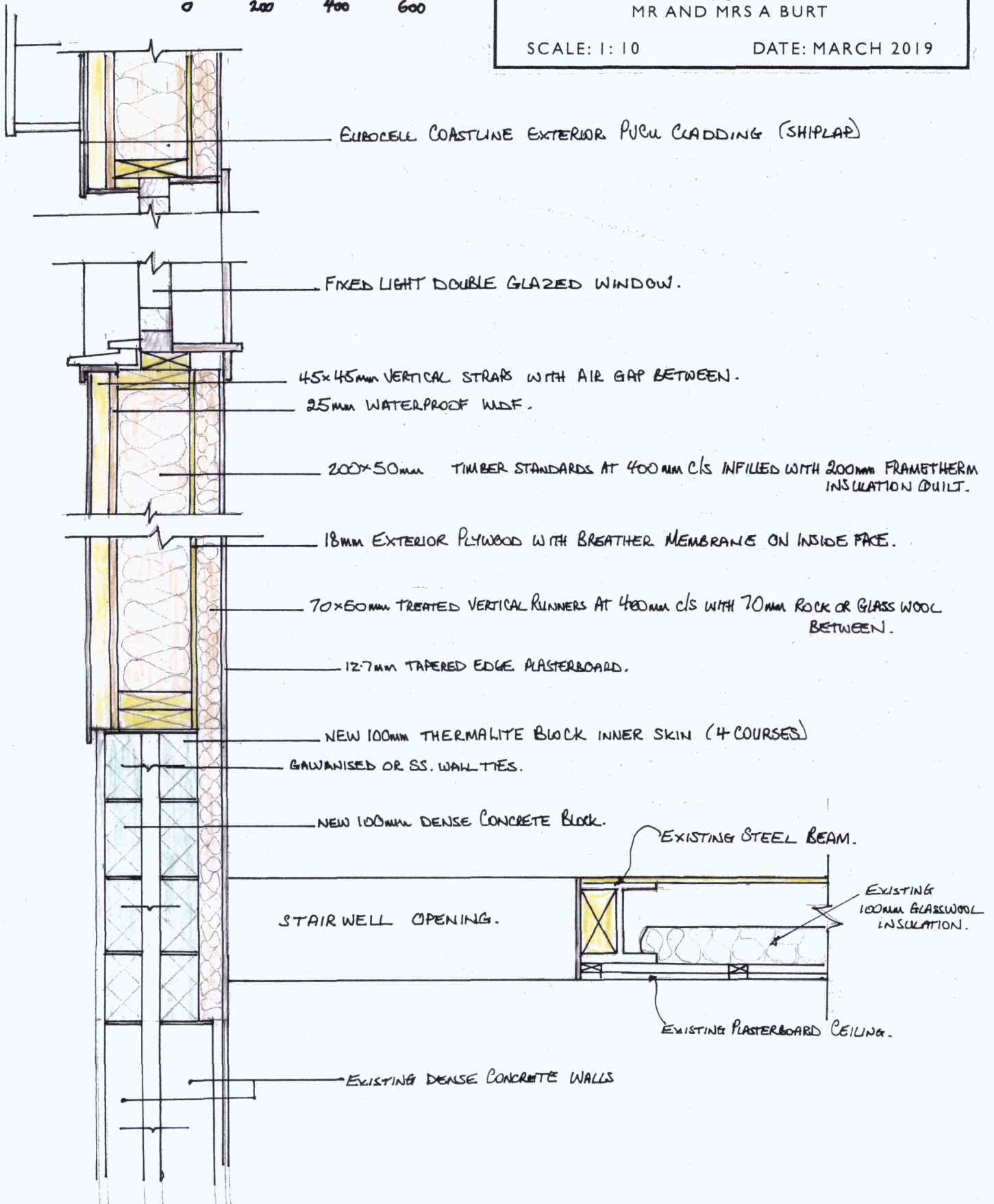
DATE: MARCH 2019



UPPER FLOOR EXTENSION TO HOUSE
AT
41 COLTWARD, CAMPMUIR, COUPAR ANGUS
FOR
MR AND MRS A BURT

SCALE: 1:10

DATE: MARCH 2019



DETAIL AT WEST GABLE.

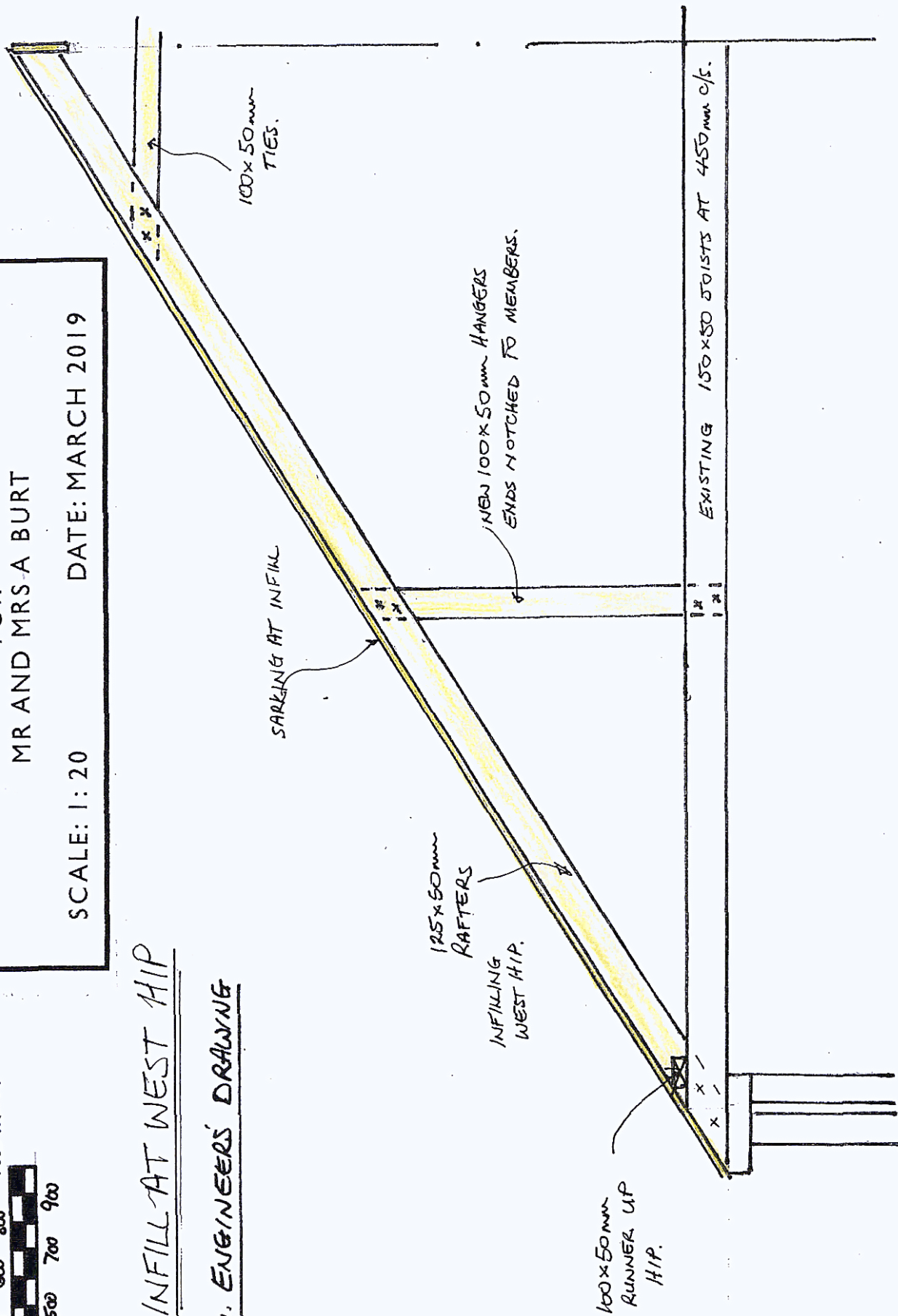


UPPER FLOOR EXTENSION TO HOUSE
AT
41 COLTWARD, CAMPMUIR, COUPAR ANGUS
FOR
MR AND MRS A BURT

SCALE: 1:20 DATE: MARCH 2019

INFILL AT WEST HIP

SEE ALSO ENGINEERS' DRAWING



TCP/11/16(623) – 19/01253/FLL – Alterations and extension to dwellinghouse, 41 Coltward Holding, Campmuir, Blairgowrie

REPRESENTATIONS

From: Jenni Macintosh [REDACTED]
Sent: 07 August 2019 14:33
To: Development Management - Generic Email Account
Subject: RE: Planning Application Consultation for Application No 19/01253/FLL

Your Ref: 19/01253/FLL
Our Ref: 2019/0075/DND

Dear Sir/Madam,

PROPOSAL: Alterations and extension to dwellinghouse
LOCATION:

41 Coltward Holding Campmuir
Blairgowrie PH13 9LN

With reference to the above proposed development, it is confirmed that our calculations show that, at the given position and height, this development would not infringe the safeguarding surfaces for Dundee Airport.

Therefore, Dundee Airport Limited has no objections to the proposal.

Regards

Safeguarding Team
on behalf of Dundee Airport Limited
c/o Highlands and Islands Airports Limited
Head Office, Inverness Airport, Inverness IV2 7JB
? 01667 464244 (DIRECT DIAL)
0 safeguarding@hial.co.uk ? www.hial.co.uk

-----Original Message-----

From: DevelopmentManagement@pkc.gov.uk <DevelopmentManagement@pkc.gov.uk>
Sent: 07 August 2019 14:07
To: Safeguarding <Safeguarding@hial.co.uk>
Subject: Planning Application Consultation for Application No 19/01253/FLL

Please see attached.

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